

CITY OF PROVIDENCE  
ZONING BOARD OF REVIEW

INSPECTION & STANDARDS  
RECEIVED

APPLICATION FOR VARIANCE OR SPECIAL USE PERMIT

NOV 04 2024

Check Each Type Zoning Relief Sought:

- Variance – Use\*  
 Variance – Dimensional\*  
 Special Use Permit\*\*

\* Attach APPENDIX A to apply for a Use or Dimensional Variance

\*\* Attach APPENDIX B to apply for a Special Use Permit

If a section of the application is not applicable, please indicate this by using N/A in that field.

Applicant: SWAP, Inc. Applicant Mailing Address  
Email: gcharpentier@swapinc.org Street: 439 Pine Street  
Phone: 401-272-0526 City, State, Zip: Providence, RI 02907

Owner: SWAP, Inc. Owner Mailing Address  
Email: cdestefano@swapinc.org Street: 439 Pine Street  
Phone: 401-272-0526 City, State, Zip: Providence, RI 02907

Lessee: N/A Lessee Mailing Address  
Email: \_\_\_\_\_ Street: \_\_\_\_\_  
Phone: \_\_\_\_\_ City, State, Zip: \_\_\_\_\_

Attorney: Moses Ryan Ltd. Attorney Mailing Address  
Email: tazar@marlawri.com Street: 40 Westminster Street, 9th Floor  
Phone: 401-453-3600 City, State, Zip: Providence, RI 02903

Does the proposal require review by any of the following:

- Downtown Design Review Committee  
 I-195 Redevelopment District Commission  
 Capital Center Commission  
 Historic District Commission

1. Street Address of Subject Property: 225 Public Street  
Plat and Lot Numbers of Subject Property: Plat 46/Lot 287

2. Base Zoning District(s): R-3  
Overlay District(s): N/A

3a. Date owner purchased the Property: 06/06/2023

3b. Month/year of lessee's occupancy: N/A

4. Dimensions of each lot:

Lot # <u>287</u>	Width <u>33'</u>	Depth <u>102'</u>	Total area <u>3,333</u> sq. ft.
Lot # _____	Width _____	Depth _____	Total area _____ sq. ft.
Lot # _____	Width _____	Depth _____	Total area _____ sq. ft.
Lot # _____	Width _____	Depth _____	Total area _____ sq. ft.

5a. Size of existing structure(s) located on the Property:

<u>Principal Structure:</u>	<u>Accessory Structure:</u>
Area of Footprint <u>N/A</u>	Area of Footprint <u>N/A</u>
Overall Height <u>N/A</u>	Overall Height <u>N/A</u>
# of Stories <u>N/A</u>	# of Stories <u>N/A</u>

5b. Size of proposed structure(s) located on the Property:

<u>Principal Structure:</u>	<u>Accessory Structure:</u>
Area of Footprint <u>1,090</u>	Area of Footprint <u>N/A</u>
Overall Height <u>28</u>	Overall Height <u>N/A</u>
# of Stories <u>2</u>	# of Stories <u>N/A</u>

6a. Existing Lot Coverage:

Building Coverage (area of all roofed structures) 0 buildings

Total Impervious Coverage Area (area of all roofed structures and impervious surfaces) 927.5 SF

Rear Yard Impervious Coverage (area of structures and impervious surface in rear yard) N/A

Front Yard Impervious Coverage (area of structures and impervious surface in front yard) N/A

6b. Proposed Lot Coverage:

Building Coverage (area of all roofed structures) 1,090 SF

Total Impervious Coverage Area (area of all roofed structures and impervious surfaces) 32.75% 1,723 SF

Rear Yard Impervious Coverage (area of structures and impervious surface in rear yard) 21.8% 216 SF

Front Yard Impervious Coverage (area of structures and impervious surface in front yard) 56% 463 SF

7a. Present Zoning Use of the Property: Vacant/parking

7b. Legal Zoning Use of the Property as recorded in the Dept. of Inspection & Standards:  
Vacant/parking

8. Proposed Zoning Use of the Property: Two-family dwelling

9. Number of Parking Spaces:

# of existing spaces 2 # of proposed spaces 2

10. Are there outstanding violations concerning the Property under any of the following:

     Zoning Ordinance           RI State Building or Property Maintenance Code(s)

**11a. List all Zoning Ordinance Sections from which a variance is sought:**

<u>Section Number</u>	<u>Section Title + Quantity of relief, if applicable (eg. 4' setback where 6' required)</u>
402.B	Front build-to line
Table 4.1	Maximum Impervious Surface Coverage - Front Yard
1902	Variance

**11b. Identify the section(s) of the Zoning Ordinance that provide for the special use permit, and list all section(s) which provide Use Standards for the proposed Special Use(s):**

<u>Section Number</u>	<u>Section Title</u>
N/A	N/A

**12. Summarize any changes proposed for the Property (use, construction/renovation, site alteration):**

Improve the existng vacant lot with the building of a new affordable Two Family Home for sale to an income qualified buyer.

*The undersigned acknowledge(s) and agree(s) that members of the Zoning Board of Review and its staff may enter upon the exterior of the Property in order to view the Property prior to any hearing on the application.*

*The undersigned further acknowledge(s) that the statements herein and in any attachments or appendices are true and accurate, and that providing a false statement in this application may be subject to criminal and/or civil penalties as provided by law, including prosecution under the State and Municipal False Claims Acts. Owner(s)/Applicant(s) are jointly responsible with their attorneys for any false statements. As indicated on the instructions page, this application may not be signed by an attorney on behalf of their client(s).*

**Owner(s):**

SWAP, Inc.

Type Name

Carla Destefano, Executive Director

Signature

Type Name

Signature

**Applicant(s):**

SWAP, Inc.

Type Name

Carla Destefano, Executive Director

Signature

Type Name

Signature

**All applicable requirements listed and described on the Instruction Sheet shall be met or this application will not be considered complete.**

## APPENDIX A

### APPLICATION FOR VARIANCE(S)

Rhode Island General Laws § 45-24-41(d) and (e) require that the Applicant for a variance demonstrate:

1. That the hardship from which the applicant seeks relief is due to the unique characteristics of the subject land or structure and not to the general characteristics of the surrounding area; and is not due to a physical or economic disability of the applicant, excepting those physical disabilities addressed in § 45-24-30(a)(16);
2. That the hardship is not the result of any prior action of the applicant;
3. That the granting of the requested variance will not alter the general character of the surrounding area or impair the intent or purpose of the zoning ordinance or the comprehensive plan upon which the ordinance is based; and
4. (a) For a **use variance**: That the land or structure cannot yield any beneficial use if it is required to conform to the provisions of the zoning ordinance;  
(b) For a **dimensional variance**: That the hardship suffered by the owner of the subject property if the dimensional variance is not granted amounts to more than a mere inconvenience, meaning that the relief sought is minimal to a reasonable enjoyment of the permitted use to which the property is proposed to be devoted.

**Please provide the following information:**

1. **What is the specific hardship from which the applicant seeks relief?**  
See attached

- 
2. **Specify all unique characteristics of the land or structure that cause the hardship:**  
See attached

- 
3. (a) Is the hardship caused by an economic disability? Yes \_\_\_\_\_ No X \_\_\_\_\_  
(b) Is the hardship caused by a physical disability? Yes \_\_\_\_\_ No X \_\_\_\_\_  
(c) If the response to subsection (b) is "yes," is the physical disability covered by the Americans with Disabilities Act of 1990 (ADA), 42 U.S.C. § 12101 et seq.? Yes \_\_\_\_\_ No \_\_\_\_\_



4. Did the owner/applicant take any prior action with respect to the Property that resulted in the need for the variance requested? (Examples include, but are not limited to, any changes the owner/applicant made to the structure(s), lot lines, or land, or changes in use of the Property)?

Yes \_\_\_\_\_ No X

If "yes," describe any and all such prior action(s) and state the month/year taken:

---

5. If you are seeking a USE VARIANCE, set forth all facts that demonstrate that the Property cannot have any beneficial use if you are required to use it in a manner allowed in the zoning district:

N/A

---

6. If you are seeking a DIMENSIONAL VARIANCE, set forth all facts that indicate that if the variance is not granted, the hardship the owner/applicant will suffer is more than a mere inconvenience:

See attached

---

**IF MORE ROOM IS NEEDED TO ANSWER ANY OF THE ABOVE QUESTIONS, PLEASE SUBMIT AN  
ADDENDUM TO THIS APPENDIX WITH COMPLETE RESPONSES.**

## APPENDIX B

### APPLICATION FOR SPECIAL USE PERMIT

In accordance with Rhode Island General Laws § 45-24-42(b), Section 1901 of the Zoning Ordinance requires that the Applicant for a special use permit demonstrate:

1. That the proposed special use is set forth in the ordinance and complies with the applicable use standards for the authorization of a special use permit;
2. That the proposed special use will not substantially injure the use and enjoyment of nor significantly devalue neighboring property; and
3. That the proposed special use will not be detrimental or injurious to the general health or welfare of the community.

Please provide the following information:

1. **Indicate the Ordinance section(s) which provide Use Standards for the proposed Special Use(s); and State all facts that demonstrate that the proposed special use will be in conformance with the Use Standards for the proposed Special Use(s):**

N/A

---

2. **State all facts that demonstrate that the proposed special use will not substantially injure the use and enjoyment of neighboring property and will not significantly devalue neighboring property:**

N/A

---

3. **State all facts that demonstrate that the proposed special use will not be detrimental or injurious to the health or welfare of the community:**

N/A

---

***IF MORE ROOM IS NEEDED TO ANSWER ANY OF THE ABOVE QUESTIONS, PLEASE SUBMIT AN ADDENDUM TO THIS APPENDIX WITH COMPLETE RESPONSES.***

Appendix A  
225 Public Street, Providence, Rhode Island  
S.W.A.P. Inc. (Stop Wasting Abandoned Property)

**R-3 Zone**

Per Table 4-1, the Standard Lot Area in the R-3 Zone is 5,000 square feet for new subdivisions and for existing lots, no minimum. The lot area of this existing lot is 3,333 square feet. The property qualifies for substandard/nonconforming lot treatment under the Providence Zoning Ordinance pursuant to Section 2003.

The property complies with all applicable dimensional requirements with the exception of the following: Front Build-To-Line and Front Maximum Impervious Front Yard.

**Relief**

1. Per Section 402B, the required Front Build-To-Line is 15.67 feet (AVG 10.67 + 5 = 15.67). The proposed build-to-zone line is 25 feet, requiring relief of 9.33 feet.
2. Per Table 4-1, the Front Maximum Impervious Front Yard permits 33% of 825 SF or 272.25 SF. The proposed maximum impervious front yard is 56% of 825 SF or 463 SF, requiring relief of 23%.

**Appendix A Questions**

In addition to the answers provided within the application, please see the following additional information regarding variance standards.

1. **What is the specific hardship from which the applicant seeks relief?**

The narrow lot size and existing lot dimensions and physical conditions do not reasonably allow the building of a new home that meet the requirements for front built-to-line and front maximum impervious front yard due to parking and setbacks.

2. **Specify all unique characteristics of the land or structure that cause the hardship:**

That the hardship from which the applicant seeks relief is due to the unique characteristics of the subject land or structure and not to the general characteristics of the surrounding area; and is not due to a physical or economic disability of the applicant, excepting those physical disabilities addressed in Rhode Island General Laws §45-24-30(16).

The Applicant, S.W.A.P. Inc. (Stop Wasting Abandoned Property or “SWAP”) is a not-for-profit developer dedicated to providing affordable housing opportunities to the families of Providence, Rhode Island and surrounding Rhode Island communities. The proposed redevelopment of 225 Public Street directly aligns with SWAP’s mission, which aims to serve communities in need and aspires to ultimately transform neighborhoods for the better. SWAP proposes to redevelop the vacant blighted lot located at 225 Public Street (Plat 46, Lot 287) to build a two-family residence which in turn will create more sustainable housing opportunities in the midst of a volatile statewide housing crisis. Upon completion of the proposed home, SWAP aims to sell the property below market rate to an income-qualified buyer.

Appendix A  
225 Public Street, Providence, Rhode Island  
S.W.A.P. Inc. (Stop Wasting Abandoned Property)

The existing lot has over an eight-foot grade differential from street curb to the rear of the lot, with abutters on both sides having a retention wall/finish grade elevation more than five feet above the existing lot curb elevation.

The hardship from which the Applicant seeks relief with regard to the front build-to line and front impervious coverage are due to the unique characteristics of the lot as the lot dimensions and physical conditions do not reasonably allow the building of a two-family home under the current ordinance. The lot is quite narrow in comparison to nearby properties. The property is also landlocked, there is no alleyway situated in the back of the lot and the lot's narrow nature creates limitations as to structure placement, as well as parking placement. Due to the lot's limited width, a building structure and a parking alleyway associated with a rear parking lot could not feasibly be placed next to one another. The Applicant is thereby forced to place parking spaces in the front of the property, which thereby creates a domino effect causing the need for the building structure to be placed farther from the street thus impacting the Applicant's ability to meet the front build-to-line requirements and front impervious coverage requirements. Additionally, there are existing curb cuts and pavement situated in the front of the property, already making it suitable for the configuration proposed. Other properties on Public Street such as 312 Public Street also have parking spaces situated in front of the lot. Several other properties are also set back approximately equal or farther than the average of 15 feet for the build-to zone such as 264 Public Street, 312 Public Street, 316 - 318 Public Street, and 320 Public Street.

That the hardship is not the result of any prior action of the applicant.

The hardship is not the result of any prior action taken by the applicant which could have been reasonably foreseen to create difficulty in complying with the ordinance for future improvements. The applicant purchased the property "as is" and did not subdivide the property and could not reasonably foresee that the narrow nature of the lot would create developmental issues requiring relief.

That the granting of the requested variance will not alter the general character of the surrounding area or impair the intent or purpose of this Ordinance or the Comprehensive Plan.

The granting of the relief will not alter the general character of the surrounding area as the property is surrounded by several blighted vacant lots, as well as a mix of single-family, multi-family and mixed commercial uses. Redeveloping this property would improve the general character of the surrounding area and encourage other property owners to do the same which in turn contributes to the quality and condition of the neighborhood. Granting said relief also aligns with the goals of the Providence Zoning Ordinance which includes "promoting a balance of housing choices, for all income levels and groups to assure the health, safety, and welfare of all citizens and their rights to affordable, accessible, safe and sanitary housing" and "providing opportunities for the establishment of low and moderate income housing". See Article 1 Section 101(H) & (I). Developing this property specifically promotes access to more affordable housing, provides more



Appendix A

225 Public Street, Providence, Rhode Island  
S.W.A.P. Inc. (Stop Wasting Abandoned Property)

housing opportunities in general, and promotes overall neighborhood health by decreasing safety concerns which often tend to occur in vacant blighted areas.

Additionally, although the front yard will have a greater impervious surface, the lot overall has less than the maximum impervious surface coverages with a proposed rear yard impervious coverage of 21.8%, a proposed building coverage of 32.75%, and a proposed overall impervious surface coverage of 51.7%, all of which are well below the respective allowed maximums. The character of the surrounding area will remain unchanged with respect to impervious surface coverage. Further, the proposed setback distance is a minimal difference from the conditions in the area, such that the character of the area will not be altered.

- 6. If you are seeking a DIMENSIONAL VARIANCE, set forth all facts that indicate that if the variance is not granted, the hardship the owner/applicant will suffer is more than a mere inconvenience**

In granting a dimensional variance, the hardship that will be suffered by the owner of the subject property if the dimensional variance is not granted will amount to more than a mere inconvenience, meaning that the relief sought is minimal to a reasonable enjoyment of the permitted use to which the property is proposed to be devoted. The fact that a use may be more profitable or that a structure may be more valuable after the relief is granted is not grounds for relief.

