

**CITY OF PROVIDENCE  
BUILDING BOARD OF REVIEW**

INSPECTION & STANDARDS  
RECEIVED

APPLICATION APPEALING THE DECISION OF THE BUILDING OFFICIAL, OR **APR 07 2025**  
FOR A VARIATION OR MODIFICATION FROM CERTAIN SECTIONS OF THE RI STATE BUILDING CODE

**Check Type of Building Board Application:**

- Variance – variation from, or modification of, certain sections of the RI State Building Code
- Appeal of a decision of the Building Official

*If a section of the application is not applicable, please indicate this by using N/A in that field.*

**Applicant:** Joseph J. Watson, P.E. - Jense **Applicant Mailing Address**  
**Email:** jwatson@jensenhughes.com **Street:** 117 Metro Center Blvd, Ste 1002  
**Phone:** 401-736-8992 **City, State, Zip:** Warwick, RI 02886

**Owner:** Brown University **Owner Mailing Address**  
**Email:** paul\_dietel@brown.edu **Street:** South Street Landing, 350 Eddy St, Bo  
**Phone:** 401-863-7844 **City, State, Zip:** Providence, RI 02903

**Appellant:** \_\_\_\_\_ **Appellant Mailing Address**  
**Email:** \_\_\_\_\_ **Street:** \_\_\_\_\_  
**Phone:** \_\_\_\_\_ **City, State, Zip:** \_\_\_\_\_

**Attorney:** \_\_\_\_\_ **Attorney Mailing Address**  
**Email:** \_\_\_\_\_ **Street:** \_\_\_\_\_  
**Phone:** \_\_\_\_\_ **City, State, Zip:** \_\_\_\_\_

1. **Subject Department of inspection + Standards Permit Number:** BLDG-24-1743
2. **Street Address of Subject Property:** 233 Richmond Street  
**Assessor's Plat and Lot Numbers of Subject Property:** 021 - Awaiting Lot Consolidation
3. **Base Zoning District(s):** D-1-100  
**Overlay District(s):** I-3E, I-3H

4. Date owner purchased the Property: 1/4/2007

5. Building construction type(s): Type IB

6. Dimensions of each lot:

Lot # _____	Width _____	Depth _____	Total area _____ sq. ft.
Lot # _____	Width _____	Depth _____	Total area _____ sq. ft.

7. Size of existing structure(s) located on the Property:

<u>Principal Structure:</u>	<u>Accessory Structure:</u>
Area of Footprint <u>N/A</u>	Area of Footprint <u>N/A</u>
Overall Height <u>N/A</u>	Overall Height <u>N/A</u>
# of Stories <u>N/A</u>	# of Stories <u>N/A</u>

8. Size of proposed structure(s) located on the Property:

<u>Principal Structure:</u>	<u>Accessory Structure:</u>
Area of Footprint <u>36522</u>	Area of Footprint <u>N/A</u>
Overall Height <u>155.6</u>	Overall Height <u>N/A</u>
# of Stories <u>8</u>	# of Stories <u>N/A</u>

9. Present Legal Zoning Use of the Property: Educational Facility - University or College

10. Proposed Zoning Use of the Property: Educational Facility - University or College

11. Number of Parking Spaces:

# of existing spaces 26 # of proposed spaces 5

12. Are there outstanding violations concerning the Property under any of the following:

Providence Zoning Ordinance  RI State Building or Property Maintenance Code(s)

13. Summarize all changes proposed for the Property (use, construction/renovation, site alteration):

Construct a new 8-story high-rise facility to support Brown University. The building will be a research building with spaces open to the public on the ground level. It will house non-production laboratories, supporting office spaces, large meeting rooms, a loading and shipping bay, a story used entirely for mechanical equipment enclosure, and both hazardous and non-hazardous materials storage.

14. If application is for variance, list RI State Building Code Sections from which a variance is sought:

<u>Section Number</u>	<u>Section Title + Required relief (e.g. dimensional deficiency of 6" on a landing)</u>
<u>1011.8</u>	<u>Project request a spiral stair with 15-ft between landings (12-ft maximum)</u>
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

**QUESTIONS 15 AND 16 TO BE ANSWERED ONLY IF APPLICATION IS AN APPEAL**

**15. IF application is an appeal of a decision of the Building Official, please indicate if:**

- Appellant is the Owner of the subject Property
- Appellant is an aggrieved party that is not the Owner of the subject Property

**16. IF application is an appeal of a decision of the Building Official, please indicate the grounds for the appeal:**

Refer to attached document.

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**IF MORE ROOM IS NEEDED TO ANSWER ANY OF THE ABOVE QUESTIONS, PLEASE SUBMIT AN ADDENDUM TO THIS APPENDIX WITH COMPLETE RESPONSES.**

*The undersigned acknowledge(s) and agree(s) that members of the Building Board of Review and its staff may enter upon the Property in order to view the Property prior to any hearing on the application.*

*The undersigned further acknowledge(s) that the statements herein and in any attachments or appendices are true and accurate, and that providing a false statement in this application may be subject to criminal and/or civil penalties as provided by law, including prosecution under the State and Municipal False Claims Acts. Owner(s)/Applicant(s) are jointly responsible for any false statements.*

**Owner(s):**

Brown University

Type Name

Paul Dietel

Signature

Signed by: Paul Dietel 04/02/2025 | 10:17 AM EDT  
486D6A0FF378#31...

Type Name

Signature

**Applicant(s)/Appellant(s):**

Jensen Hughes

Type Name

Joseph J. Watson

Signature

Joseph J. Watson

Type Name

Signature

**All applicable requirements listed and described on the Instruction Sheet shall be met or this application will not be considered complete.**

**Please contact the Office of the Boards of Review with questions:**

**Telephone – 401-680-5375**

**Email – [bsath@providenceri.gov](mailto:bsath@providenceri.gov)**

**A fillable PDF copy of this document can be found online at the Boards of Review webpage linked from the Department of Inspection + Standards: <https://www.providenceri.gov/inspection-standards/>**

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Document Pages: 4	Signatures: 1
Certificate Pages: 5	Initials: 0
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REPORT

# BROWN UNIVERSITY ILSB

## *Alternative Design Request*



Rhode Island State Building Code (RISBC) Section 104.11 details that an alternative material, design or method of construction shall be approved where the building official finds that the proposed design is satisfactory and complies with the intent of the provisions of the RISBC, and that the material, method or work offered is, for the purpose intended, at least the equivalent of that prescribed in the RISBC in quality, strength, effectiveness, fire resistance, durability and safety. Alternative designs are requested to be utilized in the new Integrated Life Science Building located at 233 Richmond Street in Providence. The alternative designs requested and supporting documentation are outlined within this report.

### PREPARED FOR

Providence Building  
560 Jefferson Blvd,  
Warwick, RI 02886

Date: 03/14/2025

### PREPARED BY

Jensen Hughes  
117 metro Center Blvd. Suite 1002  
Warwick, RI 28006



JENSEN HUGHES

## 1.0 Introduction

Rhode Island State Building Code (RISBC) Section 104.11 details that the provisions of the RISBC are not intended to prevent the installation of any material or to prohibit any design or method of construction not specifically prescribed by the RISBC, provided that any such alternative has been approved. An alternative material, design or method of construction shall be approved where the building official finds that the proposed design is satisfactory and complies with the intent of the provisions of this code, and that the material, method or work offered is, for the purpose intended, at least the equivalent of that prescribed in this code in quality, strength, effectiveness, fire resistance, durability and safety.

JENSEN HUGHES, on behalf of Brown University, requests the use of alternative designs in the new Integrated Life Sciences Building 233 Richmond Street in Providence. This document is intended to outline the requests and provide supporting documentation that will assist in the approval of the request.

## 2.0 Project Description

The project will include constructing a new building, the Integrated Life Sciences Building (ILSB), at 233 Richmond Street in Providence, Rhode Island. The ILSB will be owned by Brown University and will be used to serve as a research building with spaces open to the public on the ground level. The ILSB will house non-production laboratories, supporting office spaces, large meeting rooms, a loading and shipping bay, a story used entirely for mechanical equipment enclosure, and both hazardous and non-hazardous materials storage. Future fit-out of upper levels of the building is expected to be limited to similar related activities currently designated for Levels 2 through 7 – non-production laboratory research and development tenants.

### 2.1 APPLICABLE CODES

The building is permitted under the following codes and standards:

- + Rhode Island State Building Code, based on the amended 2018 edition of the *International Building Code* (RISBC-1)
- + The Rhode Island Fire Safety Code (RIFSC) which includes:
  - Rhode Island Fire Code (RIFC: NFPA 1 – 2018) as referenced by the Rhode Island State Fire Safety Code, and
  - Rhode Island Life Safety Code (RILSC: NFPA 101 – 2018) as referenced by the Rhode Island State Fire Safety Code.