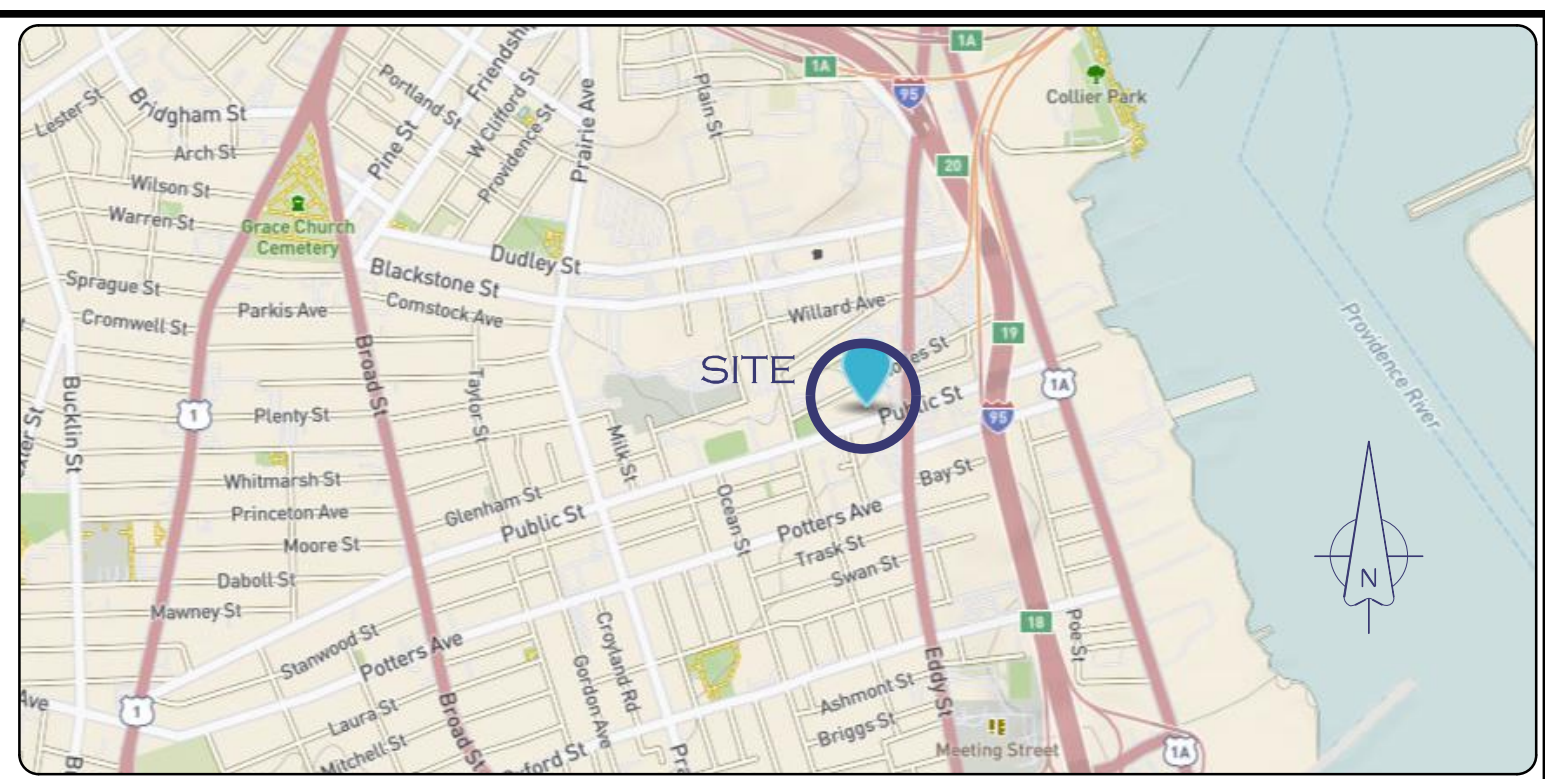
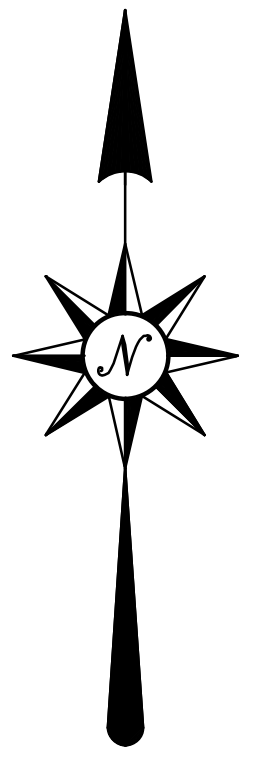
If the Applicants are denied a dimensional variance, they will be unable to effectuate development of the property as the lot dimensions are far too limiting to fit a structure, as well as parking within the existing guidelines. The existing lot conditions and dimensions do not reasonably allow for a home of any practical dimension to be built and to also meet the required setbacks and parking per the Ordinance, which is more than a mere inconvenience. If development is not undertaken, this area will likely continue to remain vacant, which may generally dull the neighborhood due to these conditions. Because the property has no access on the rear side and is narrow, development options are extremely limited and amount to more than a mere inconvenience because parking must be placed at the front of the lot. The relief requested is minimal in retrospect to the implications of being unable to develop the property, which would further strip residents of meaningful choice when it comes to their housing. The request is also minimal in that the existing conditions of the property via the curb-cut and paving already align with the proposed configuration regarding structure placement and parking placement.

In conclusion, the Applicant, SWAP, respectfully requests that the honorable Zoning Board of Review grant a dimensional variance in connection with the property from the requirements of the Providence Zoning Ordinance Section 402 B-Front-Built-To-Zone Line and Table 4-1 Residential District Dimensional Standards-Maximum Impervious Surface Coverage Front Yard.



**LEGEND**

- 100 - - - - - 100 EXISTING CONTOUR
- 100.0x EXISTING GRADE
- WG ○ WATER SHUTOFF
- GG ○ GAS SHUTOFF
- SMH ○ SEWER MANHOLE
- W — WATER LINE
- S — SEWER LINE
- G — GAS LINE



LOCATION MAP (NOT TO SCALE)

**GENERAL NOTES:**

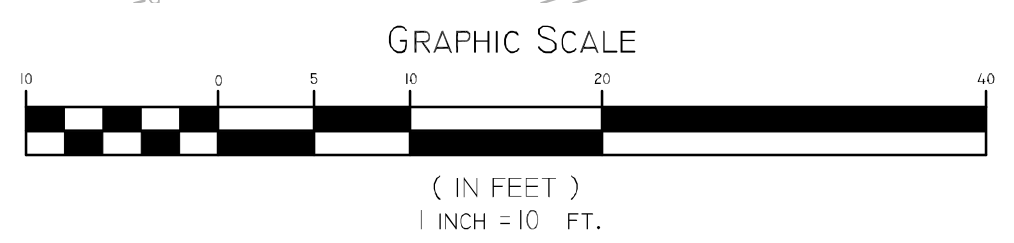
1. OWNER: SWAP, INC. - 439 PINE STREET, PROVIDENCE, RI 02907.
2. LOT AREA: 3,333 SF.
3. ZONING DISTRICT: R-3
4. DEED REFERENCE: BOOK 13984, PAGE 315.
5. ELEVATIONS BASED UPON NAVD88.
6. THERE ARE NO WETLANDS ON THE PROPERTY.
7. SITE DOES NOT FALL WITHIN THE HISTORIC DISTRICT.
8. THE PROPERTY SHOWN IS NOT LOCATED WITHIN A FEDERALLY DESIGNATED FLOOD HAZARD AREA AS SHOWN ON THE FEMA FLOOD INSURANCE RATE MAP FOR THE CITY OF PROVIDENCE, RHODE ISLAND, MAP NO. 44007C0308J WITH AN EFFECTIVE DATE OF 10/2/2015.
9. EXISTING IMPERVIOUS AREA: 927 SF.
10. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO THE FINDINGS SUCH A REPORT MIGHT DISCLOSE. PROPERTY LINES SHOWN ON THIS SURVEY/PLAT REPRESENT CURRENT PHYSICAL FIELD CONDITIONS AND EVIDENCE OF APPARENT POSSIBLE POSSESSION, ANY REFERENCES TO PUBLIC RECORDS HEREON REFLECTS TO THOSE RECORDS NECESSARY TO ESTABLISH THE BOUNDARIES SHOWN HEREON AND REFERENCE TO THE SAME DOES NOT, AND IS NOT INTENDED TO CONSTITUTE A TITLE SEARCH OR TITLE OPINION.

**ZONING DISTRICT: R-3**

- MINIMUM LOT AREA: SF EXISTING LOTS - NONE
- SF NEW SUBDIVISIONS - 5,000 SF
- MINIMUM LOT WIDTH: SF EXISTING LOTS - NONE
- SF NEW SUBDIVISIONS - 50'
- MAXIMUM BUILDING HEIGHT: 45 FEET, NOT TO EXCEED 3 STORIES
- LOTS OF 2,500 OR LESS: 32', NOT TO EXCEED 2 STORIES
- MAXIMUM BUILDING COVERAGE: 45%
- MAXIMUM IMPERVIOUS SURFACE COVERAGE FRONT YARD: 33%
- MAXIMUM IMPERVIOUS SURFACE COVERAGE REAR YARD: 50%
- TOTAL MAXIMUM IMPERVIOUS SURFACE COVERAGE: 65%
- TOTAL MINIMUM PERVIOUS SURFACE COVERAGE: 1,000 SF
- MINIMUM SETBACKS: FRONT - SEE NOTE\*
- INTERIOR SIDE AND CORNER SIDE - LOT WIDTH 60' OR LESS: 6'
- LOT WIDTH MORE THAN 60': 10'
- REAR - 30'

\*NOTE:  
 THE FRONT SETBACK REQUIREMENT IN RESIDENTIAL DISTRICTS IS A REQUIRED BUILD-TO ZONE CALCULATED ACCORDING TO AN AVERAGING PROVISION, AS FOLLOWS:  
 1. THE BUILD-TO ZONE IS CALCULATED AS THE AVERAGE OF THE FRONT SETBACKS OF DEVELOPED LOTS WITHIN 100 FEET ON EITHER SIDE OF THE SUBJECT LOT ON THE SAME SIDE OF THE STREET AS THE SUBJECT LOT. ANY LOTS WITHIN THIS DISTANCE THAT ARE ONLY PARTIALLY WITHIN THIS 100 FEET ARE ALSO INCLUDED IN THE CALCULATION. THE RESULTING CALCULATION CAN BE INCREASED OR DECREASED BY FIVE FEET TO ESTABLISH THE BUILD-TO ZONE.  
 2. IF THERE ARE NO BUILDINGS ON THE SAME SIDE OF THE STREET, DEVELOPED LOTS WITHIN 100 FEET IN BOTH DIRECTIONS ON THE OPPOSITE SIDE OF THE STREET ARE USED FOR AVERAGING TO CALCULATE THE REQUIRED MINIMUM FRONT SETBACK. ANY LOTS WITHIN THIS DISTANCE THAT ARE ONLY PARTIALLY WITHIN THIS 100 FEET ARE ALSO INCLUDED IN THE CALCULATION. THE RESULTING CALCULATION CAN BE INCREASED OR DECREASED BY FIVE FEET TO ESTABLISH THE BUILD-TO ZONE.  
 3. IF THERE ARE NO BUILDINGS ON THE SAME SIDE OR THE OPPOSITE SIDE OF THE STREET, THE REQUIRED FRONT BUILD-TO ZONE IS SET AS THE AREA BETWEEN 5% AND 15% OF THE LOT DEPTH.

ARTICLE 20: 2003 NONCONFORMING LOT  
 B. FOR DEVELOPMENT OF A NONCONFORMING LOT, THE SETBACK, FRONTAGE, AND/OR LOT WIDTH REQUIREMENTS FOR A STRUCTURE UNDER THIS SECTION SHALL BE REDUCED AND THE MAXIMUM BUILDING COVERAGE REQUIREMENTS SHALL BE INCREASED BY THE SAME PROPORTION AS THE LOT AREA OF THE SUBSTANDARD LOT IS TO THE MINIMUM LOT AREA REQUIREMENT FOR NEW SUBDIVISIONS OF THE ZONING DISTRICT IN WHICH THE LOT IS LOCATED. ALL OTHER DIMENSIONAL REQUIREMENTS FOR THE ZONING DISTRICT SHALL APPLY.



**REFERENCE:**  
 PLAT BOOK 9 AT PAGE 20 AND COPY ON PLAT CARD 247

**CERTIFICATION:**  
 THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:  
 -LIMITED CONTENT BOUNDARY SURVEY: CLASS 1  
 -TOPOGRAPHIC ACCURACY: T-4  
**STATEMENT OF PURPOSE**  
 THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND THE PREPARATION OF THE PLAN IS AS FOLLOWS: DIVIDE PROPOSED HOUSE.  
*Marc N. Nyberg*  
 MARC N. NYBERG LICENSE No. 1797 COA No. A52

**EXISTING CONDITIONS PLAN**

MARC N. NYBERG

PROFESSIONAL LAND SURVEYOR

PROFESSIONAL SEAL

ASSESSOR'S PLAT 46 LOT 287  
 225 PUBLIC STREET  
 PROVIDENCE, RHODE ISLAND

PREPARED FOR: SWAP, INC.  
 439 PINE STREET, PROVIDENCE, RI 02907

JOB # 24-074	SCALE: 1" = 10"	DRAWN BY: LMB	DATE: 10-29-24
-----------------	--------------------	------------------	-------------------

REVISED:

INSITE Engineering Services, LLC  
 PROFESSIONAL ENGINEERS | LAND SURVEYORS  
 Precision. Clarity. Certainty.

InSite Professional Complex, Suite 1  
 1539 Fall River Avenue, Seekonk, MA 02771  
 Phone: (508) 336-4500 Fax: (508) 336-4558

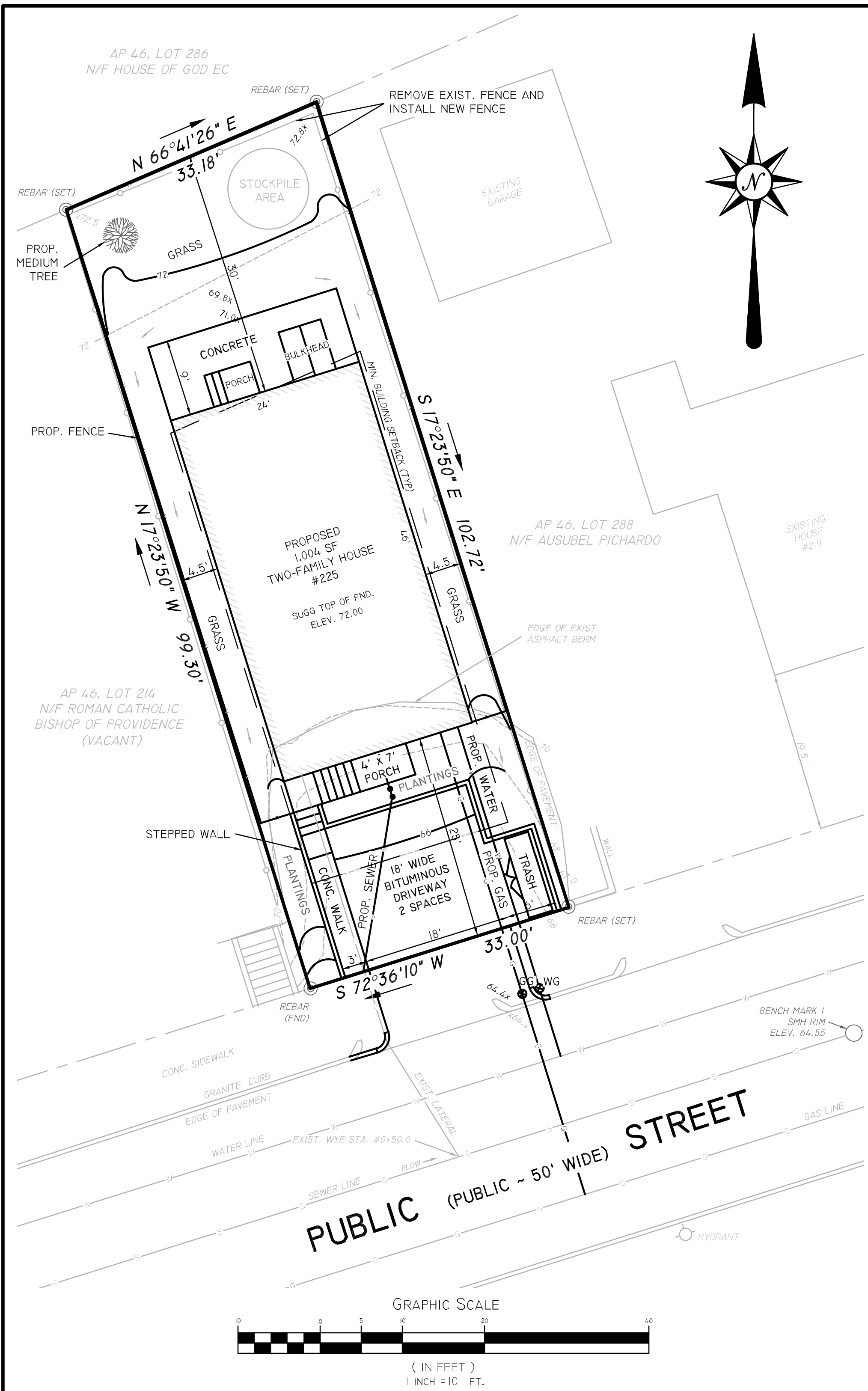
501 Great Road, Unit 104  
 North Smithfield, RI 02896  
 Phone: (401) 762-2870 Fax: (401) 762-2871  
 Web Address: InsiteEngineers.com

SHEET

1

OF 1





**GENERAL NOTES:**

1. OWNER: SWAP, INC. - 439 PINE STREET, PROVIDENCE, RI 02907.
2. LOT AREA: 3,333 SF.
3. ZONING DISTRICT: R-3
4. DEED REFERENCE: BOOK 13984, PAGE 315.
5. ELEVATIONS BASED UPON NAVD88.
6. THERE ARE NO WETLANDS ON THE PROPERTY.
7. SITE DOES NOT FALL WITHIN THE HISTORIC DISTRICT.
8. THE PROPERTY SHOWN IS NOT LOCATED WITHIN A FEDERALLY DESIGNATED FLOOD HAZARD AREA AS SHOWN ON THE FEMA FLOOD INSURANCE RATE MAP FOR THE CITY OF PROVIDENCE, RHODE ISLAND, MAP No. 44007C0308J WITH AN EFFECTIVE DATE OF 10/2/2015.
9. EXISTING IMPERVIOUS AREA: 927 SF.
10. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO THE FINDINGS SUCH A REPORT MIGHT DISCLOSE. PROPERTY LINES SHOWN ON THIS SURVEY/PLAT REPRESENT CURRENT PHYSICAL FIELD CONDITIONS AND EVIDENCE OF APPARENT POSSIBLE POSSESSION, ANY REFERENCES TO PUBLIC RECORDS HEREON REFLECTS TO THOSE RECORDS NECESSARY TO ESTABLISH THE BOUNDARIES SHOWN HEREON AND REFERENCE TO THE SAME DOES NOT, AND IS NOT INTENDED TO CONSTITUTE A TITLE SEARCH OR TITLE OPINION.

**REFERENCE:**

PLAT BOOK 9 AT PAGE 20 AND COPY ON PLAT CARD 247

**ZONING DISTRICT: R-3**

MINIMUM LOT AREA: SF EXISTING LOTS - NONE  
 SF NEW SUBDIVISIONS - 5,000 SF  
 MINIMUM LOT WIDTH: SF EXISTING LOTS - NONE  
 SF NEW SUBDIVISIONS - 50'  
 MAXIMUM BUILDING HEIGHT: 45 FEET, NOT TO EXCEED 3 STORIES  
 LOTS OF 2,500 OR LESS: 32', NOT TO EXCEED 2 STORIES  
 MAXIMUM BUILDING COVERAGE: 45%  
 MAXIMUM IMPERVIOUS SURFACE COVERAGE FRONT YARD: 33%  
 MAXIMUM IMPERVIOUS SURFACE COVERAGE REAR YARD: 50%  
 TOTAL MAXIMUM IMPERVIOUS SURFACE COVERAGE: 65%  
 TOTAL MINIMUM IMPERVIOUS SURFACE COVERAGE: 1,000 SF  
 MINIMUM SETBACKS: FRONT - SEE NOTE\*  
 INTERIOR SIDE AND CORNER SIDE - LOT WIDTH 60' OR LESS: 6'  
 LOT WIDTH MORE THAN 60': 10'  
 REAR - 30'

**\*NOTE:**

- THE FRONT SETBACK REQUIREMENT IN RESIDENTIAL DISTRICTS IS A REQUIRED BUILD-TO-ZONE CALCULATED ACCORDING TO AN AVERAGING PROVISION, AS FOLLOWS:
1. THE BUILD-TO-ZONE IS CALCULATED AS THE AVERAGE OF THE FRONT SETBACKS OF DEVELOPED LOTS WITHIN 100 FEET ON EITHER SIDE OF THE SUBJECT LOT ON THE SAME SIDE OF THE STREET AS THE SUBJECT LOT. ANY LOTS WITHIN THIS DISTANCE THAT ARE ONLY PARTIALLY WITHIN THIS 100 FEET ARE ALSO INCLUDED IN THE CALCULATION. THE RESULTING CALCULATION CAN BE INCREASED OR DECREASED BY FIVE FEET TO ESTABLISH THE BUILD-TO-ZONE.
  2. IF THERE ARE NO BUILDINGS ON THE SAME SIDE OF THE STREET, DEVELOPED LOTS WITHIN 100 FEET IN BOTH DIRECTIONS ON THE OPPOSITE SIDE OF THE STREET ARE USED FOR AVERAGING TO CALCULATE THE REQUIRED MINIMUM FRONT SETBACK. ANY LOTS WITHIN THIS DISTANCE THAT ARE ONLY PARTIALLY WITHIN THIS 100 FEET ARE ALSO INCLUDED IN THE CALCULATION. THE RESULTING CALCULATION CAN BE INCREASED OR DECREASED BY FIVE FEET TO ESTABLISH THE BUILD-TO-ZONE.
  3. IF THERE ARE NO BUILDINGS ON THE SAME SIDE OR THE OPPOSITE SIDE OF THE STREET, THE REQUIRED FRONT BUILD-TO-ZONE IS SET AS THE AREA BETWEEN 5% AND 15% OF THE LOT DEPTH.

**ARTICLE 20: 2003 NONCONFORMING LOT**

- B. FOR DEVELOPMENT OF A NONCONFORMING LOT, THE SETBACK, FRONTAGE, AND/OR LOT WIDTH REQUIREMENTS FOR A STRUCTURE UNDER THIS SECTION SHALL BE REDUCED AND THE MAXIMUM BUILDING COVERAGE REQUIREMENTS SHALL BE INCREASED BY THE SAME PROPORTION AS THE LOT AREA OF THE SUBSTANDARD LOT IS TO THE MINIMUM LOT AREA REQUIREMENT FOR NEW SUBDIVISIONS OF THE ZONING DISTRICT IN WHICH THE LOT IS LOCATED. ALL OTHER DIMENSIONAL REQUIREMENTS FOR THE ZONING DISTRICT SHALL APPLY.

**ZONING TABLE**

NON CONFORMING LOT REDUCTION FACTOR: 0.6666 (5,000 SF X 0.6666 = 3,333 SF)

	REQUIRED	PROVIDED
LOT AREA	N/A	3,333 SF
LOT WIDTH	33'	33'
MAX. BUILDING COVERAGE	60% @ 1,999.8 SF	32.75% @ 1,090 SF
MAX. IMPERVIOUS COVERAGE	65% @ 2,166 SF	51.7% @ 1,723 SF
MAX. IMPERVIOUS COVERAGE FRONT YARD	33% @ 272.25	56% @ 463 SF
MAX. IMPERVIOUS COVERAGE REAR YARD	50% @ 495	21.8% @ 216 SF
MIN. IMPERVIOUS COVERAGE	1,000 SF	1,610 SF
MIN. FRONT SETBACK PER 402.B	15.67'	25'
MIN. FRONT SETBACK PER 2003.B	12.11'	25'
MIN. SIDE SETBACK	4'	4.5'
MIN. REAR SETBACK	30'	30'

**CERTIFICATION:**

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:

- LIMITED CONTENT BOUNDARY SURVEY: CLASS 1
- TOPOGRAPHIC ACCURACY: T-4

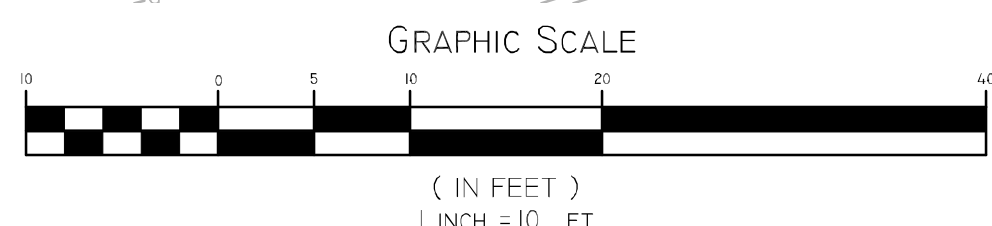
**STATEMENT OF PURPOSE**

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND THE PREPARATION OF THE PLAN IS AS FOLLOWS: DIVIDE PROPOSED HOUSE.

*Marc N. Nyberg*  
 MARC N. NYBERG LICENSE No. 1797 COA No. A52

**LEGEND**

- 100 - - - - - 100 EXISTING CONTOUR
- 100.0x EXISTING GRADE
- 100 - - - - - 100 PROPOSED CONTOUR
- 100.0x PROPOSED GRADE
- WG ○ WATER SHUTOFF
- GG ○ GAS SHUTOFF
- SMH ○ SEWER MANHOLE
- W — WATER LINE
- S — SEWER LINE
- G — GAS LINE



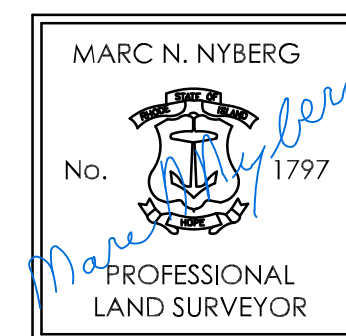
**ZONING PLAN**

ASSESSOR'S PLAT 46 LOT 287  
 225 PUBLIC STREET  
 PROVIDENCE, RHODE ISLAND

PREPARED FOR: SWAP, INC.  
 439 PINE STREET, PROVIDENCE, RI 02907

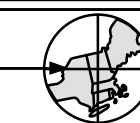
JOB # 24-074 SCALE: 1" = 10" DRAWN BY: LMB DATE: 10-29-24

REVISED:



PROFESSIONAL SEAL

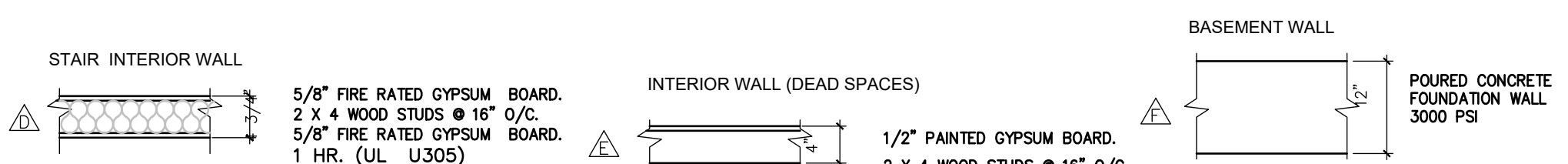
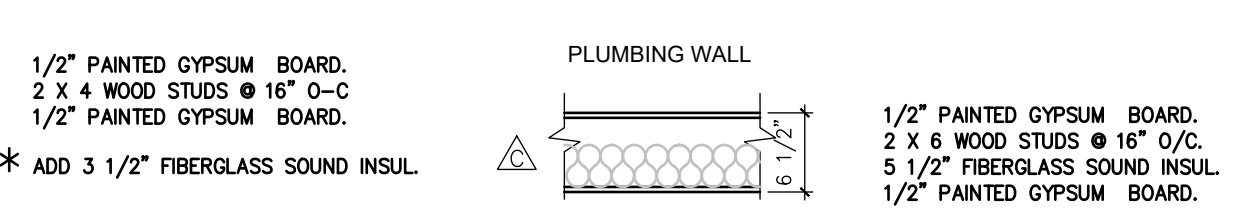
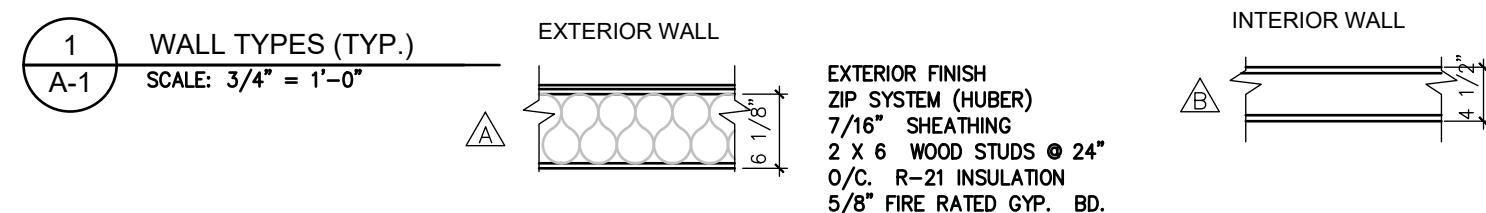
**INSITE** Engineering Services, LLC  
 PROFESSIONAL ENGINEERS | LAND SURVEYORS  
 Precision. Clarity. Certainty.



InSite Professional Complex, Suite 1  
 1539 Fall River Avenue, Seekonk, MA 02771  
 Phone: (508) 336-4500 Fax: (508) 336-4558  
 501 Great Road, Unit 104  
 North Smithfield, RI 02896  
 Phone: (401) 762-2870 Fax: (401) 762-2871  
 Web Address: InSiteEngineers.com

SHEET  
**1**  
 OF 1





**FINISH SCHEDULE**

RM No	ROOM NAME	FLOOR	BASE	WALLS	CEILING	CEILING HGT.
001	MECHANICAL	C	-	C	F	7'-0 1/2"
002	STAIRS #2	C/A	D	C/F	F	VARIES
003	LAUNDRY	C	-	C/F	F	7'-0 1/2"
101	STAIRS #1	A/G	D	F	F	VARIES
102	LIVING	A	D	F	F	8'-0"
103	DINING	A	D	F	F	8'-0"
104	KITCHEN	A	D	F	F	8'-0"
105	BEDROOM 1	A	D	F	F	8'-0"
106	CLOSET	A	A	F	F	8'-0"
107	BATH	A	D	F	F	8'-0"
108	STORAGE	A	D	F	F	8'-0"
109	HALL	H	D	F	F	8'-0"
110	BEDROOM 2	A	D	F	F	8'-0"
111	CLOSET	A	D	F	F	8'-0"
112	BEDROOM 3	A	D	F	F	8'-0"
113	CLOSET	A	D	F	F	8'-0"
114	COATS	A	D	F	F	8'-0"
115	STAIRS #2	A/J	D	F	F	VARIES