### 2.2 BUILDING DESCRIPTION

The new building will be eight (8) stories in height above grade with a mechanical penthouse. The highest occupied level of the building will be more than 75 ft above the lowest level of fire department vehicle access. As such, the building will be classified as a high-rise building.

The building will be built of Type IB construction in accordance with the RISBC and Type II (222) in accordance with NFPA 220, as referenced by the RIFSC. This building will comply with the RISBC-1 as a non-separated

mixed-use Group A/B/F-2/S-2/S-1 occupancies. The building will be classified as a mixed occupancy Business, General Industrial, Storage, and Assembly occupancy per RILSC. The main features / spaces and occupancy classification of the building are outlined in Table 1 below:

*Table 1: Use and Occupancy Classifications*

<i>Area</i>	<i>RISBC-1</i>	<i>RILSC</i>
Gallery/ Lobby	Group A-3	Assembly
Public Forum, 30 people meeting room	Group A-3	Assembly
Café	Group B	Business
Locker Rooms	Group B	Business
Circulation Areas & Corridor Seating (Lab Floors)	Group B	Business
Collaboration & Conference Rooms	Group B <sup>1</sup>	Business
Offices, Workstations	Group B	Business
Computational Research Spaces	Group B	Business
Research Lab Stations & Research Support	Group B	Business <sup>2</sup>
Animal Holding	Group B	Business
Vivarium Procedural Rooms	Group B	Business
Vivarium Lab and specialty rooms	Group B	Business
Educational Lab	Group A-3	Assembly
Human Subject	Group B	Business
Shipping/ Receiving area	Group S-2	Storage
Storage, moderate-hazard materials (Combustible)	Group S-1	Storage <sup>3</sup>
Storage, low-hazard materials (non-combustibles)	Group S-2	Storage
Radioactive Waste, Flammable Chemicals, Flammable chemical waste, Infectious Waste	Group H-3/4	High Hazard Storage
Mechanical equipment	Group F-2	Industrial

Notes:

1. A room or space used for assembly purposes with an occupant load of less than 50 persons and accessory to another occupancy shall be classified as a Group B or part of that occupancy [RISBC 303.1.2, RILSC A.6.1.2.1].
2. Per NFPA 45 5.3, Class A, B, or C laboratory units shall be classified as Industrial occupancies. Class D laboratory units shall be classified as Business occupancies.
3. Storage of hazardous materials not exceeding permitted maximum allowable quantities (MAQ)

### 2.3 BUILDING SAFETY FEATURES

The building will be equipped with several fire safety features and systems. The major functions and systems include the following as detailed in Table 2.

*Table 2: Fire Protection Features*

<i>Fire Protection Feature</i>
Automatic Sprinkler System
Dry Sprinkler System
Standpipe System
Fire Extinguishers
Addressable Fire Alarm System with Emergency Voice/Alarm Communication
Fire Command Center
Smoke Control System for Stair Pressurization
Emergency Generators
Emergency Lights and Exit Signs

### 3.0 Alternative Design Request

Jensen Hughes, on behalf of Brown University, requests the following alternative designs to be utilized in the new ILSB located at 233 Richmond Street in Providence. The alternative designs and supporting documentation are summarized in Table 3 and outlined in detail below:

*Table 3: Alternative Design Requests*

<i>Alternative Design</i>	<i>System</i>	<i>Item Addressed</i>	<i>Location</i>	<i>Code Section</i>
1	Exit Construction	Spiral Stair Vertical Rise	5th and 6th Floor	RISBC Section 1011.8

### 3.1 DESIGN REQUEST 1: SPRIAL STAIRCASE

A convenience spiral staircase has been incorporated into the design plans between the 5<sup>th</sup> and 6<sup>th</sup> floors. The spiral stair is not a required means of egress and is provided for convenience only to connect the open portions of the two (2) floor levels.

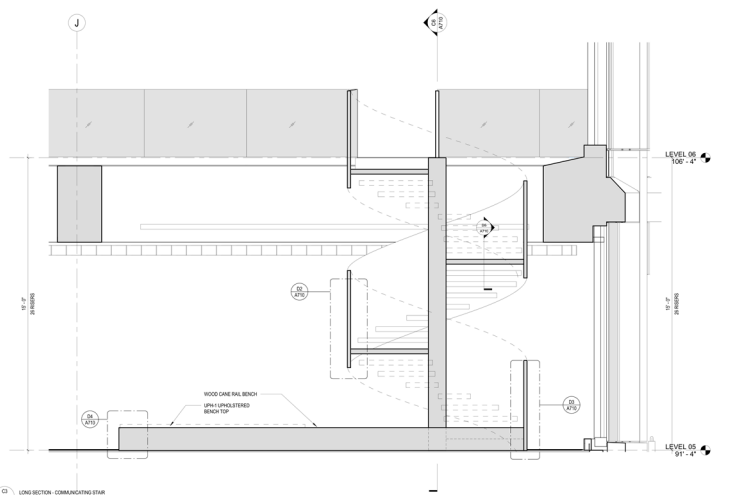


Figure 1 - Communicating Stair View to East

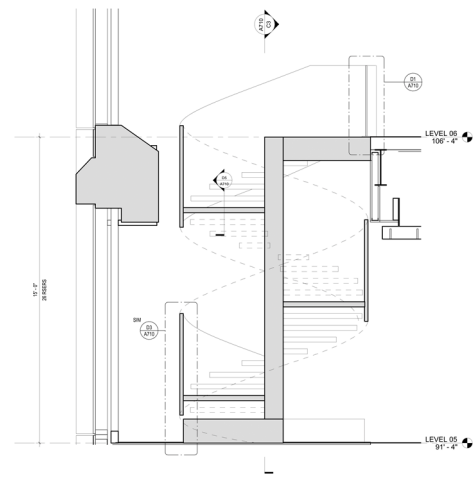


Figure 2 - Section to South

## Code Requirements

The RISBC requires all new stair assemblies to have a maximum height of 12 ft between landings Section 1011.8. *“A flight of stairs shall not have a vertical rise greater than 12 feet (3658 mm) between floor levels or landings.”*

## Request

It is requested to use an alternative design for the construction of the spiral staircase. We request that the spiral staircase be permitted to include a 15 ft height between landings.

## Alternative Design Methods

The following alternative design methods were utilized to justify the request:

- + Engineering Evaluation
- + Literature Review

## Discussion

The elevation difference between the 5<sup>th</sup> floor and the 6<sup>th</sup> floor is 15-feet. The proposed design includes a continuous run of the spiral stairs without a landing. The Commentary of the 2018 IBC notes the following about landing spacing: *“The limited height provides a reasonable interval for users with physical limitations to rest on a level surface and also serves to alleviate potential negative psychological effects of long and uninterrupted stairway flights.”* Unlike traditional stairs with straight runs, or switchbacks, the proposed spiral stairs do not include long and uninterrupted stairway flights. The installation of intermediate landings introduces a technical difficulty for maintaining proper headroom in the spiral stairway.

Further, as this is not a means of egress, use of the stair is not required to exit the building. There is an exit stair within 25-ft of the spiral stair.

## **4.0 Conclusion**

The project will include constructing a new building, the Integrated Life Sciences Building (ILSB), at 233 Richmond Street in Providence, Rhode Island. Rhode Island State Building Code (RISBC) Section 104.11 details that the provisions of the RISBC are not intended to prevent the installation of any material or to prohibit any design or method of construction not specifically prescribed by the RISBC, provided that any such alternative has been approved. An alternative material, design or method of construction shall be approved where the building official finds that the proposed design is satisfactory and complies with the intent of the provisions of this code, and that the material, method or work offered is, for the purpose intended, at least the equivalent of that prescribed in this code in quality, strength, effectiveness, fire resistance, durability and safety.

JENSEN HUGHES, on behalf of Brown University, requests the use of alternative designs in the new ILSB located at 233 Richmond Street in Providence. The proposed alternative designs are detailed above. Based on the information outlined in this report, the proposed configurations provide an equivalent or superior quality, strength, fire resistance, effectiveness, durability, and safety over those prescribed by the RISBC.

- End of Report -

Jensen Hughes appreciates the opportunity to assist Brown University. If you have any questions, please contact me at 401-214-3168 or [jwatson@jensenhughes.com](mailto:jwatson@jensenhughes.com).

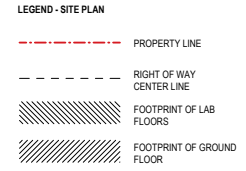
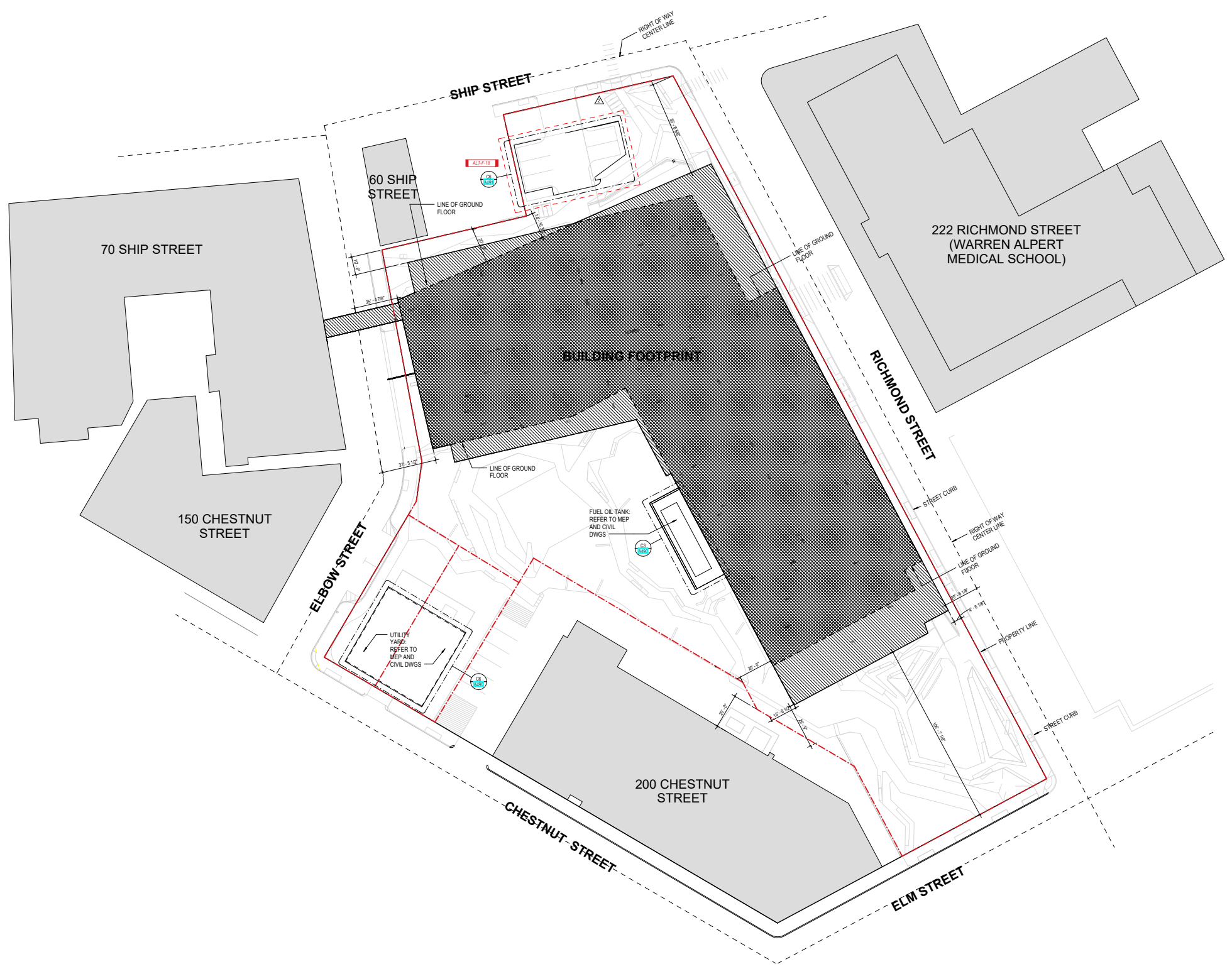
Sincerely,

**JENSEN HUGHES**

Prepared by:



Joseph J. Watson, P.E.  
Principal Fire Protection Engineer



ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH ALL CODES AND REGULATIONS HAVING JURISDICTION OVER THIS SITE LOCATION.

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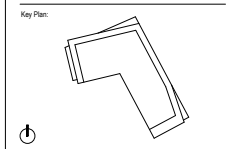
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[www.vandusen.com](http://www.vandusen.com)

**CIVIL**  
**VANASSE HANGEN BRISTLIN**  
 1 Under Street Suite 400, Providence, RI 02903  
 401.272.8200  
[www.vhb.com](http://www.vhb.com)

**ELECTROMAGNETIC INTERFERENCE**  
**VITATECH**  
 175 Silver Street Suite 100, Fredericksburg, VA 22405  
 540.266.1364  
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Collaborating Architect

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Architect

**TenBerke**

TenBerke Architects D.P.C.  
 41 Madison Avenue, 17th Floor  
 New York, NY 10017  
 212.229.9211  
[TenBerke.com](http://TenBerke.com)

Project:

**Brown Integrated Life Sciences Building (ILSB)**

233 RICHMOND ST  
 PROVIDENCE, RI 02863  
 Project No. 4224  
 Drawing Status:  
**ISSUED FOR CONSTRUCTION**

Date: 11/1/2024

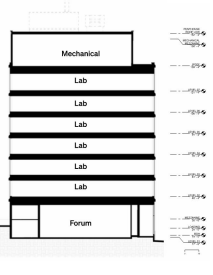
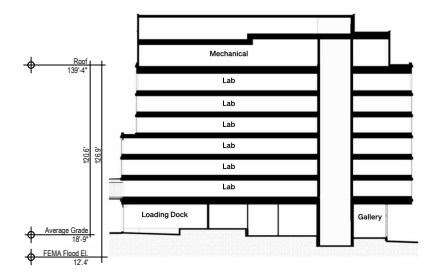
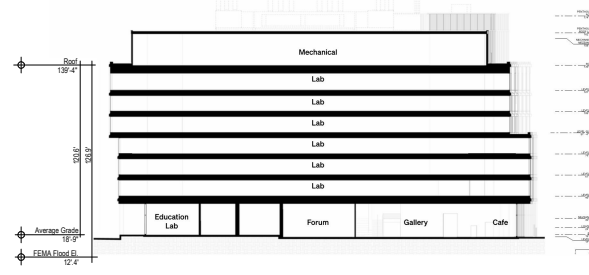
Drawing History:

Date	Description	Count
03/09/2024	ISSUED FOR 100% DESIGN DEVELOPMENT	1
04/30/2024	ISSUED FOR 40% CONSTRUCTION DOCUMENTS	1
09/19/2024	ISSUED FOR BULLETIN 01	2
08/09/2024	ISSUED FOR 75% CONSTRUCTION DOCUMENTS	3
11/01/2024	ISSUED FOR CONSTRUCTION	5

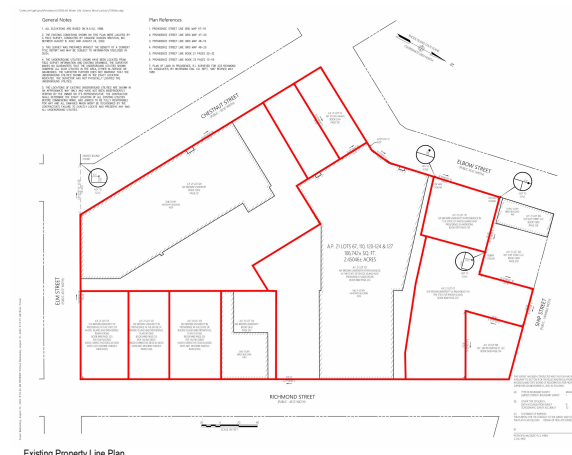
ZONING DATA	
ADDRESS	233 RICHMOND STREET, PROVIDENCE, RI 02943 (FUTURE ADDRESS TO BE CONFIRMED)
BOROUGH	JEWELRY DISTRICT
PLAT	N/A
LOT	87, 106, 116, 114, 124, 121, 122, 123, 124, 127
COMMUNITY ZONING	U-1-100 DOWNTOWN DISTRICT
LANDMARKED DISTRICT	EDUCATIONAL FACILITY - UNIVERSITY OR COLLEGE
LANDMARKED STATUS	N/A
SPECIAL RESTRICTIONS	EDUCATIONAL/HEALTHCARE INSTITUTIONAL OVERLAY DISTRICT
FLOOD ZONE	FLOOD ZONE X - AREA WITH REQUIRED RISK/DUE TO LEVEE
SWELLING UNITS	N/A
BICYCLE PARKING REQUIREMENTS	40 PARKING SPOTS REQUIRED, AT LEAST 50% (22 SPOTS) LONG-TERM COVERED SPOTS