**FINISH SCHEDULE**

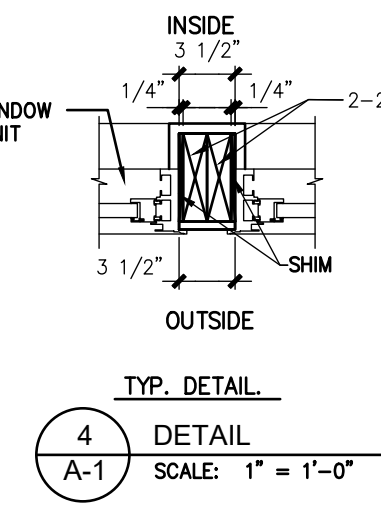
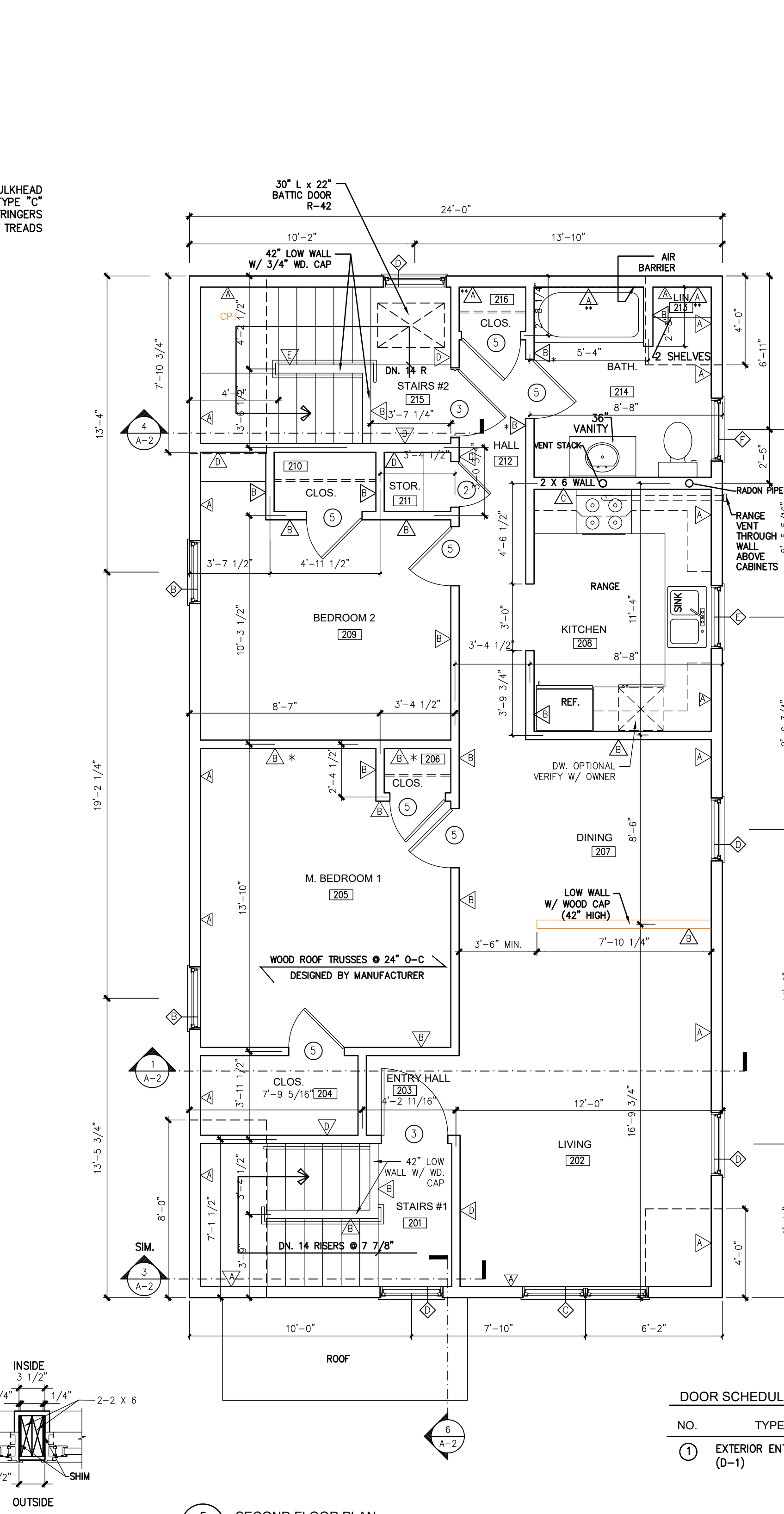
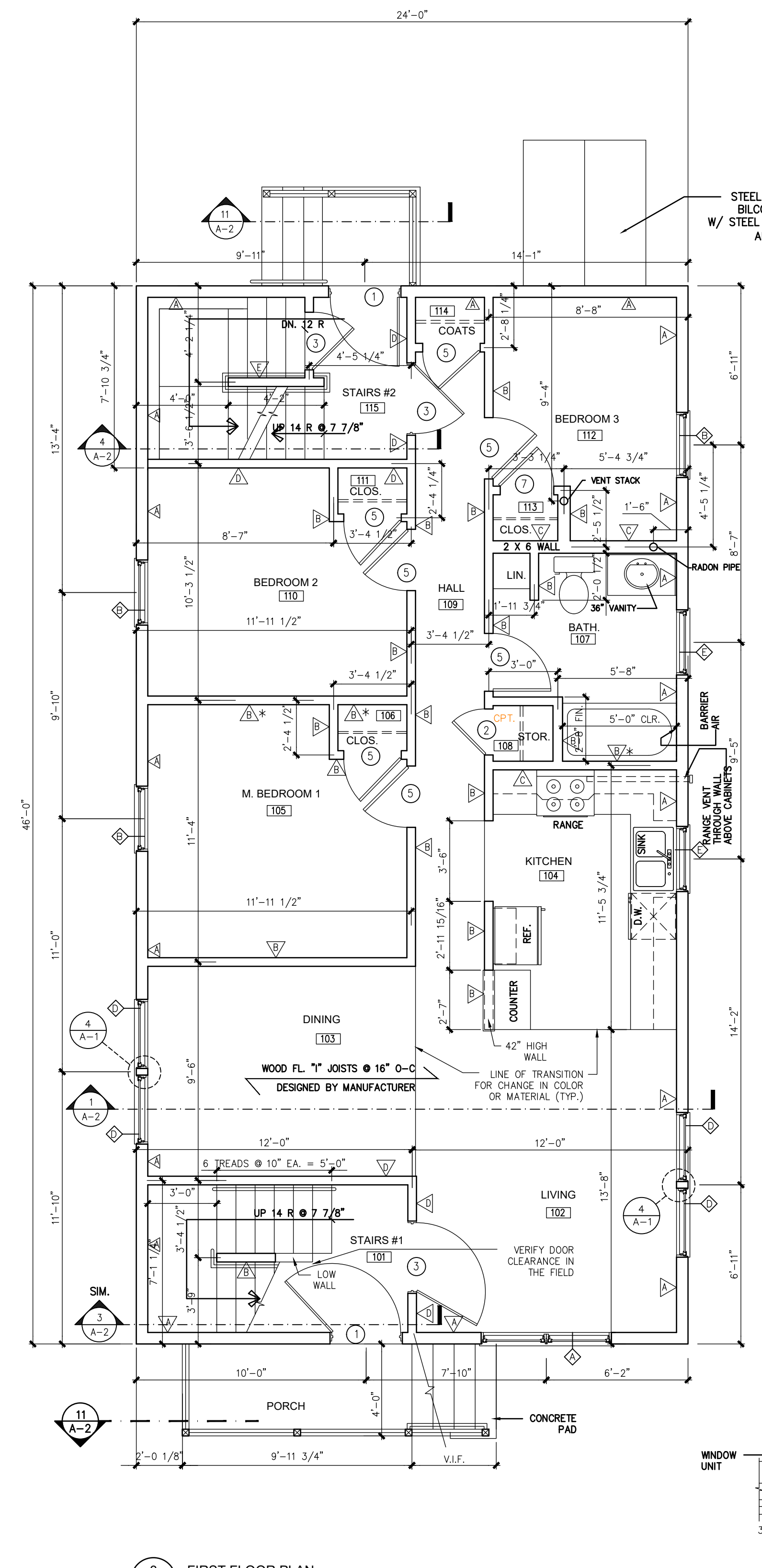
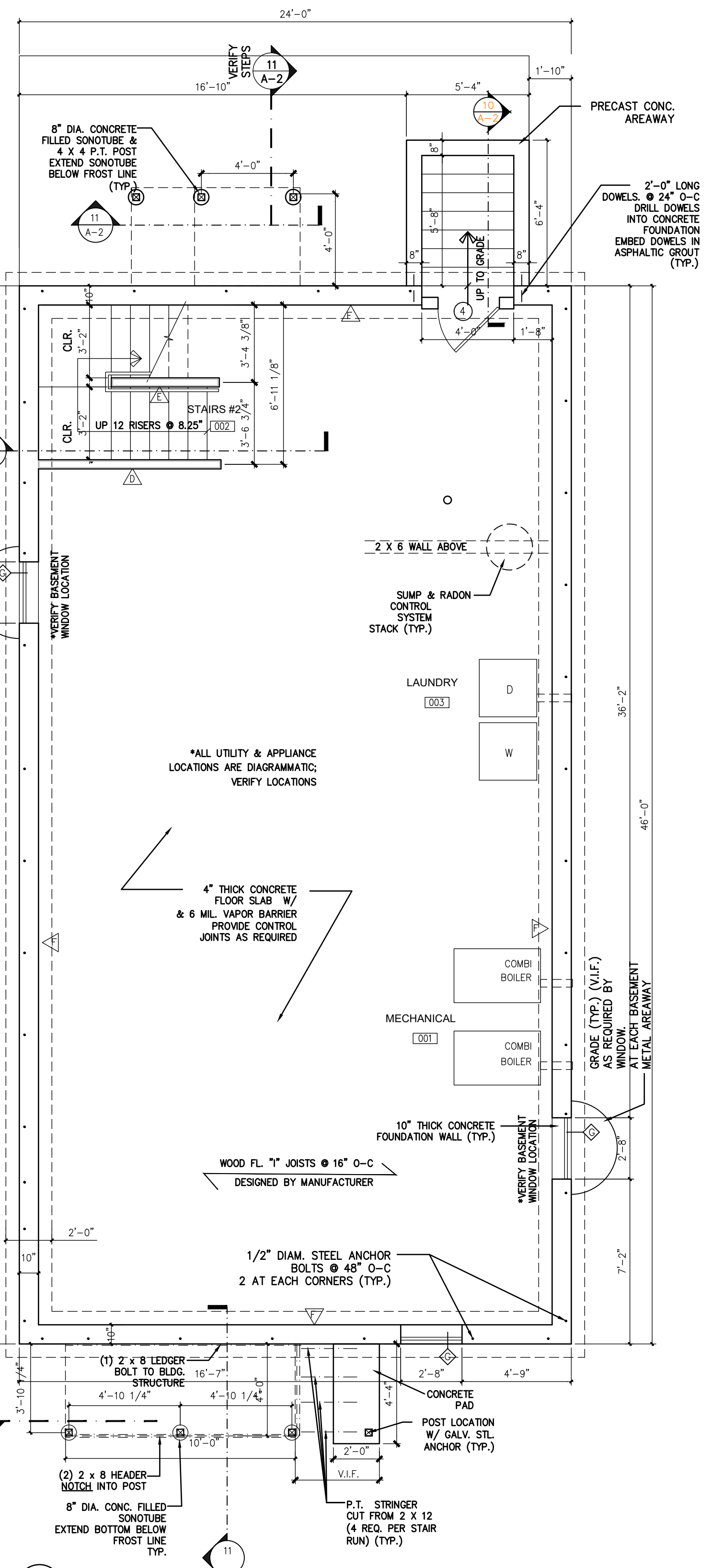
NOTE: NOT ALL ITEMS ARE USED

A. VINYL COMPOSITION TILE  
B. CARPET - 28 OZ.  
C. SEALED CONCRETE  
D. 1 X 6 PAINTED WOOD "SPEED BASE"  
E. NOT USED  
F. PAINTED GYPSUM BOARD  
G. PLYWOOD WITH CARPET AT STAIR  
H. CERAMIC TILE  
J. RUBBER TREAD (N/A)  
K. 2 1/2" COLONIAL CASING

\* VERIFY ALL FLOOR FINISHES W/ OWNER

**DOOR SCHEDULE**

NO.	TYPE	SIZE	REMARKS
①	EXTERIOR ENTRY DOORS (D-1)	3'-0" X 6'-8" X 1 3/4"	FIBERGLASS ENTRY DOOR SYSTEM THERMA-TRU, SMOOTH STAR 6 PANEL 2 LITE CLEAR LOW-E (U = .27) GLASS W/ PRE-HUNG FRAME
②	INTERIOR DOORS (D-2)	2'-0" X 6'-8" X 1 3/8"	PAINTED SOLID MOLDED FIBER DR. 6 PANEL W/ PRE-HUNG WOOD FRAME
③	INTERIOR UNIT ENTRY DOOR (D-3)	3'-0" X 6'-8" X 1 3/4"	PAINTED SOLID CORE WOOD DOOR B RATED W/ PRE-HUNG WOOD FRAME
④	INTERIOR ENTRY DOOR (D-4)	2'-8" X 6'-8" X 1 3/4"	PAINTED GALV. STEEL INSULATED FLUSH DOOR W/ PRE-HUNG FRAME OR EQUAL
⑤	INTERIOR DOORS (D-2)	2'-6" X 6'-8" X 1 3/8"	PAINTED SOLID MOLDED FIBER DR. 6 PANEL W/ PRE-HUNG WOOD FRAME
⑥	INTERIOR DOORS (D-2)	1'-6" X 6'-8" X 1 3/8"	PAINTED SOLID MOLDED FIBER DR. 6 PANEL W/ PRE-HUNG WOOD FRAME
⑦	INTERIOR DOORS (D-2)	2'-4" X 6'-8" X 1 3/8"	PAINTED SOLID MOLDED FIBER DR. 6 PANEL W/ PRE-HUNG WOOD FRAME

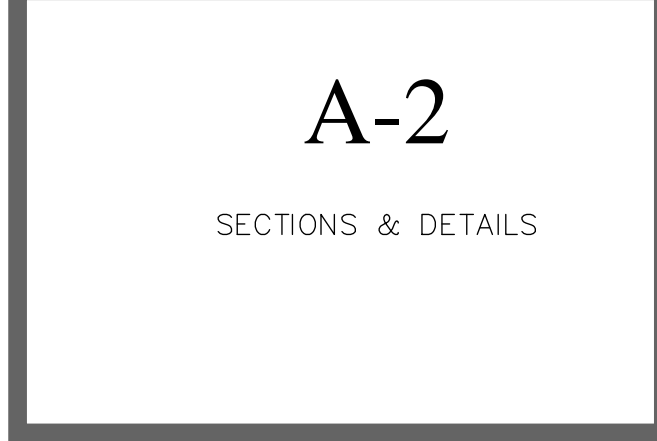
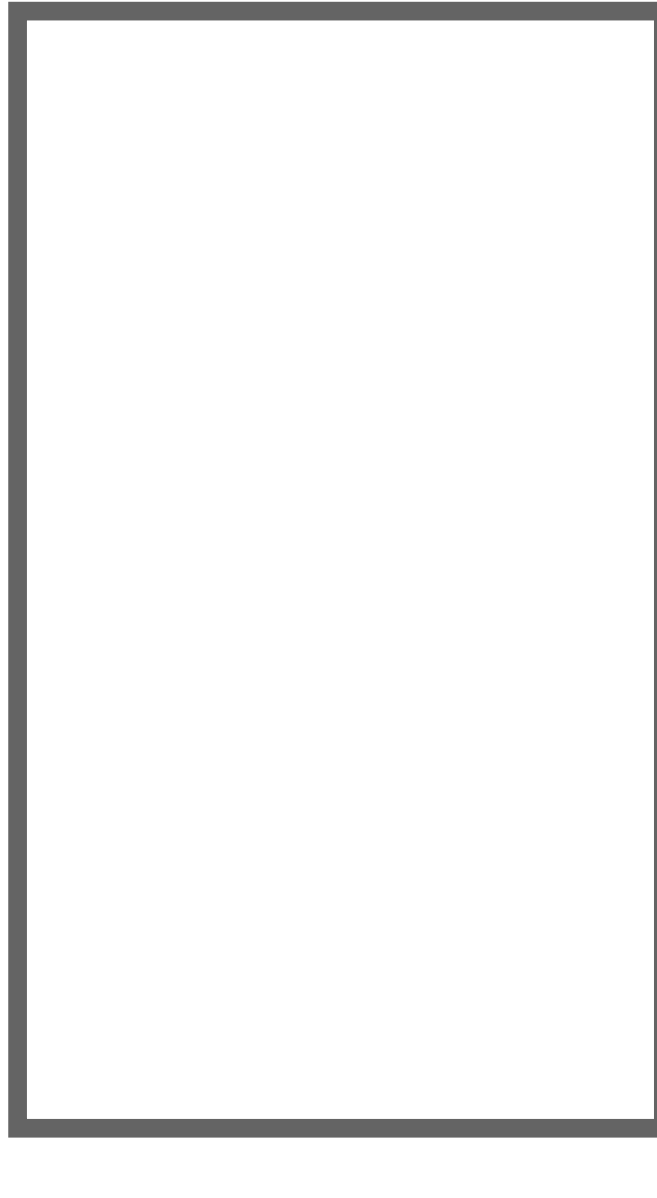
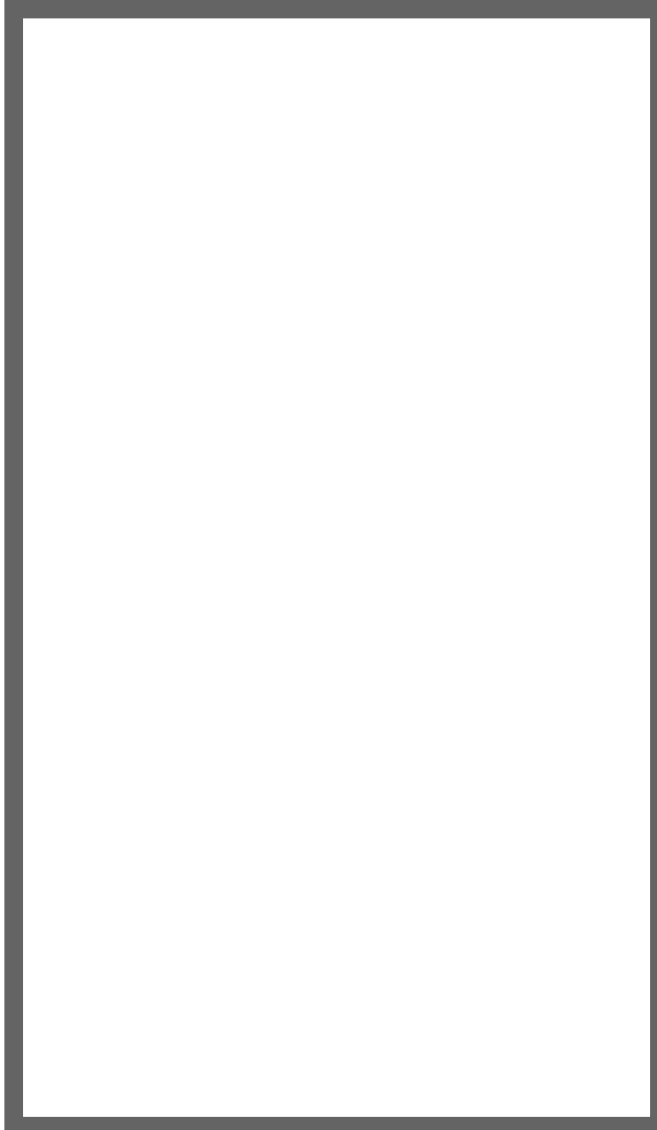
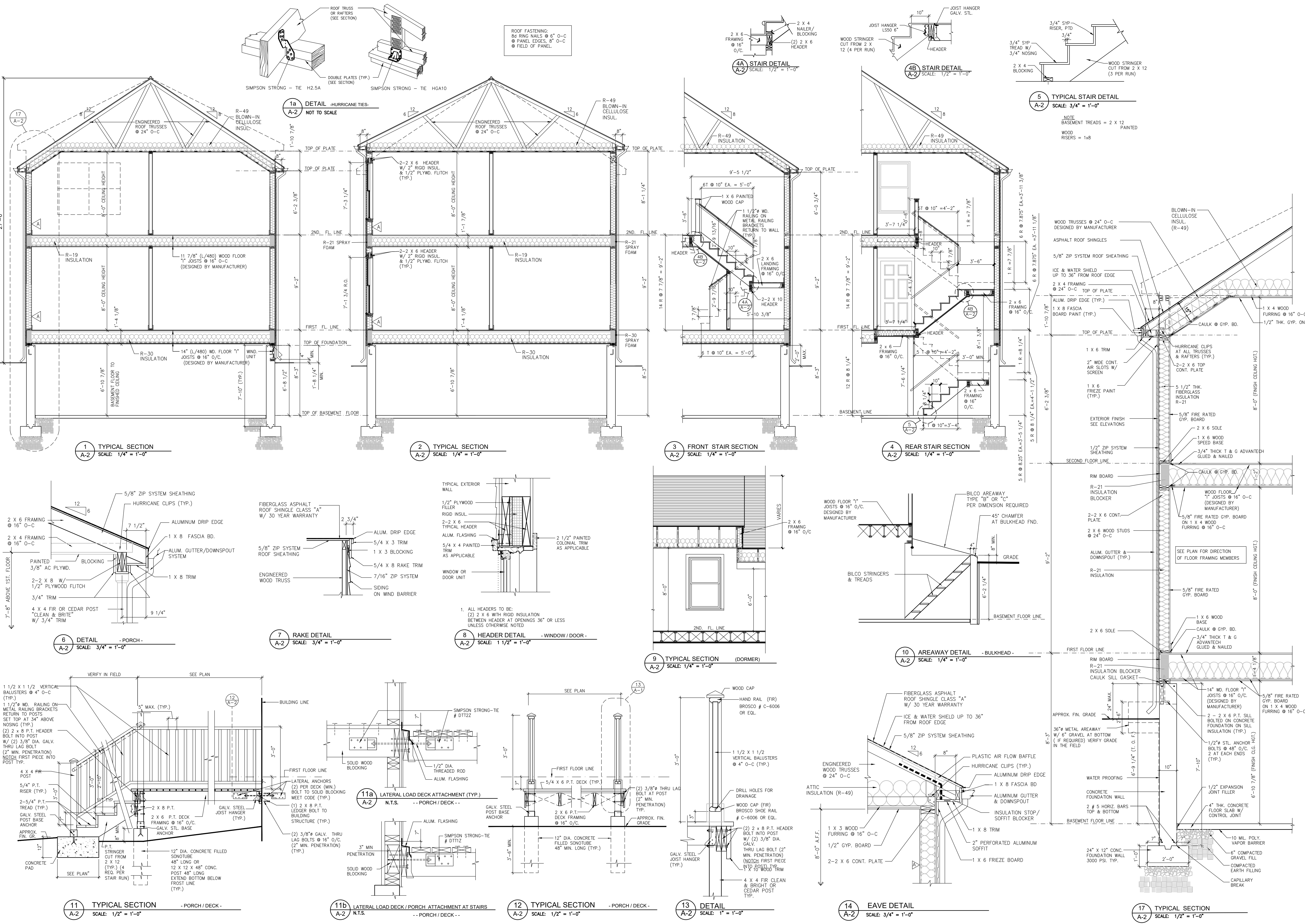