ZONING BOUNDARIES			
TYPE	REQUIRED	PROVIDED	NOTES
LOT AREA	NONE	80,000 SF	
LOT WIDTH	NONE	54.75'	BUILDING AREA: 321,600 SF
FRONT SETBACK	A STREET: BUILD-TO-ZONE OF 9' TO 8', WITH MINIMUM BUILD-TO-PERCENTAGE OF 80% B STREET: NONE	8' SP: 5% WITHIN 8' OF RICHMOND ST. 80% WITHIN 8' OF CHESTNUT ST. 5% WITHIN 8'	WAVERS GRANTED FROM ZONING ORDINANCE SECTION 604. DESIGN STANDARDS FOR NEW CONSTRUCTION TO INCLUDE REQUIRED BUILD-TO ZONES
SIDE SETBACK	5' BUILD-TO-LINE	AS REQUIRED	PER 'CITY OF PROVIDENCE ZONING ORDINANCE' ARTICLE 6. DOWNTOWN DISTRICT
REAR SETBACK	NONE	AS REQUIRED	PER 'CITY OF PROVIDENCE ZONING ORDINANCE' ARTICLE 6. DOWNTOWN DISTRICT
BUILDING HEIGHT	D-1-100 EQUALS A MAXIMUM BUILDING HEIGHT OF 100 FT. MINIMUM 25% OF GROUND FLOOR AREA DEDICATED TO THE GROUND FLOOR USES: 10% BONUS (10 FT) MINIMUM 15% OF LOT AREA DEDICATED TO PUBLICLY ACCESSIBLE OPEN SPACE: 20% BONUS (20 FT) MAXIMUM ALLOWABLE HEIGHT BONUS: 30% (30 FT)	128 FT FROM FEMA BASE FLOOD ELEVATION TO ACTIVE GROUND FLOOR USES SUBSEQUENT OVERALL BUILDING HEIGHTS CALCULATED PER ARTICLE 2. DEFINITIONS OF RULES AND MEASUREMENT	20% OF GROUND FLOOR AREA DEDICATED TO ACTIVE GROUND FLOOR USES 24% OF LOT AREA DEDICATED TO PUBLICLY ACCESSIBLE OPEN SPACE REQUESTED HEIGHT BONUS: 30% (30 FT) MECHANICAL PENHOUSE (FLOORS 8 AND 9) CLASSIFIED AS MECHANICAL APPURTENANCE
BASE PLANE ELEVATION	12.4' FEMA BASE FLOOD ELEVATION		

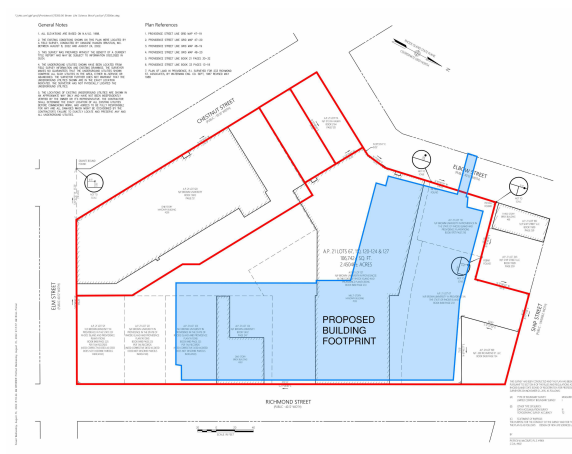
BUILDING AREA - GSF	
LEVEL	GSF
LEVEL 1	56,352 SF
MEZZANINE	4,599 SF
LEVEL 2	40,989 SF
LEVEL 3	40,989 SF
LEVEL 4	40,989 SF
LEVEL 5	40,989 SF
LEVEL 6	40,989 SF
LEVEL 7	40,989 SF
LEVEL 8 (PENTHOUSE ROOF)	37,283 SF
LEVEL 9 (MECHANICAL MEZZANINE)	10,739 SF
TOTAL	326,950 SF



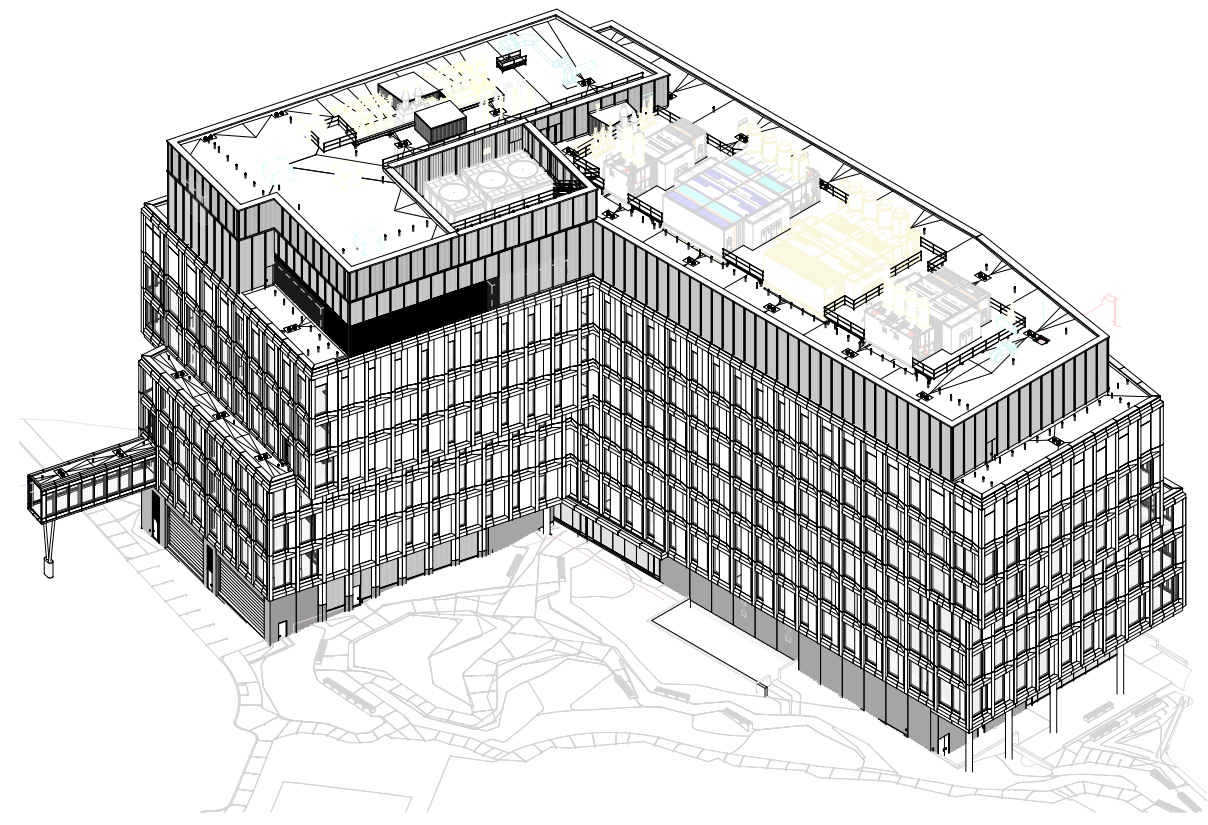
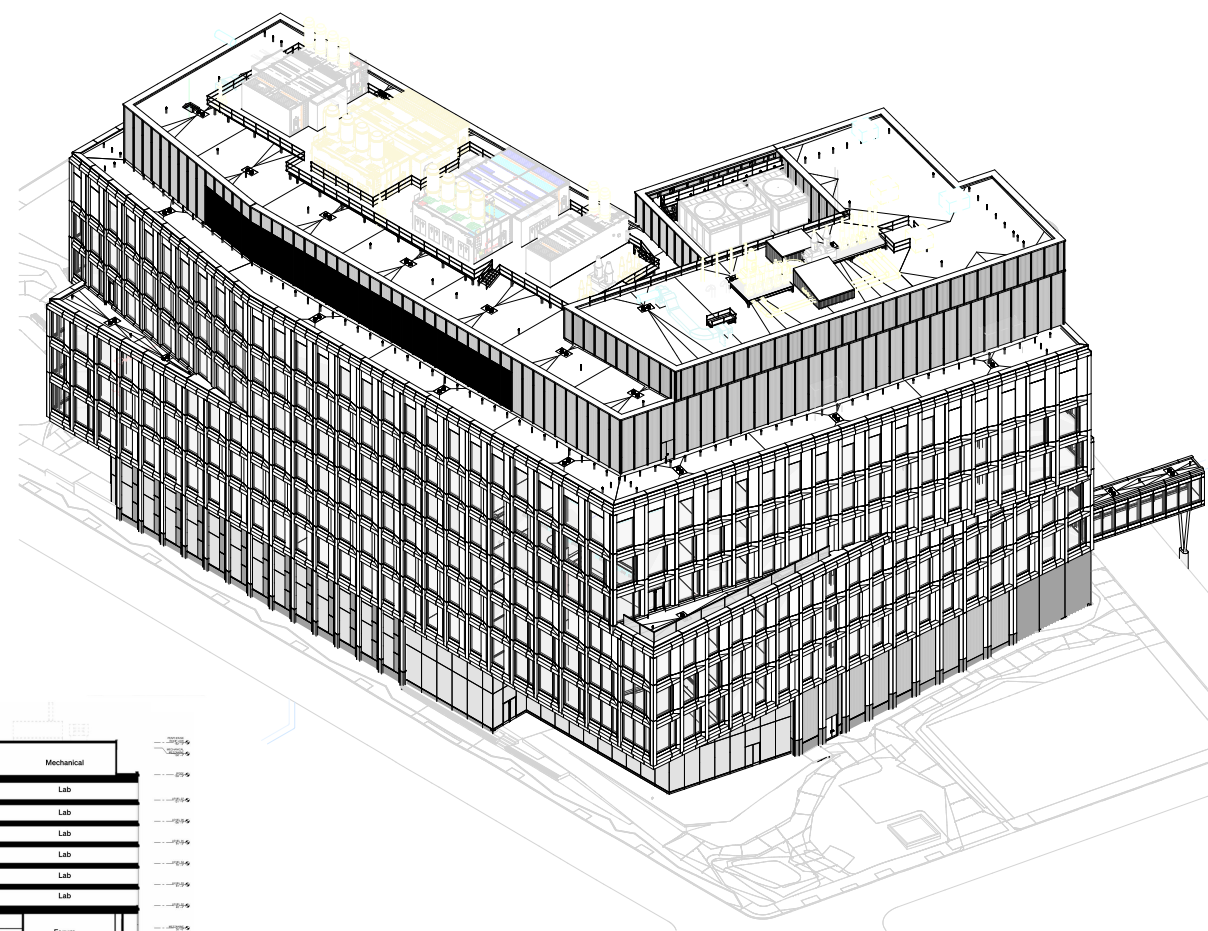
Building Height Calculated per Article 2: Definitions of Rules and Measurement