- GENERAL NOTES:**
- PROVIDE TRANSITION SHOULD A CHANGE IN FLOOR MATERIAL OCCUR
  - ALL ELECTRICAL, PLUMBING, HVAC, FIRE ALARM WORK TO BE IN COMPLIANCE WITH ALL STATE AND LOCAL CODES THAT PERTAIN TO EACH TRADE
  - ALL FLOOR FINISHES TO RUN UNDER ALL APPLIANCES
  - DO NOT SCALE DRAWINGS VERIFY DIMENSIONS IN THE FIELD
  - GENERAL CONTRACTOR TO PROVIDE BLOCKING BEHIND ALL FIXTURES, EQUIPMENT AND AT ALL OTHER REQUIRED LOCATIONS. CABINETS, HANDRAILS, BATHS, ACC., ETC.
  - ALL PLUMBING, ELECTRICAL, HVAC DUCTS, WIRING AND PIPING TO BE CONCEALED
  - ALL EQUIPMENT, APPLIANCES AND DEVICES UTILIZED SHALL BE "UL" APPROVED AND RATED
  - GENERAL CONTRACTOR TO OBTAIN ALL REQUIRED PERMITS PRIOR TO STARTING OF ANY CONSTRUCTION
  - ALL CONSTRUCTION TO MEET ALL APPLICABLE CODES AND REGULATION
  - ALL ELECTRICAL, PLUMBING, HVAC, SPECIFICATIONS ETC. RELATING TO THESE TRADES ARE PROVIDED ONLY AS A GUIDE. GENERAL CONTRACTOR TO SUBMIT SHOP DRAWINGS AND SPECIFICATION TO DESIGNER FOR APPROVAL PRIOR TO START OF ANY CONSTRUCTION
  - SMOKE DETECTORS & CARBON MONOXIDE SHALL BE INSTALLED AS REQUIRED BY ALL APPLICABLE CODES AND REGULATIONS.
  - THESE DRAWINGS (A-1, A-2, A-3, A-4 & A-5) ARE ONLY A PART OF THESE CONSTRUCTION DOCUMENTS. VERIFY ALL REQUIREMENTS TO SPECIFICATIONS AND PROJECT MANUAL.
  - CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE OWNER BEFORE PROCEEDING.

225 Public Street  
Providence RI 02905

A-1  
BASMT/ FOUND. PL  
FIRST & SECOND FLR.  
WALL TYPES & NOTES  
SCHEDULES & NOTES





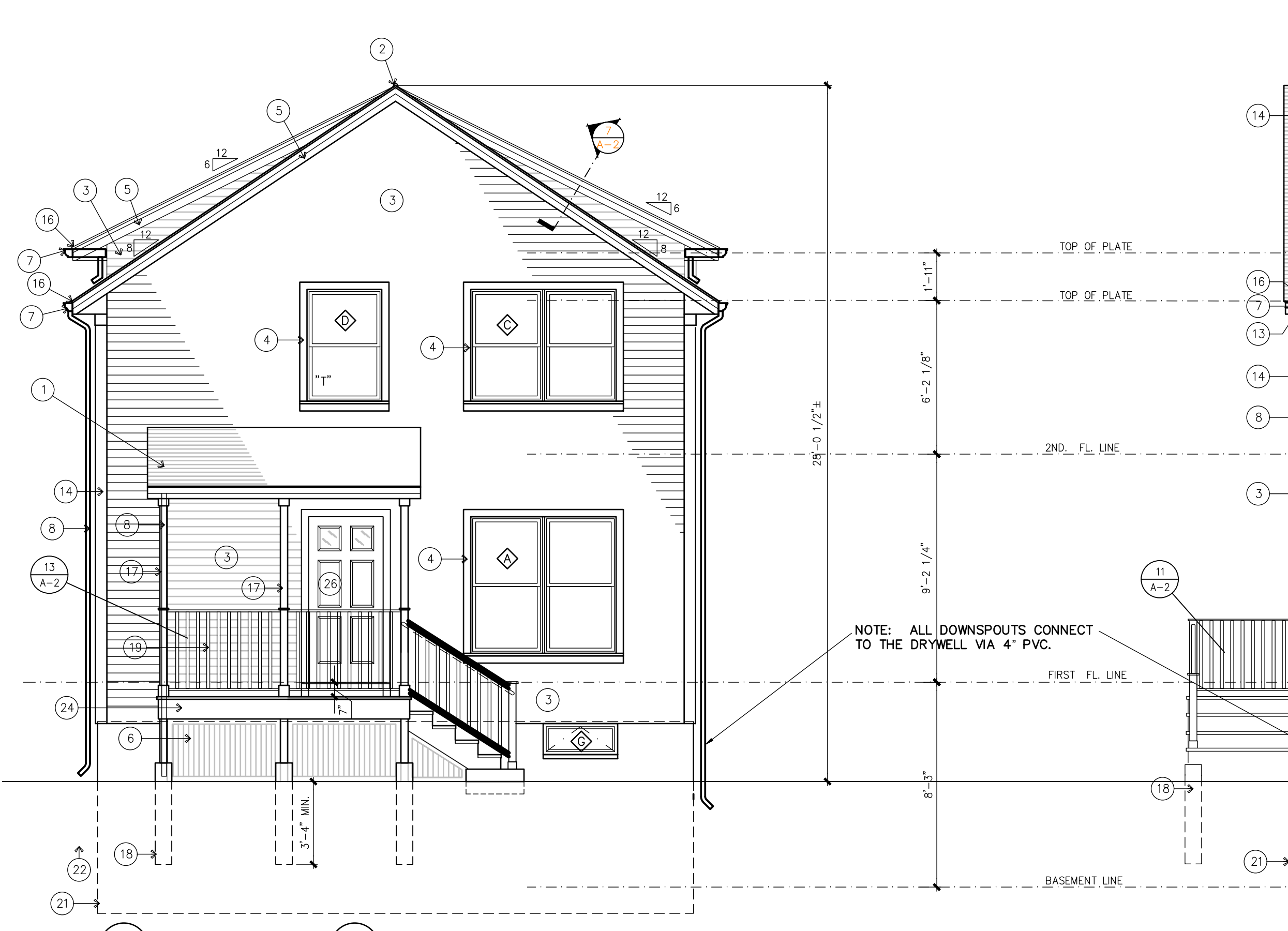
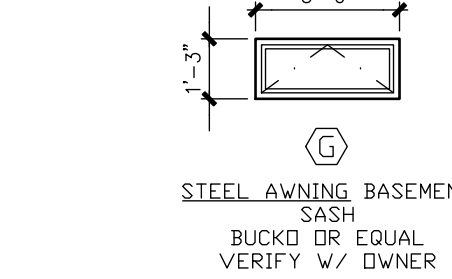
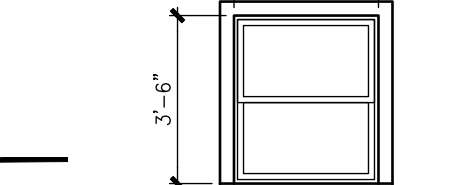
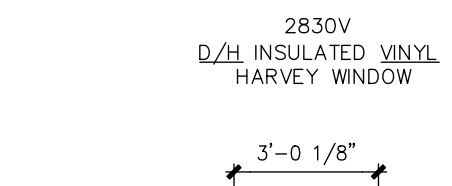
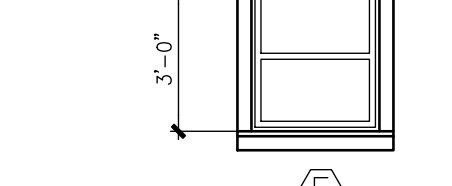
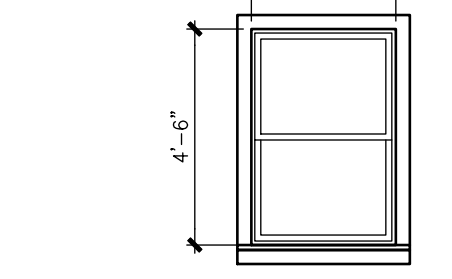
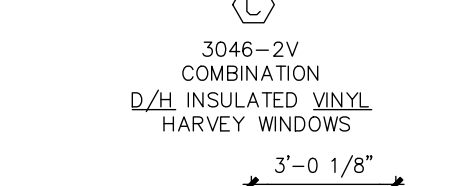
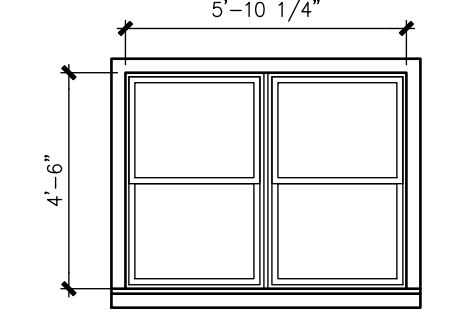
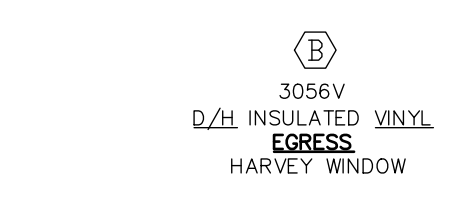
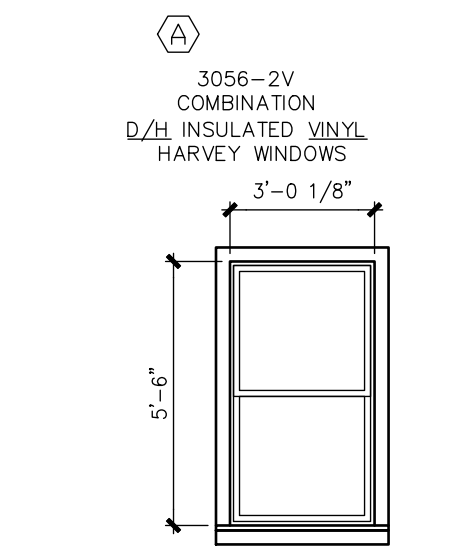
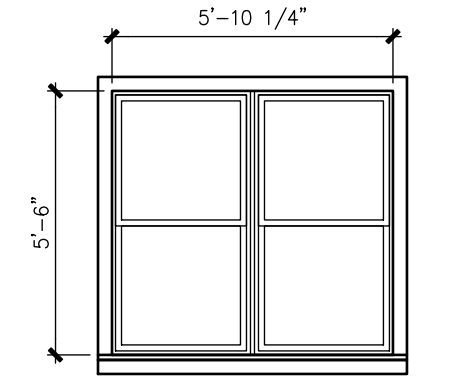


**WINDOW SCHEDULE:** ALL WINDOWS BY HARVEY / LANSING CLASSIC See Owner For Specifications.

NO.	Location	Size	Type	Remarks
A	See Elev's	3056-2V	VINYL DOUBLE HUNG	
B	See Elev's	3056V	VINYL DOUBLE HUNG	
C	See Elev's	3046-2V	VINYL DOUBLE HUNG	
D	See Elev's	3046V	VINYL DOUBLE HUNG	
E	See Elev's	2830V	VINYL DOUBLE HUNG	
F	See Elev's	3036V	VINYL DOUBLE HUNG	
G	Basement	36x15	STL. AWNING BSMT SASH BUCKO DR EQUAL	

**5 WINDOW TYPES**  
SCALE: 1/4" = 1'-0"

- ALL WINDOWS AND DOORS GLAZING TO HAVE LOW-E (U = .27) VALUE GLASS
- ALL BEDROOM WINDOWS TO MEETS EGRESS CODE (5.7 SF MIN. NET CLEAR OPENING) WIDTH = 20" MIN., 24" MIN. HGT. ("E" = EGRESS)
- "T" = TEMPERED SAFETY AT NET LOCATIONS AND STAIRS



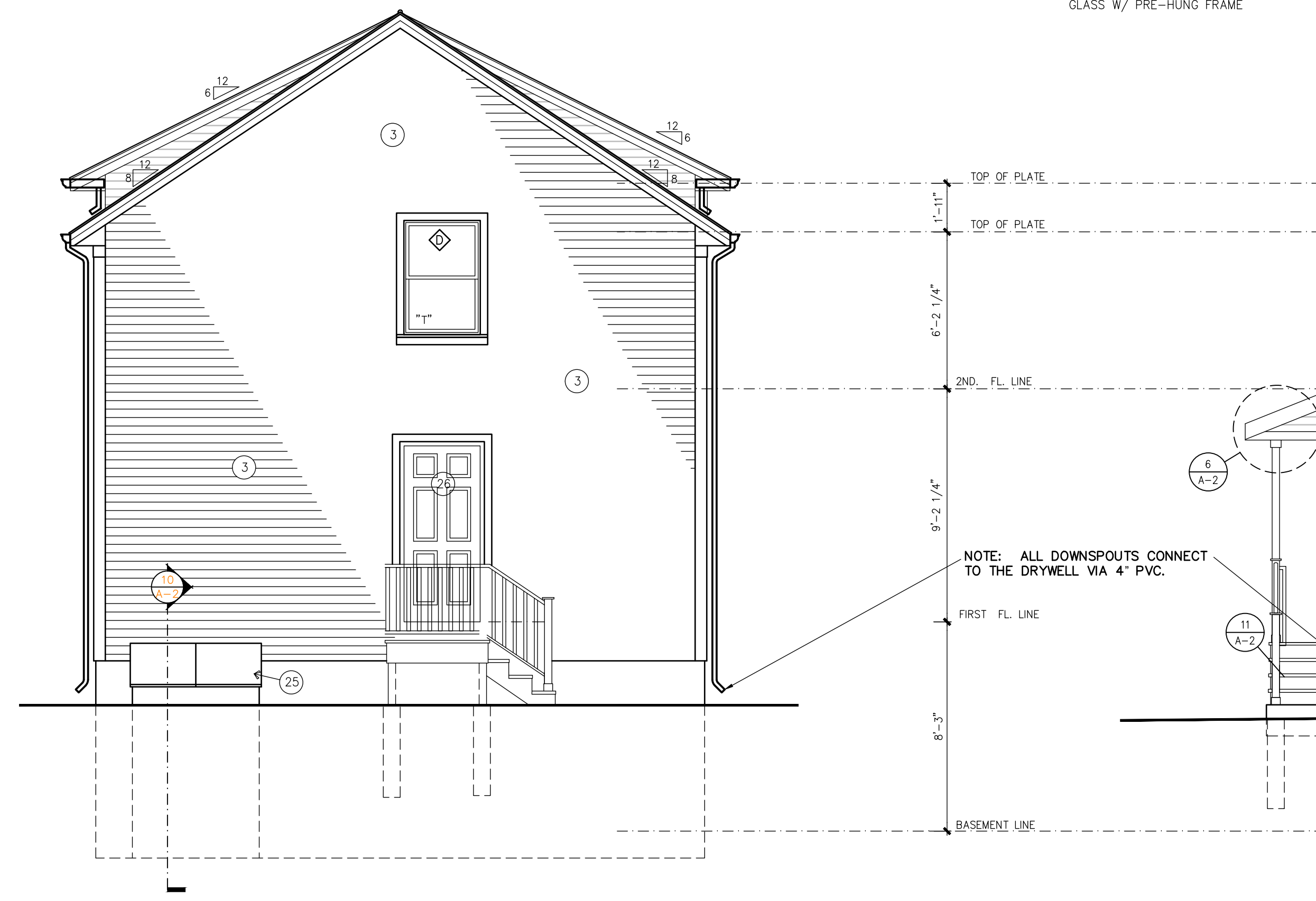
**1 FRONT ELEVATION (W/ST)**  
SCALE: 3/32" = 1/4" = 1'-0"

**A-3 KEY NOTES**

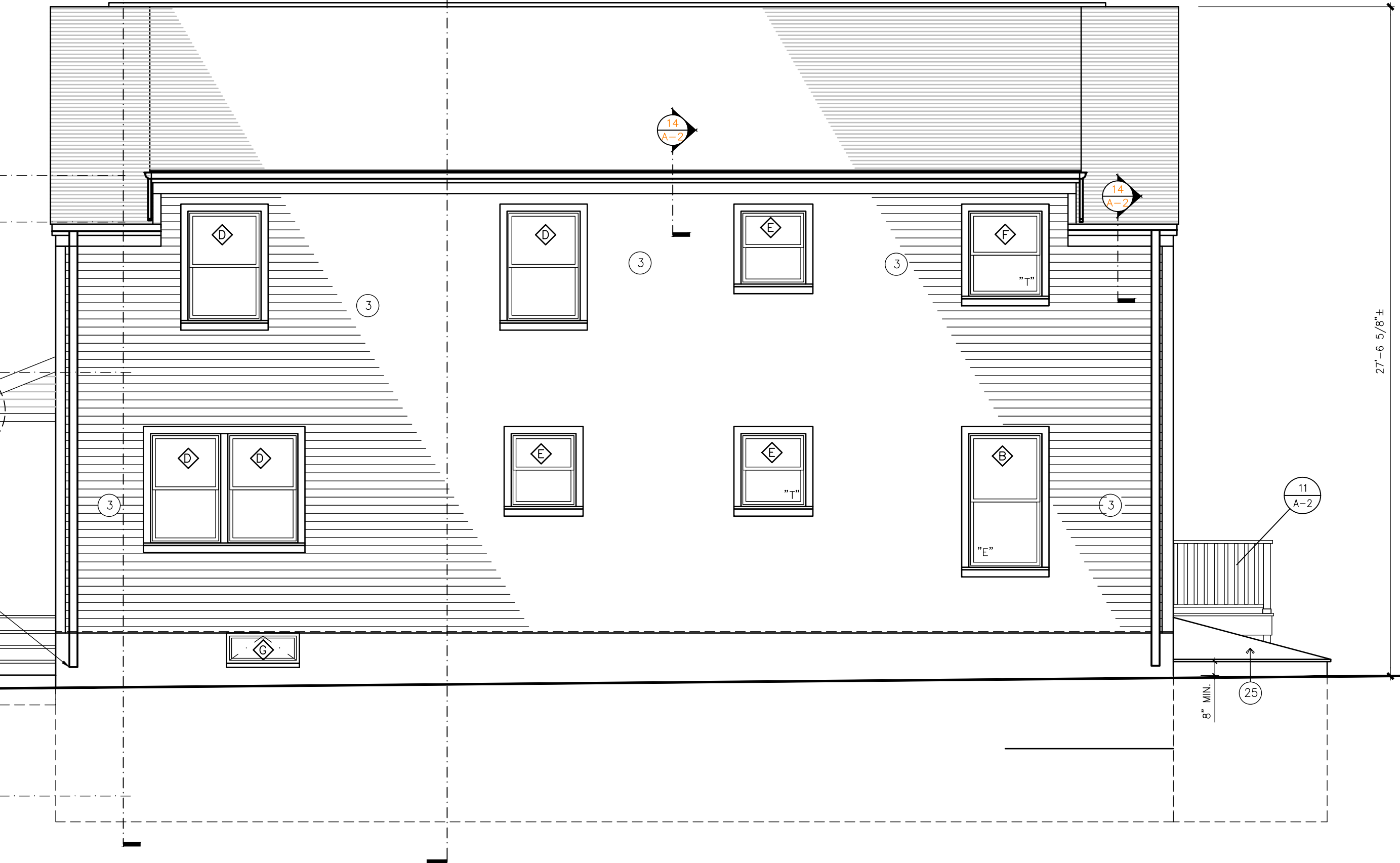
- FIBERGLASS ASPHALT ROOF SHINGLES W/ 30 YEAR WARRANTY AND "A" RATING
- RIDGE VENT
- LP SMARTSIDE
- 5/4 X 4 PAINTED PVC TRIM
- 5/4 X 8 PAINTED PVC TRI W/ 1 X 3 PVC TRIM
- 1 X 4 P.T. VERTICAL SKIRT
- ALUMINUM GUTTERS
- ALUMINUM DOWNSPOUTS
- RAILROAD TIES
- (NOT USED)
- BASEMENT WINDOW
- 1 X 8 WOOD FASCIA BD.
- 5/4 X 6 PVC CORNER TRIM
- 5/4 X 8 PAINTED PVC TRIM
- 4 X 4 FIR CLEAN & BRIGHT OR CEDAR POST
- 8" DIA. X 48" DEEP CONC. FILLED SONOTUBE TUBE (TYPICAL)
- 1 1/2" X 1 1/2" FIR BALUSTERS @ 4" O/C (TYP.)
- 8" DIAMETER CONCRETE FILLED SONOTUBE
- 10" THK. CONCRETE FOUNDATION WALL (VERIFY SITE CONDITIONS)
- APPROXIMATE FINISH GRADE
- 2'-0" X 4'-0" X 12" THICK CONCRETE PAD
- 1 X 10 PVC TRIM
- BILCO TYPE "B" OR "C" AREAWAY (VERIFY DIM.)
- FIBERGLASS ENTRY DOOR SYSTEM THERMA-TRU, SMOOTH STAR 6 PANEL, 2 LITE S296 W/ CLEAR LOW-E (U = .27) GLASS W/ PRE-HUNG FRAME

NOTE: ALL DOWNSPOUTS CONNECT TO THE DRYWELL VIA 4" PVC.