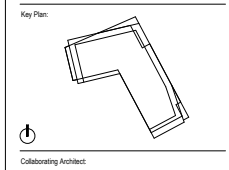
Existing Property Line Plan



Proposed Consolidated Property Line Plan



- ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH ALL CODES AND REGULATIONS HAVING JURISDICTION OVER THIS SITE LOCATION.
- ALL DIMENSIONS AND INFORMATION SHALL BE CHECKED AND VERIFIED ON THE JOB AND ANY DISCREPANCIES MUST BE REPORTED TO THE ARCHITECT. THESE DRAWINGS MUST NOT BE REPRODUCED, ALTERED, OR REUSED WITHOUT THE ARCHITECT'S WRITTEN APPROVAL.
- THE DESIGN AND CONTRACT DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE ARCHITECT AND MAY NOT BE REPRODUCED, ALTERED, OR REUSED WITHOUT THE ARCHITECT'S WRITTEN APPROVAL.
- ACOUSTICS  
**ACENTECH**  
31 Market Street, Cambridge, MA 02138  
617.493.8500  
www.acentech.com
- ENERGY MODELING  
**ANDELMAN LELEK**  
158 Providence Highway, Norwood, MA 02062  
781.363.8773  
www.andelmanlelek.com
- SUSTAINABILITY  
**ATELIER TEN**  
104 W. 29th Street 8th Floor, New York, NY 10001  
212.254.4500  
www.atelier10.com
- LOW VOLTAGE SECURITY  
**BALLINGER**  
833 Chestnut Street Suite 1400, Philadelphia, PA 19107  
215.446.0900  
www.ballinger.com
- MEP  
**BR+A CONSULTING ENGINEERS**  
100 South Street 9th Floor, Boston, MA 02109  
617.254.9516  
www.brplus.com
- DOOR HARDWARE  
**CAMPBELL MCCABE**  
63 Green Road Suite 201, Maynard, MA 01754  
978.899.8902  
www.campbell-mccabe.com
- INSULATION  
**COLIN GORDON ASSOCIATES**  
150 North Hill Drive Suite 15, Bradenton, FL 34205  
813.570.0300  
www.colingordon.com
- SPECIFICATIONS  
**CONSPECTUS**  
2221 Route 10, Lakeland, NJ 08509  
609.628.2390  
www.conspectus.com
- WIND ENGINEERING  
**CPP WIND ENGINEERING CONSULTANTS**  
7365 Overdale Road, Windsor, CO 80550  
970.221.1371  
www.cppwind.com
- ENCLOSURE  
**HEINTGES**  
440 Park Avenue South, New York, NY 10016  
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www.heintges.com
- FIRE / LIFE SAFETY / CODE  
**JENSEN HUGHES**  
117 New Center Road Suite 1002, Warwick, RI 02886  
401.565.7139  
www.jensenhughes.com
- STRUCTURAL  
**ODEH ENGINEERS**  
1223 Mount Spring Avenue, North Providence, RI 02904  
401.254.1771  
www.odeh-engineers.com
- LANDSCAPE  
**STEPHEN STIMSON ASSOCIATES**  
280 North Street, Cambridge, MA 02139  
617.871.8580  
www.stimsonstudio.com
- SCHEME PLANNING  
**THEATRE PROJECTS**  
47 Water Street, Norwich, CT 06854  
203.259.8630  
www.theatringjects.com
- LIGHTING  
**THE LIGHTING PRACTICE**  
207 Seventh Ave Suite 1803, New York, NY 10001  
646.638.6262  
www.thelightingpractice.com
- VERTICAL TRANSPORTATION  
**VANDEUSEN AND ASSOCIATES**  
100 Chestnut Street Suite 1600, Boston, MA 02110  
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**VANASSE HANGEN BRUSTLIN**  
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401.272.8280  
www.vhb.com
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Architect

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Project

**Brown Integrated Life Sciences Building (ILSB)**

233 RICHMOND ST  
PROVIDENCE, RI 02943  
Project No. 4224  
Drawing Status:  
**ISSUED FOR CONSTRUCTION**

Date	Revision
11/11/2024	
04/30/2024	ISSUED FOR 40% CONSTRUCTION DOCUMENTS
08/09/2024	ISSUED FOR 75% CONSTRUCTION DOCUMENTS
11/01/2024	ISSUED FOR CONSTRUCTION

ZONING SUMMARY  
**A050**



**APPLICABLE CODES**

- SBCE-1 - RHODE ISLAND STATE BUILDING CODE (RSBC), WHICH ADOPTS AND AMENDS THE 2018 INTERNATIONAL BUILDING CODE
- SBCE-2 - RHODE ISLAND STATE PLUMBING CODE (RSBC), WHICH ADOPTS AND AMENDS THE 2018 INTERNATIONAL PLUMBING CODE
- SBCE-3 - RHODE ISLAND STATE MECHANICAL CODE (RSBC), WHICH ADOPTS AND AMENDS THE 2018 INTERNATIONAL MECHANICAL CODE
- SBCE-4 - RHODE ISLAND STATE ELECTRICAL CODE (RSBC), WHICH ADOPTS AND AMENDS THE 2018 NATIONAL ELECTRICAL CODE (NEC)
- SBCE-5 - RHODE ISLAND STATE ENERGY CONSERVATION CODE (RSBC), WHICH ADOPTS AND AMENDS THE 2018 ENERGY EFFICIENCY CODE (EEC)
- SBCE-6 - RHODE ISLAND STATE FUEL GAS CODE, WHICH ADOPTS AND AMENDS THE 2018 INTERNATIONAL FUEL GAS CODE

**FIRE SAFETY CODES**

- RHODE ISLAND FIRE CODE (RFCD), WHICH ADOPTS AND AMENDS THE 2018 NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 1 FIRE CODE
- RHODE ISLAND LIFE SAFETY CODE (RLSC), WHICH ADOPTS AND AMENDS THE 2018 NFPA 101, LIFE SAFETY CODE

**ACCESSIBILITY**

- 2008 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES (ICC ANS A117.1)
- ADA TITLE II, 28 CFR PART 35, AND 2010 AMERICAN WITH DISABILITIES (ADA) STANDARDS FOR ACCESSIBILITY DESIGN