**2 SIDE ELEVATION**  
SCALE: 1/4" = 1'-0"



**3 REAR ELEVATION**  
SCALE: 1/4" = 1'-0"

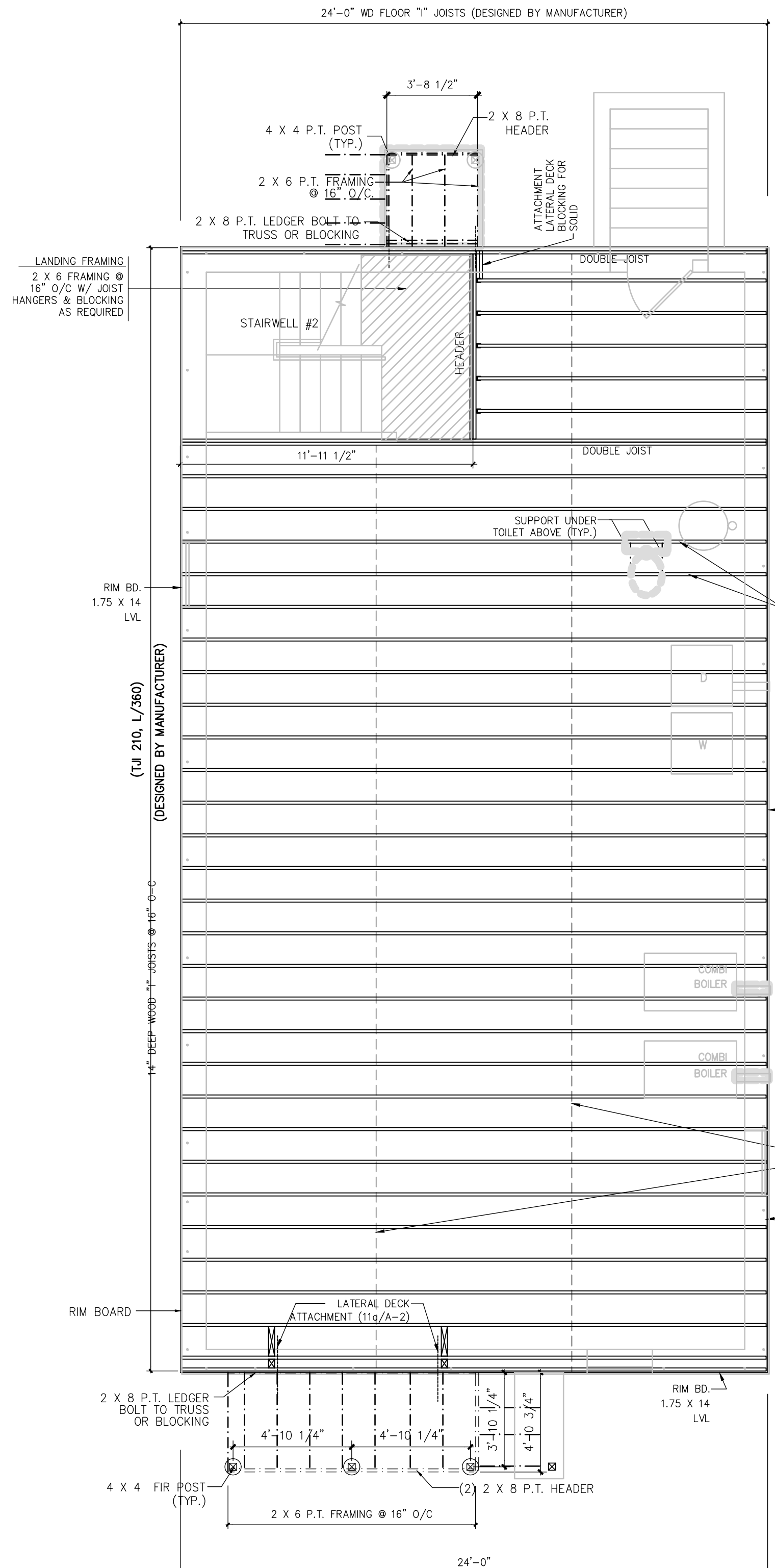


**4 SIDE ELEVATION**  
SCALE: 1/4" = 1'-0"

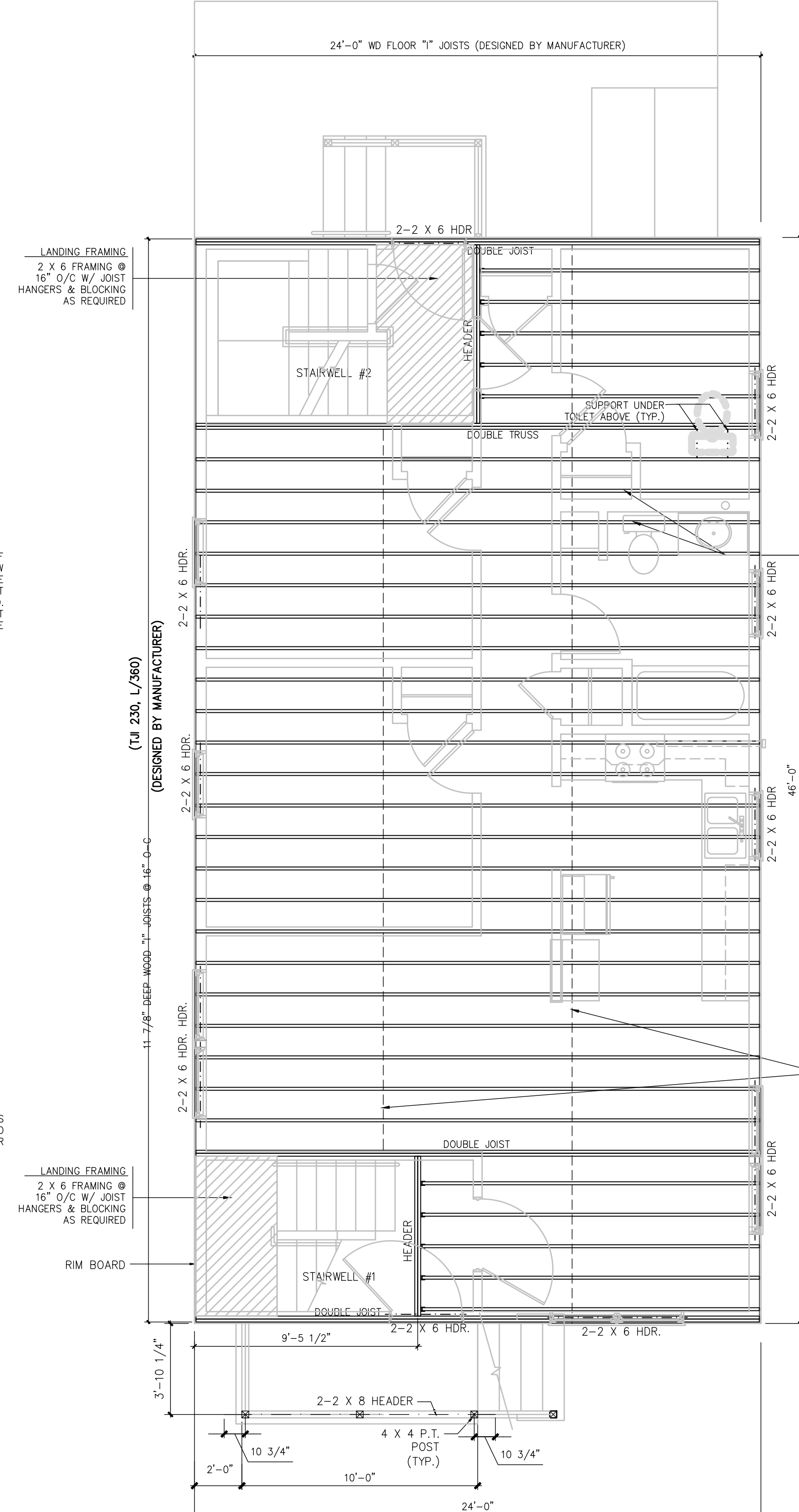
225 Public Street  
Providence RI 02905

**A-3**  
EXTERIOR ELEVATIONS  
WINDOW TYPES  
KEYNOTES

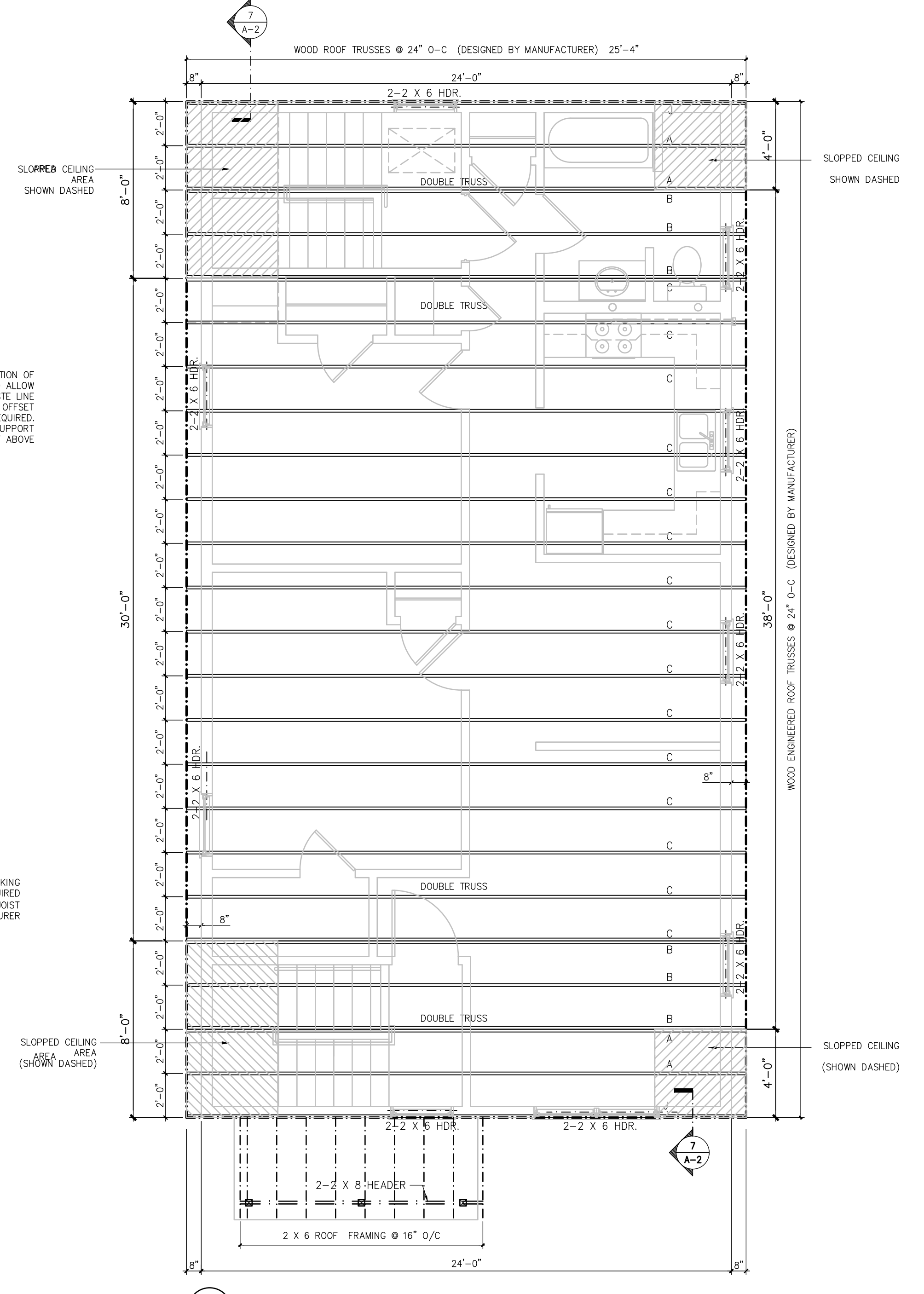
**NOTES:**  
 1. ALL EXTERIOR HEADERS TO BE 2-2 X 6 1/2" PLYWOOD FILLER & RIGID INSULATION AS FILLER. (DET. 8/A-2) UNLESS OTHERWISE NOTED  
 2. START ROOF TRUSSES & FLOOR JOISTS PLACEMENT AT REAR OF BUILDING (VERIFY LOCATION OF FIXTURES)



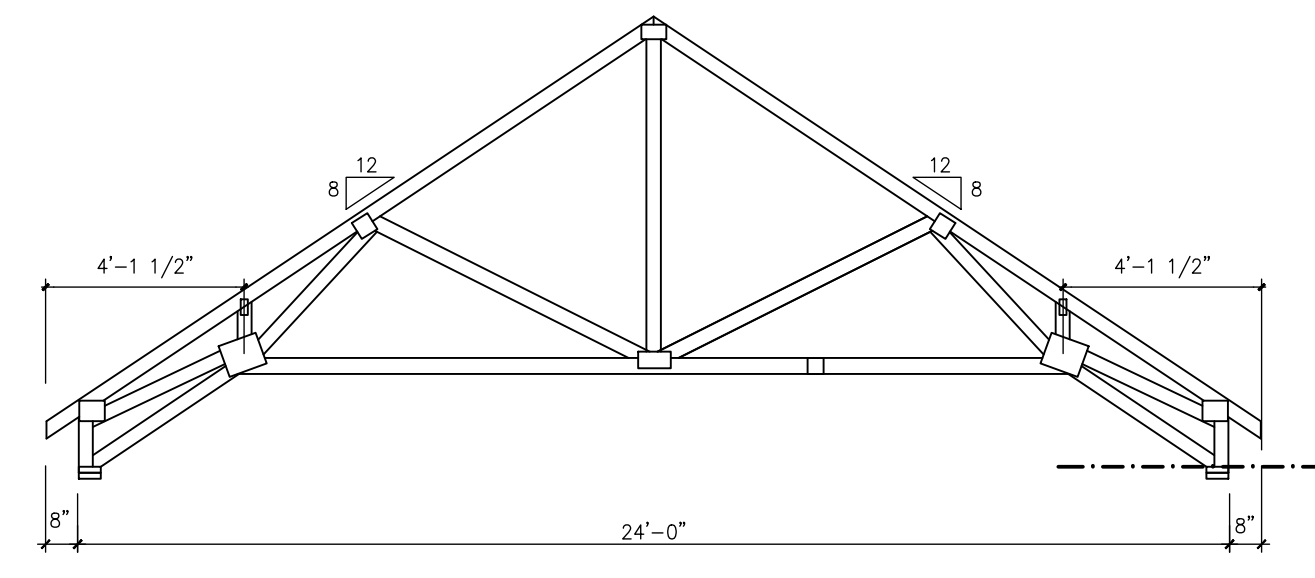
**1** FIRST FLOOR FRAMING PLAN  
 SCALE: 1/4" = 1'-0"



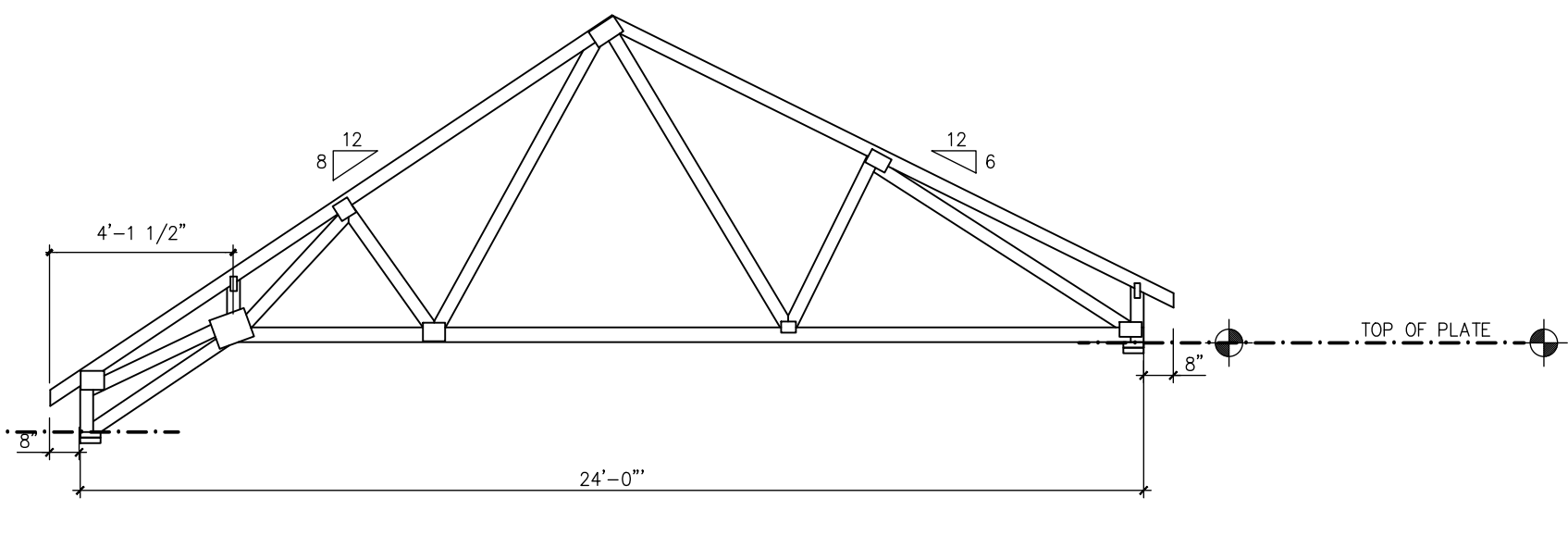
**2** SECOND FLOOR FRAMING PLAN  
 SCALE: 1/4" = 1'-0"



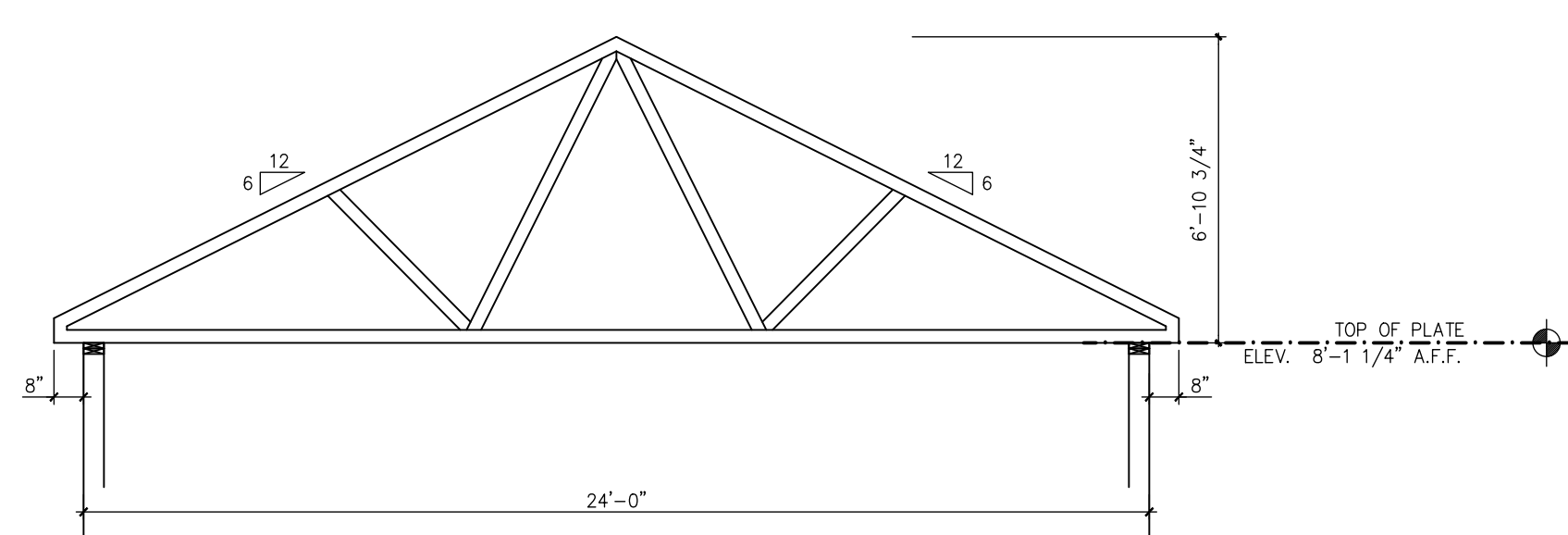
**3** ROOF FRAMING PLAN  
 SCALE: 1/4" = 1'-0"



**4** TRUSS PROFILE J & A  
 SCALE: 1/4" = 1'-0"



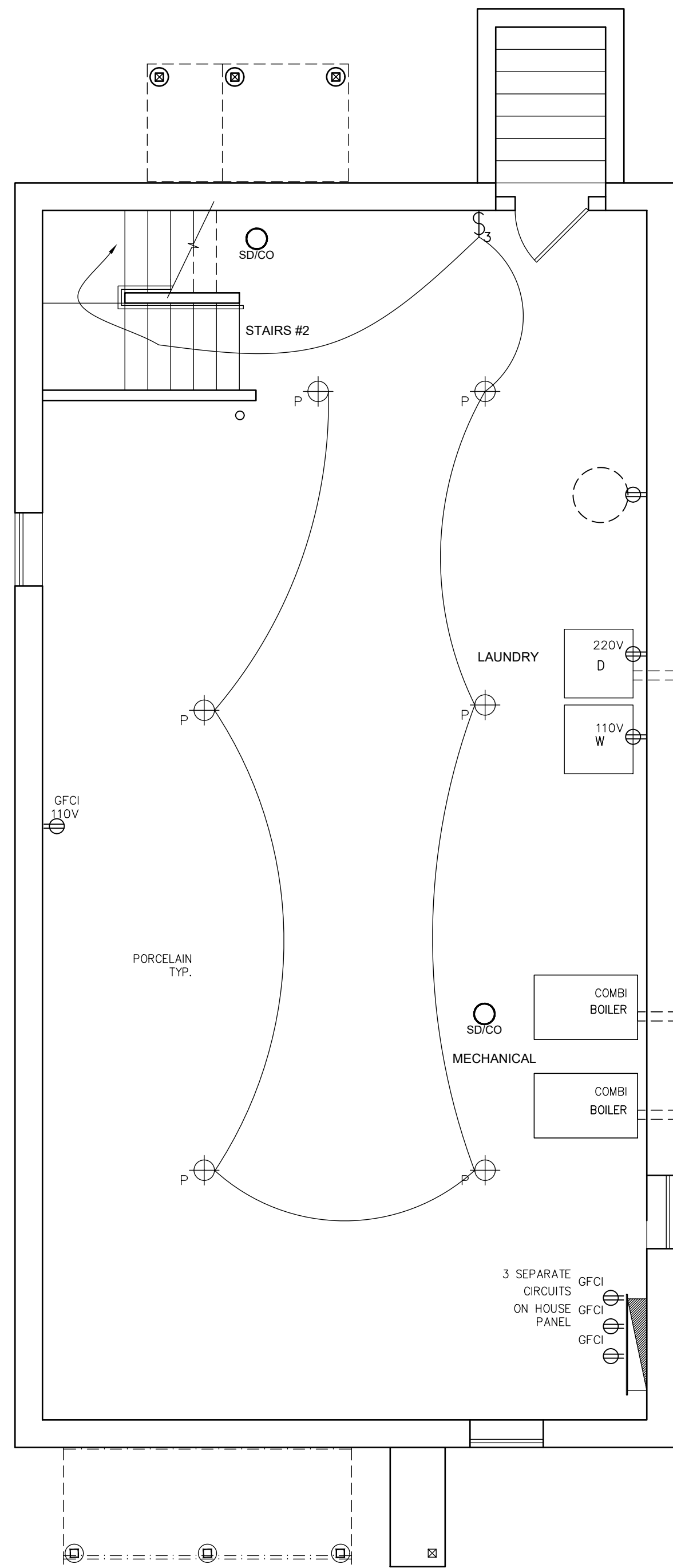
**5** TRUSS PROFILE B  
 SCALE: 1/4" = 1'-0"



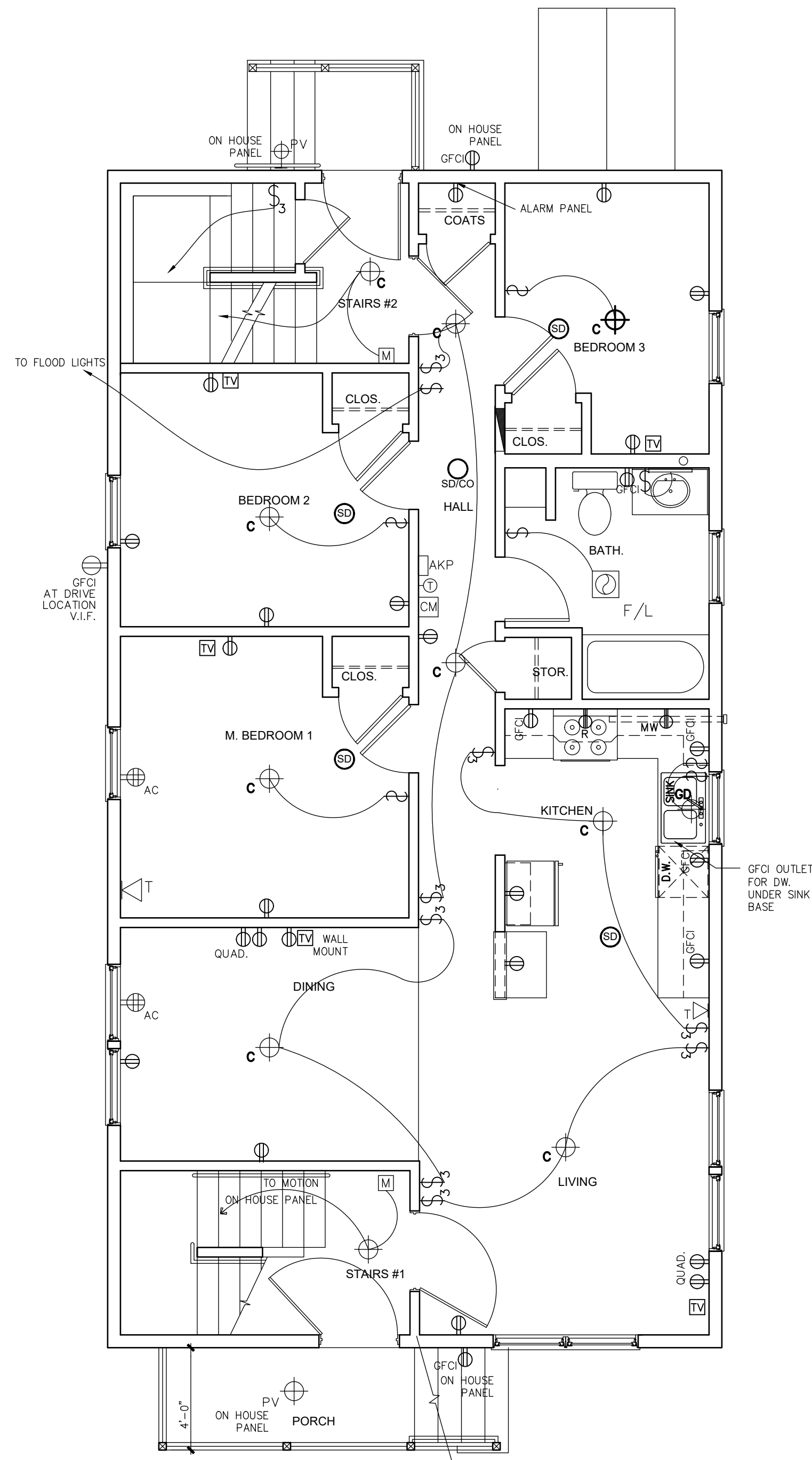
**6** TRUSS PROFILE C  
 SCALE: 1/4" = 1'-0"