**REFERENCED CODES AND STANDARDS**

- 2018 NFPA 13, INSTALLATION OF SPRINKLER SYSTEMS
- 2018 NFPA 30, FLAMMABLE AND COMBUSTIBLE LIQUIDS CODE
- 2018 NFPA 37, INSTALLATION AND USE OF STATIONARY COMBUSTION ENGINES AND AS TURBINES
- 2018 NFPA 45, FIRE PROTECTION FOR LABORATORIES (INCLUDING CHEMICALS)
- 2018 NFPA 55, COMPRESSED GASES AND CRYOGENIC FLUIDS
- 2018 NFPA 72, NATIONAL FIRE ALARM AND NOTIFICATION CODE
- 2018 NFPA 119, EMERGENCY AND STANDBY POWER SYSTEMS
- 2018 NFPA 105, FIRE AND LIFE SAFETY IN ANIMAL HOUSING FACILITIES
- 2018 NFPA 400, HAZARDOUS MATERIALS CODES

**INSPECTIONS**

- INSPECTION OF SELECTED MATERIALS, EQUIPMENT, INSTALLATION, FABRICATION, ERECTION OR PLACEMENT OF COMPONENTS AND CONNECTIONS MADE DURING THE PROGRESS OF THE WORK TO ENSURE COMPLIANCE WITH THE CONTRACT DOCUMENTS AND PROVISIONS OF THE RHODE ISLAND BUILDING CODE. SHALL BE MADE BY A SPECIAL INSPECTOR. THE OWNER WILL RETAIN THE SERVICES OF THE SPECIAL INSPECTOR AND BEAR THE COSTS FOR THE INSPECTIONS IN COMPLIANCE WITH CHAPTER 17 OF THE RHODE ISLAND BUILDING CODE. REQUIREMENTS, THE SPECIAL INSPECTOR SHALL BE AN ENTITY COMPLIANT WITH THE REQUIREMENTS OF THE RHODE ISLAND BUILDING CODE AND SHALL FULFILL ALL REPORT REQUIREMENTS PER 1704.4.
- THE CONTRACTOR SHALL NOTIFY THE RELEVANT SPECIAL INSPECTOR IN WRITING AT LEAST 72 HOURS BEFORE THE COMMENCEMENT OF ANY WORK REQUIRING SPECIAL INSPECTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND BEAR RELATED COSTS TO ASSURE THAT ALL CONSTRUCTION OR WORK SHALL REMAIN ACCESSIBLE AND EXPOSED FOR INSPECTIONS UNTIL THE REQUIRED INSPECTION IS COMPLETED.
- INSPECTIONS AND TESTS PERFORMED UNDER "SPECIAL INSPECTION" SHALL NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY TO COMPLY WITH THE CONTRACT DOCUMENTS.
- THE CONTRACTOR MUST COORDINATE WITH THE OWNER TO PROVIDE ACCESS AND SCHEDULE THE WORK FOR INSPECTION BY THE SPECIAL INSPECTOR.
- 2018 RHODE ISLAND BUILDING CODE SPECIAL INSPECTIONS:

1705.2 Steel Construction	1705.11 Special Inspections for Wind Resistance
1705.3 Concrete Construction	1705.12 Special Inspections for Seismic Resistance
1705.4 Masonry Construction	1705.13 Testing for Seismic Resistance
1705.5 Roof Construction	1705.14 Storage Fire-Resistance Materials
1705.6 Soil	1705.15 Mastic and Membrane Fire-Resistance Coatings
1705.7 Deep Foundations	1705.16 Eaveless Insulation and Fresh Systems
1705.8 Cast-in-Place Deep Foundations	1705.17 Fire-Resistance Penetrations and Joints
1705.9 Metal Framing Foundations	1705.18 Testing for Strake Control
1705.10 Fabricated Items	

All construction and on-site activities shall comply with chapter 23 of the Rhode Island State Building Code. Contractor to make appropriate and code compliant provisions for the following: demolition, site work, sanitary protection of pedestrians, protection of adjoining properties, temporary use of streets and public property, fire extinguishers, means of egress, stoppages, automatic sprinkler systems, and water supply for fire protection.

**PERMITTING APPROACH**

AS REVIEWED WITH THE PROVIDENCE DEPARTMENT OF INSPECTIONS AND STANDARDS (DIS) AND PROVIDENCE FIRE DEPARTMENT (PFD), THE PROJECT WILL BE SUBMITTED TO THE CITY OF PROVIDENCE IN TWO (2) PHASES. PHASE 1 WILL INCLUDE THE BUILDING FOUNDATION, STRUCTURAL DESIGN, BUILDING DEVELOP AND BUILDING INFRASTRUCTURE SYSTEMS INCLUDING MINIMUM EGRESS, MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION SYSTEMS TO CONSTRUCT THE BUILDING CORE AND SHELL. PHASE 2 WILL BE TENANT FIT OUTS FOR LEVELS 1, 5, 6, AND 7. THE PROJECT INCLUDES VACANT TENANT FLOORS ON LEVELS 2, 3 AND 4.

PHASE 1 IS PROPOSED TO BE SUBMITTED FOR PERMIT IN APRIL 2024, AND PHASE 2 WILL BE SUBMITTED IN NOVEMBER 2024, BASED ON THE SITE WORK REQUIRED, WHICH INCLUDES DEMOLITION OF EXISTING STRUCTURES, CONSTRUCTION OF THE NEW BUILDING FOUNDATIONS IS NOT ANTICIPATED TO BEGIN UNTIL AFTER OCTOBER 2024. BASED ON THIS, DIS HAS INDICATED THAT A SINGLE PHASED PERMIT APPROACH WOULD BE ACCEPTABLE AND A SINGLE CERTIFICATE OF OCCUPANCY WOULD BE PROVIDED AT THE COMPLETION OF THE PROJECT.

**ON-SITE FUEL STORAGE**

TANKS WILL BE LISTED/PROVED PER UL 2080 (UL 2086 ABOVEGROUND) OR UL 58 (UNDERGROUND) PER RIFC 602.2.5.

- STORAGE TANK TO BE DOUBLE WALL CONTAINING DIESEL FUEL WITH LIQUID FLASH POINT GREATER THAN 60 DEG. CELSIUS.
- TANKS SHALL BE DOUBLE WALLED WITH MEANS OF AUTIGENIC FLOOR PROTECTION.
- TANK SUPPORTS SHALL BE NON-COMBUSTIBLE WITH A FIRE RESISTANCE RATING OF 2 HOURS.
- NFPA SECTION 22.11.4 NOTES THE REQUIREMENTS A SECONDARY CONTAINMENT TANK MUST MEET TO AVOID OTHER SPILL CONTROL METHODS.
- SEPARATION DISTANCE FROM THE BUILDING OF 9' IS PROVIDED IN COMPLIANCE WITH NFPA 30 SECTION 22.4.1.1.

DOUBLE WALLED TANK WILL REDUCE THE NEED FOR SPILL CONTROL. PER FM GLOBAL DATASHEET 7-88, THE TANK HAS A CAPACITY OF 25,000 GALLONS, HAS AN OUTER DIAMETER OF 19'-6", A HEIGHT OF 17'-4", AND A LENGTH OF 42'-2". THESE TANKS ARE UL 2085 LISTED.

**PEDESTRIAN BRIDGE TO 20 SHIP STREET**

THE SECOND FLOOR SHALL HAVE A BRIDGE CONNECTING THE 43RD TO THE THIRD LEVEL OF THE ADJACENT BUILDING LOCATED AT 20 SHIP STREET. THIS CONNECTING BRIDGE WILL SERVE AS A HORIZONTAL EXIT. HORIZONTAL EXITS ARE NOT PERMITTED TO BE USED AS THE ONLY MEANS OF EGRESS FROM A PORTION OF A BUILDING, AND PORTIONS OF A BUILDING REQUIRING MORE THAN ONE EXIT, NOT MORE THAN ONE HALF OF THE EXITS ARE PERMITTED TO BE A HORIZONTAL EXIT (RSBC 1008.1.4 AND RLSC 372.4.1.3).

**EMERGENCY LIGHTING WILL BE POWERED BY GENERATOR**

THERE ARE TWO 2000 KW DIESEL POWERED GENERATORS LOCATED ON THE ROOF. THESE GENERATORS ARE PROVIDING THE ELECTRICAL POWER TO THE EMERGENCY LIGHTING AND EXIT SIGN SYSTEM. ILLUMINATION OF THE MEANS OF EGRESS INCLUDING EMERGENCY LIGHTING IS REQUIRED (RSBC 1008.1, RLSC 37.8, 37.9).