**225 Public Street  
 Providence RI 02905**

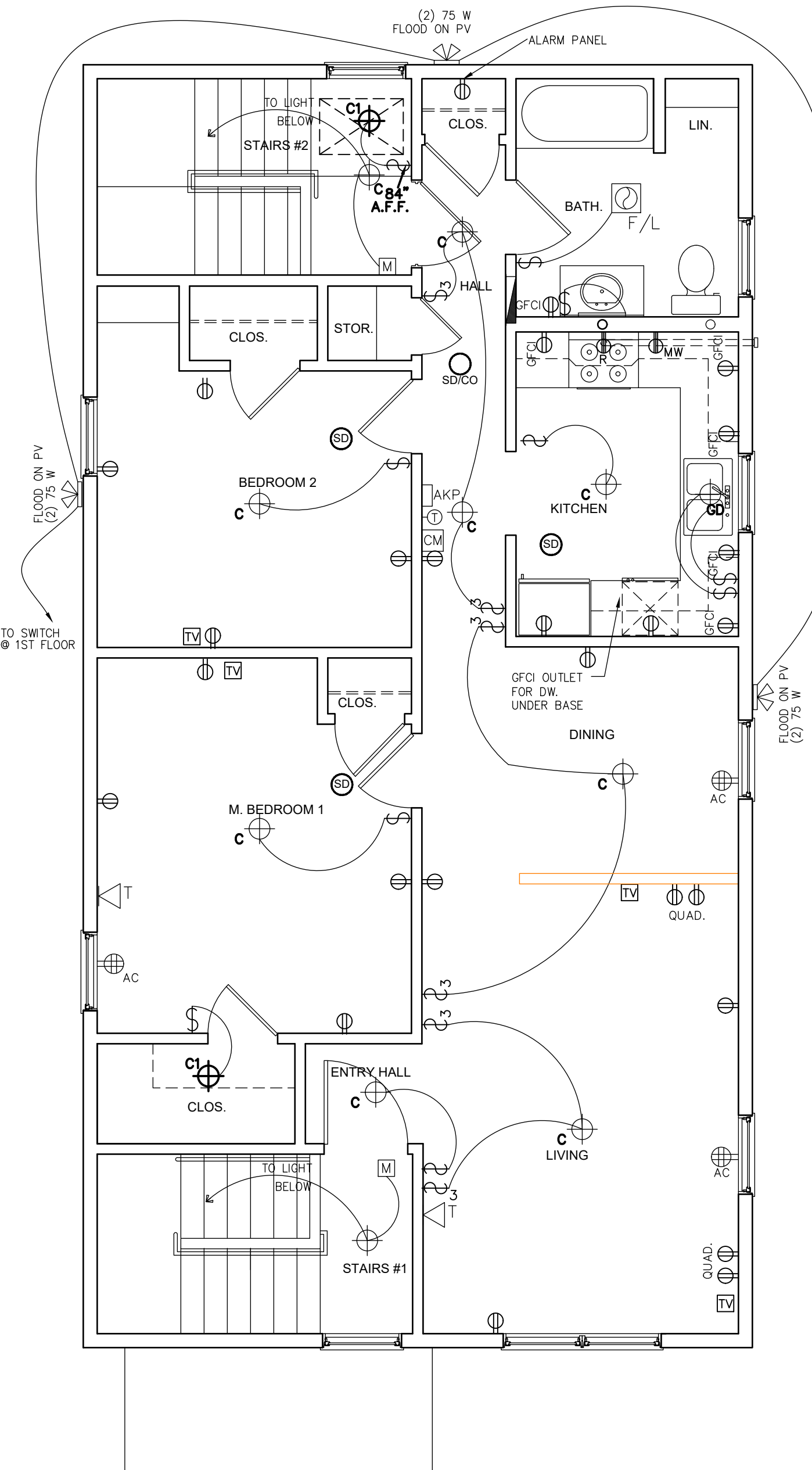




1 BASEMENT ELECTRICAL PLAN  
E-1 SCALE: 1/4" = 1'-0"

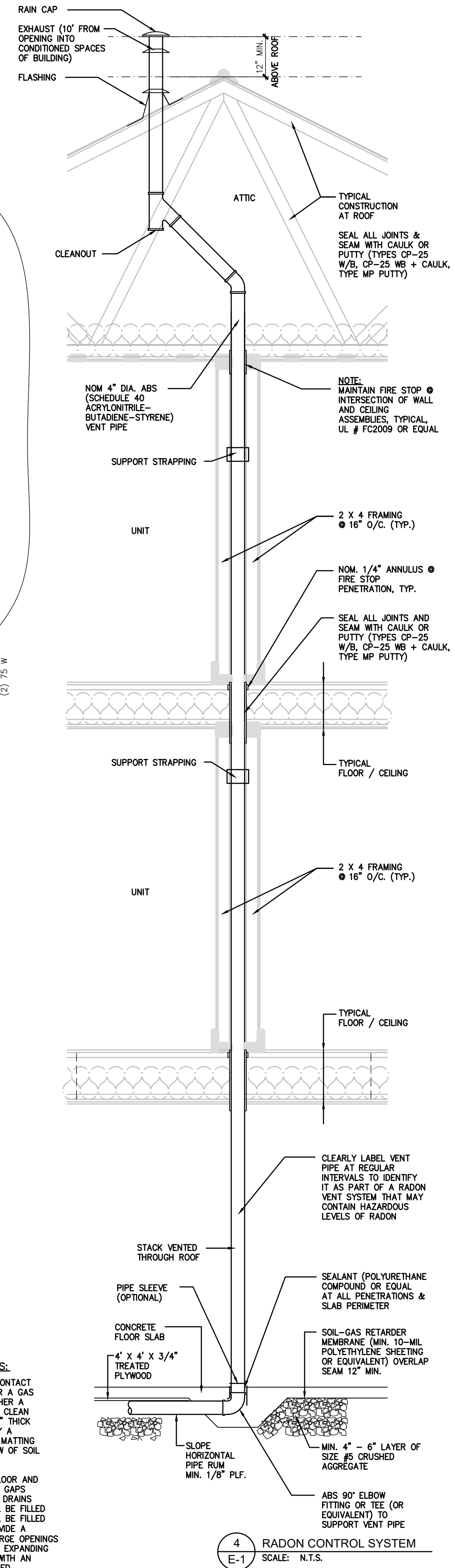


2 FIRST FLOOR ELECTRICAL PLAN  
E-1 SCALE: 1/4" = 1'-0"



3 SECOND FLOOR ELECTRICAL PLAN  
E-1 SCALE: 1/4" = 1'-0"

- NOTES:**
1. ALL BASEMENT LIGHTING AND OUTLETS ON HOUSE PANEL.
  2. ALL DUPLEX OUTLET LOCATIONS AS PER CODE.
  3. ALL COUNTER GFCI OUTLET & LOCATIONS AS PER CODE AS SHOWN.
  4. FIRST FLOOR BATHROOM FAN & LIGHT TO BE SEPARATE AS SHOWN.
  5. REFER TO SPECIFICATIONS FOR ALL SMOKE & CARBON MONOXIDE DETECTOR.



4 RADON CONTROL SYSTEM  
E-1 SCALE: N.T.S.

- RADON CONTROL SYSTEM NOTES:**
1. ALL CONCRETE SLABS THAT COME IN CONTACT WITH THE GROUND SHALL BE LAID OVER A GAS PERMEABLE MATERIAL MADE UP OF EITHER A MINIMUM 4" THICK UNIFORM LAYER OF CLEAN AGGREGATE (SIZE #5) OR A MINIMUM 4" THICK UNIFORM LAYER OF SAND, OVERLAIN BY A LAYER OR STRIPES OF MANUFACTURED MATTING DESIGNED TO ALLOW THE LATERAL FLOW OF SOIL GASES.
  2. ALL OPENINGS, GAPS AND JOINTS IN FLOOR AND WALL ASSEMBLIES IN CONTACT SOIL OR GAPS AROUND PIPES, TOILETS, BATHUBS OR DRAINS PENETRATING THESE ASSEMBLIES SHALL BE FILLED OR CLOSED WITH MATERIALS THAT PROVIDE A PERMANENT AIRTIGHT SEAL. SEAL LARGE OPENINGS WITH NON-SHRINK MORTAR GROUTS OR EXPANDING FOAM MATERIALS AND SMALLER GAPS WITH AN ELASTOMERIC JOINT SEALANT, AS DEFINED IN ASTM C920-87.
  3. VENT PIPES SHALL BE INSTALLED SO THAT ANY RAINWATER OR CONDENSATION DRAINS DOWNWARD INTO THE GROUND BENEATH THE SLAB OR SOIL-GAS-RETARDER MEMBRANE.
  4. THIS DESIGN IS BASED ON THE RECOMMENDATIONS OF THE UNITED STATES ENVIRONMENTAL PROTECTION AGENCY'S RADON PREVENTION IN THE DESIGN AND CONSTRUCTION OF SCHOOLS AND OTHER LARGE BUILDINGS, THIRD PRINTING (1994).

SYMBOL LEGEND (NOT ALL SYMBOLS ARE USED ON THIS PROJECT)					
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
⊕	SINGLE POLE SWITCH	⊕	WALL MOUNT FIXTURE	⊕ <sub>FL</sub>	EXHAUST FAN / LIGHT
⊕ <sub>3</sub>	3 POLE SWITCH	⊕ <sub>C</sub>	CEILING MOUNT FIXTURE	⊕ <sub>FL</sub>	2"-0" X 4"-0" SURFACE MOUNT FLUORESCENT FIXTURE
⊕	DUPLEX OUTLET	⊕ <sub>P</sub>	PENDANT FIXTURE	◀ D/T	DATA / TELEPHONE OUTLET
⊕ <sub>AC</sub>	AC 110V. (SEPARATE CIRCUIT)	⊕ <sub>PC</sub>	PORCELAIN FIXTURE	◀ T	TELEPHONE OUTLET
⊕	DEDICATED OUTLET	M	MOTION SENSOR	⊕	ELECTRICAL PANEL
⊕ <sub>220V</sub>	220V OUTLET	H/T	THERMOSTAT (KEYPAD & CHIMES)	⊕	BATHROOM VANITY FIXTURE
⊕ <sub>R</sub>	RANGE OUTLET	TV	CATV	⊕	FLOOD FIXTURE
⊕ <sub>GFCI</sub>	GROUND FAULT CIRCUIT INTERRUPTER	⊕ <sub>F/L</sub>	EXHAUST FAN W/ LIGHT COMBINATION	⊕ <sub>MW</sub>	MW 110, 20A, SEPARATE CIRCUIT
				⊕	ALM
				⊕	ALARM KEYPAD AND CHIMES
				⊕	(2) DUPLEX "QUAD"
				⊕	PHOTO VOLTAIC DARK / LIGHT SENSOR
				⊕	SMOKE DETECTOR
				⊕	SMOKE AND CARBON MONOXIDE DETECTOR COMBINATION
				⊕	CHIME
				⊕	FIXTURE ABOVE SCUTTLE
				⊕	GARBAGE DISPOSAL

225 Public Street  
Providence RI 02905





10/31/2024 10:11





10/31/2024 10:12





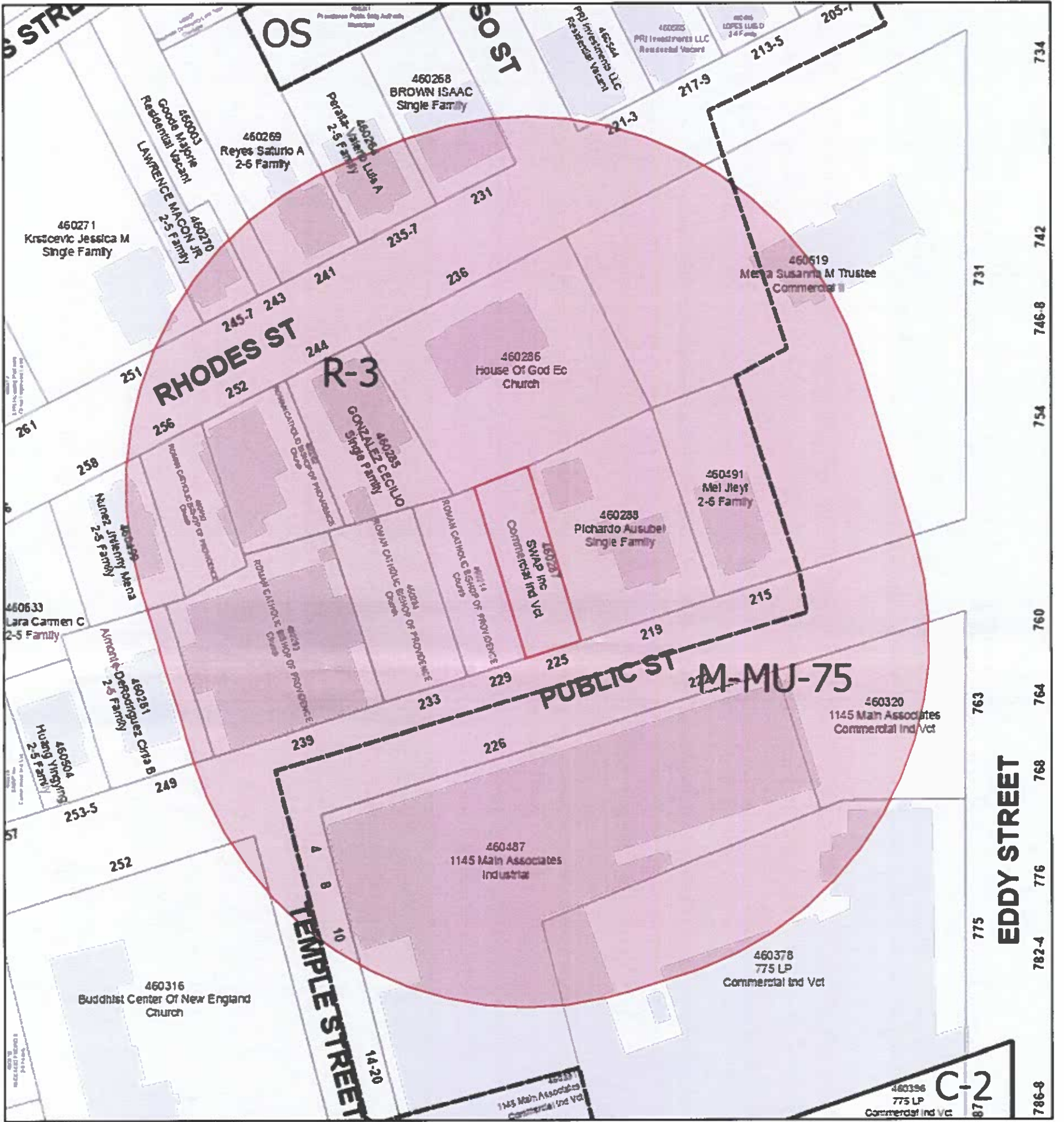




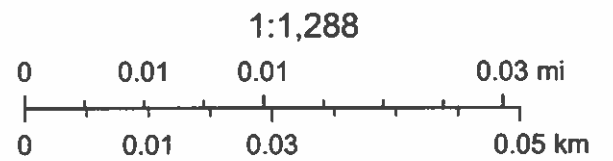
10/31/2024 10:12



# 200' Radius Map - 225 Public Street



10/30/2024, 10:23:26 AM



Esri Community Maps Contributors, University of Rhode Island, City of Providence, MassGIS, © OpenStreetMap, Microsoft, Esri, TomTom, Garmin, SafeGraph, GeoTechnologies, Inc. METI/NASA, USGS, EPA, NPS, US Census Bureau, USDA, USFWS