EMERGENCY EGRESS PATH ILLUMINATION IS REQUIRED IN EXIT ACCESS CORRIDORS, PASSAGEWAYS, PASSAGEWAYS AND ASHES IN ROOMS AND SPACES WHICH ARE REQUIRED TO HAVE TWO OR MORE MEANS OF EGRESS, IN EXIT ACCESS CORRIDORS AND EXIT ENCLOSURES, AND AT THE PORTIONS OF EXITS IMMEDIATELY ADJACENT TO EXIT DISCHARGE DOORWAYS (RSBC 1008.1 AND RLSC 37.11.3).

EXITS AND EXIT ACCESS MUST BE ILLUMINATED AT A MINIMUM OF 1 FOOT-CANDLE AT THE FLOOR LEVEL IN ACCORDANCE WITH 1008.2.1 AND RLSC 37.8 AND 37.9.

EMERGENCY LIGHTING IS REQUIRED TO PROVIDE POWER FOR A DURATION OF NOT LESS THAN 90 MINUTES PER RSBC 1008.3 AND RLSC 37.9.2.

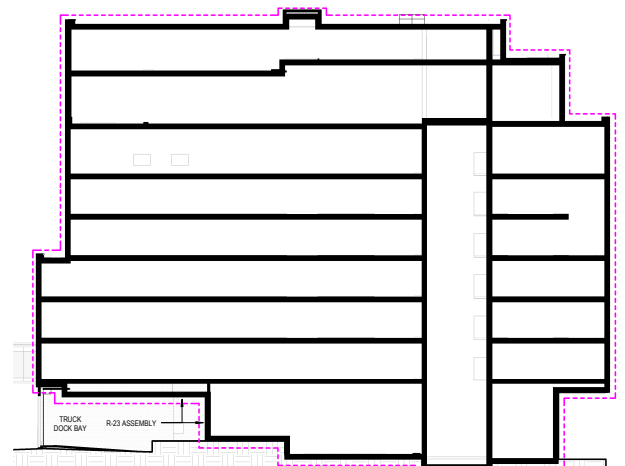
**HAZARDOUS MATERIALS**

THE RIFC, RSBC-1 AND NFPA 45 REGULATE THE QUANTITIES OF HAZARDOUS MATERIALS UNDER TWO COMPLIANCE APPROACHES LISTED BELOW.

CONTROL AREA APPROACH: UNDER WHICH HAZARDOUS MATERIALS ARE LIMITED IN QUANTITY BY FIRE COMPARTMENT WITHIN THE BUILDING.

GROUP H HIGH HAZARD OCCUPANCY APPROACH: IF THE THRESHOLD QUANTITIES WITHIN CONTROL AREAS MUST BE EXCEEDED FOR THE INTENDED USE OF THE SPACE, ADDITIONAL PROTECTIONS ARE REQUIRED TO SUPPORT THE HIGHER QUANTITIES OF HAZARDOUS MATERIALS.

THE BUILDING IS TO BE DESIGNED, INCLUDING FUTURE FIT OUT ACTIVITY, IN ACCORDANCE WITH THE CONTROL AREA APPROACH - ALL HAZARDOUS MATERIAL QUANTITIES MUST BE WITHIN STIPULATED MAX LIMITS. IN ADDITION TO THE CONTROL AREA APPROACH, THE PROPOSED LABORATORY SPACES IN THE BUILDING WILL NEED TO COMPLY WITH THE REGULATORY REQUIREMENTS FOUND IN NFPA 45 PER THE RIFC. DEDICATED GROUP H/H4 STORAGE ROOMS ARE PROVIDED ON LEVELS 1, 5 AND 6.



CODE COMPLIANCE BUILDING SECTION - EAST-WEST  
3/6" = 1'-0"

BUILDING ELEMENT	TYPE IB FIRE-RESISTANCE RATING (HOURS)	FM GLOBAL REQUIREMENTS
PRIMARY STRUCTURAL FRAME	2	3
BEARING WALLS - EXTERIOR	2	2
BEARING WALLS - INTERIOR	2	2
NONBEARING WALLS - EXTERIOR	FIRE SEPARATION DISTANCE DEPENDENT	FIRE SEPARATION DISTANCE DEPENDENT
NONBEARING WALLS - INTERIOR	2	2
FLOOR CONSTRUCTION AND ASSOCIATED SECONDARY MEMBERS	2	2
ROOF CONSTRUCTION AND ASSOCIATED SECONDARY MEMBERS	1	1

PRIMARY STRUCTURAL FRAME ELEMENTS SUPPORTING ROOF ONLY SHALL BE PERMITTED TO BE NO LESS THAN 1-HOUR FIRE RESISTANCE RATED.

BUILDING COMPONENT	FIRE RESISTANCE RATING	TYPE OF WALL	REQUIRED FIRE RATED SUPPORTING CONSTRUCTION
STAIRWELL	2 HOURS	FIRE BARRIER	YES
SHAFT ENCLOSURE	2 HOURS	FIRE BARRIER	YES
OCCUPANT SEPARATIONS	1 HOUR OR 2 HOURS	FIRE BARRIER	YES
CONTROL AREAS	1 HOUR OR 2 HOURS	FIRE BARRIER	YES

TYPE OF ASSEMBLY	REQUIRED FIRE PROTECTION RATING
1 HOUR FIRE BARRIERS	1 1/2 HOURS
2 HOUR ENCLOSURES FOR SHAFTS, EXTERIOR EXIT STAIRWAYS	1 1/2 HOURS
1 HOUR FIRE BARRIERS	3/4 HOUR

AREA NAME	RSBC-1	RLSC
CALLER/LOBBY	GROUP A-3	ASSEMBLY
PUBLIC FORUM LARGE MEETING ROOM	GROUP A-3	ASSEMBLY
CAFE	GROUP B	BUSINESS
COOKING ROOMS	GROUP B	BUSINESS
CIRCULATION AREAS & CORRIDOR SEATING (LAB FLOORS)	GROUP B	BUSINESS
COLLABORATION & CONFERENCE ROOMS	GROUP B	BUSINESS
OFFICES, WORKSTATIONS	GROUP B	BUSINESS
COMPUTATIONAL RESEARCH SPACES	GROUP B	BUSINESS
RESEARCH LAB STATIONS & RESEARCH SUPPORT	GROUP B	BUSINESS
SHOWER, TOLLING	GROUP B	BUSINESS
VIVARIUM PROCEDURAL ROOMS	GROUP B	BUSINESS
VIVARIUM LAB AND SPECIALTY ROOMS	GROUP B	BUSINESS
RECEPTION LAB	GROUP A-3	ASSEMBLY
HUMAN SUBJECT	GROUP B	BUSINESS
HYPOHYPOTHERMIA AREA	GROUP S-2	STORAGE
STORAGE, MODERATE HAZARD MATERIALS (COMBUSTIBLE)	GROUP S-1	STORAGE
STORAGE, LOW HAZARD MATERIALS (COMBUSTIBLE)	GROUP S-2	STORAGE
WASTE, FLAMMABLE CHEMICALS, FLAMMABLE CHEMICAL WASTE, INFECTIOUS WASTE	GROUP H-3	HIGH HAZARD STORAGE
MECHANICAL EQUIPMENT	GROUP F-2	INDUSTRIAL

Note:  
1. A room or space used for assembly purposes with an occupant load of less than 50 persons and accessory to another occupancy shall be classified as a Group B or part of that occupancy (RSBC 301.1.2, RIBC A.8.2.1.5).  
2. For NFPA 45.3, Class A, B, or C laboratory units shall be classified as Industrial occupancies. Class D laboratory units shall be classified as Business occupancies.  
3. Storage of hazardous materials not exceeding permitted maximum allowable quantities (MAQ).

TYPE IB CONSTRUCTION	GROUP A-3	GROUP B	GROUP F-2	GROUP S-1	GROUP S-2	GROUP H-3	GROUP H-4
ALLOWABLE HEIGHT, IN FEET (RSBC 1 TABLE 504.5)	180 FT	180 FT	180 FT	180 FT	180 FT	180 FT	180 FT
ALLOWABLE HEIGHT, IN STORES (RSBC 1 TABLE 504.4)	12 STORES	12 STORES	12 STORES	12 STORES	12 STORES	12 STORES	12 STORES
ALLOWABLE AREA PER STORY (RSBC 1 TABLE 504.3)	UNLIMITED FT <sup>2</sup>	UNLIMITED FT <sup>2</sup>	UNLIMITED FT <sup>2</sup>	UNLIMITED FT <sup>2</sup>	UNLIMITED FT <sup>2</sup>	UNLIMITED FT <sup>2</sup>	UNLIMITED FT <sup>2</sup>
MAXIMUM ALLOWABLE BUILDING AREA (RSBC 1 TABLE 504.2)	UNLIMITED	UNLIMITED	UNLIMITED	UNLIMITED	UNLIMITED	UNLIMITED	UNLIMITED

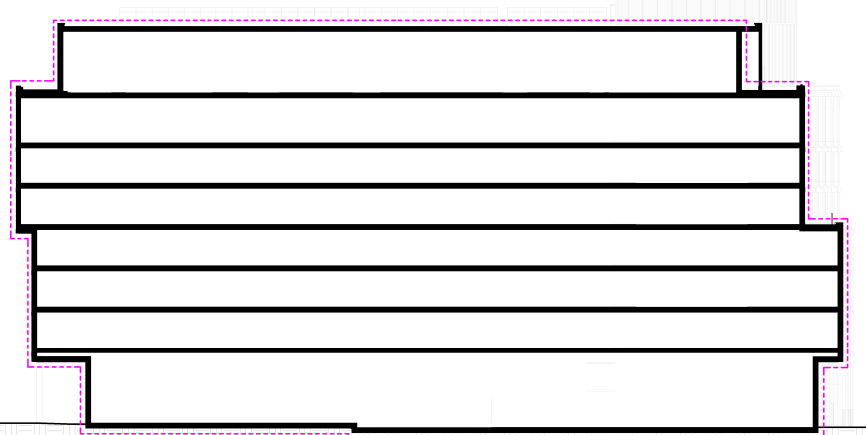
LOCATION	BH REQUIRED	BH PROVIDED	BH NOTES
SHANK R/L ELEVATION	PER RIBC SECTION 201	10'-0" MAX	
BUILDING ROOF ELEVATION		17'-4" MAX	
BUILDING HEIGHT		155'-7"	

USE GROUP	DEAD END LIMIT (FT)	COMMON PATH OF TRAVEL LIMIT (FT)	TRAVEL DISTANCE LIMIT (FT)
ASSEMBLY	20	20	250
BUSINESS	20	20	150
HIGH HAZARD (H-3)	20	25	150
HIGH HAZARD (H-4)	20	25	175
INDUSTRIAL	20	100	250
STORAGE	100	100	400

OCCUPANCY TYPE	EXITS	CORRIDORS AND ENCLOSURES FOR EXIT ACCESS STAIRWAYS/RAMPS	OTHER ROOMS AND ENCLOSED SPACES
GROUP A-ASSEMBLY	A	A, B	A, B, C (I)
GROUP B-BUSINESS	A, B	A, B, C	A, B, C
GROUP F-INDUSTRIAL	A, B	A, B, C	A, B, C
GROUP H-HIGH HAZARD	A, B	A, B	A, B, C
GROUP S-STORAGE	A, B	A, B, C	A, B, C

Note:  
1. In assembly areas over 300 occupants, only Class A and B interior finishes are permitted.

SYSTEM	REQUIREMENTS	PROVIDED IN THE BUILDING
AUTOMATIC SPRINKLER SYSTEM	FIRE COMMAND CENTER	YES
RETROFITTED CLASS 1 SPRINKLER SYSTEM	DIRT PRESSURE/RELIEF	YES
FIRE DETECTION SYSTEM	ELEVATOR LOBBY (USING SMOKE GUARD PRODUCT)	YES
EMERGENCY VOICE/ALARM COMMUNICATION SYSTEM	POST FIRE SMOKE REMOVAL SYSTEM	YES
MANUALLY CONNECTED FA SYSTEM	INCREASED BOND STRENGTH FOR SPERM	YES
STAIRPRESSURIZATION SYSTEM	LUMINOUS EGRESS PATH MARKINGS	YES
HAZARDOUS MATERIALS ALARM SYSTEM		



CODE COMPLIANCE BUILDING SECTION - NORTH-SOUTH  
3/6" = 1'-0"

**PLUMBING FIXTURE COUNT**

Level	Use Categories	Water Closets		Lavatories	Showers	Drinking Fountains	Service Sinks
		Female	Male				
Ground Floor + Mezzanine	Assembly (A-3)	10,139	5,272	6,599	0	2,638	1
	Business (B)	0.5	0.5	1	0	0.204	0
	Industrial (F-2)	0.237	0.237	0.475	0	0.119	0
Level 2	Storage (S-2)	0.368	0.368	0.735	0	0.074	0
	Hazard (H)	0.006	0.006	0.012	0	0.003	0
	Required	11,225	6,383	8,812	0	3,038	1
Level 3	Provided	18	12	0	4	2	
	Business (B)	2.75	2.75	3.8	0	2.25	1
	Required	3	3	4	0	3	1
Level 4	Provided	8	8	0	4	1	
	Business (B)	2.75	2.75	3.8	0	2.25	1
	Required	3	3	4	0	3	1
Level 5	Provided	8	8	0	4	1	
	Business (B)	2.75	2.75	3.8	0	2.25	1
	Required	3	3	4	0	3	1
Level 6	Provided	8	8	0	4	1	
	Business (B)	2.75	2.75	3.8	0	2.25	1
	Required	3	3	4	0	3	1
Level 7	Provided	8	8	0	4	1	
	Business (B)	1.5	1.5	2.8	0	1	1
	Required	1.5	1.5	3	0	1	1

NOTE:  
FLOORS 5/6 CALCULATION IS BASED ON AN ANTICIPATED POPULATION OF NOT TO EXCEED 225 OCCUPANTS.  
FLOORS 7 CALCULATION IS BASED ON AN ANTICIPATED POPULATION OF NOT TO EXCEED 100 OCCUPANTS.

TOPIC	STATE FIRE BOARD	PROVIDENCE BUILDING BOARD
NFPA 101-2018 EDITION TRAVEL DISTANCE ON VIVARIUM FLOOR EXCEEDS 100 FT (NFPA 101-2018, SECTION 8.7.1)	YES	N/A
RELEASE IN ANIMAL CARE AREAS (NFPA 101-2018, SECTION 11.3.4.1.3)	YES	N/A
PLUMBING MANUAL SHUT-OFF (RSBC SECTION 2.2.5)	NO	N/A
SPRINKLERS VERTICAL RISE 19' (RSBC 1011.8 & RLSC 7.2.2.1.1)	YES	YES
SHAFT TERMINATION IN LABS & MECH ROOMS	NO	NO - APPROVED BY MECHANICAL INSPECTOR
WARNING OF GENERAL AND LABORATORY SCALE HAZARDOUS EXHAUST AIR OUTSIDE OF SHAFTS	NO	NO - APPROVED BY MECHANICAL INSPECTOR
SENDER NEUTRAL RESTROOMS CODE REQUIRES SEPARATE FACILITIES FOR EACH SEX (RSBC 410.2)	N/A	YES

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TYPE OF ASSEMBLY	DETAILS	UL LISTING	FIRE RATING
ROOF ASSEMBLY	METAL ROOF DECK STEEL BEAM SPRAY-ON FIREPROOFING	UL 263 DESIGN # P732	1 HR RATED
ROOF ASSEMBLY	METAL ROOF DECK STEEL BEAM SPRAY-ON FIREPROOFING	UL 263 DESIGN # P709	1 HR RATED
COMPOSITE DECK ASSEMBLY	SLAB ON DECK STEEL BEAM SPRAY-ON FIREPROOFING	UL 263 DESIGN # X708	2 HR RATED
COMPOSITE DECK ASSEMBLY	SLAB ON DECK STEEL BEAM SPRAY-ON FIREPROOFING	UL 263 DESIGN # X712	2 HR RATED
COLUMN, BEAM & TRUSS PRIMARY MEMBERS	SPRAY-ON FIREPROOFING STEEL COLUMN/BEAM	UL 263 DESIGN # X854	1, 1-1/2, 2, 3 HR RATED
COLUMN, BEAM & TRUSS PRIMARY MEMBERS	INTUMESCENT PAINT STEEL COLUMN/BEAM	UL 263 DESIGN # X820	1, 1-1/2, 2, 3 HR RATED
COLUMN, BEAM & TRUSS PRIMARY MEMBERS	SPRAY-ON FIREPROOFING STEEL TUBE	UL 263 DESIGN # Y710	1, 1-1/2, 2, 3 HR RATED
COLUMN, BEAM & TRUSS PRIMARY MEMBERS	INTUMESCENT PAINT STEEL TUBE	UL 263 DESIGN # X874	1, 1-1/2, 2, 3 HR RATED

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**GENERAL OVERALL LAYOUT PLAN NOTES**

A. A150 SERIES OVERALL PLANS ARE FOR REFERENCE AND ORIENTATION ONLY. FOR DESIGN INTENT AND SCOPE INFORMATION, SEE ADDS FLOOR PLANS.

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Key Plan:

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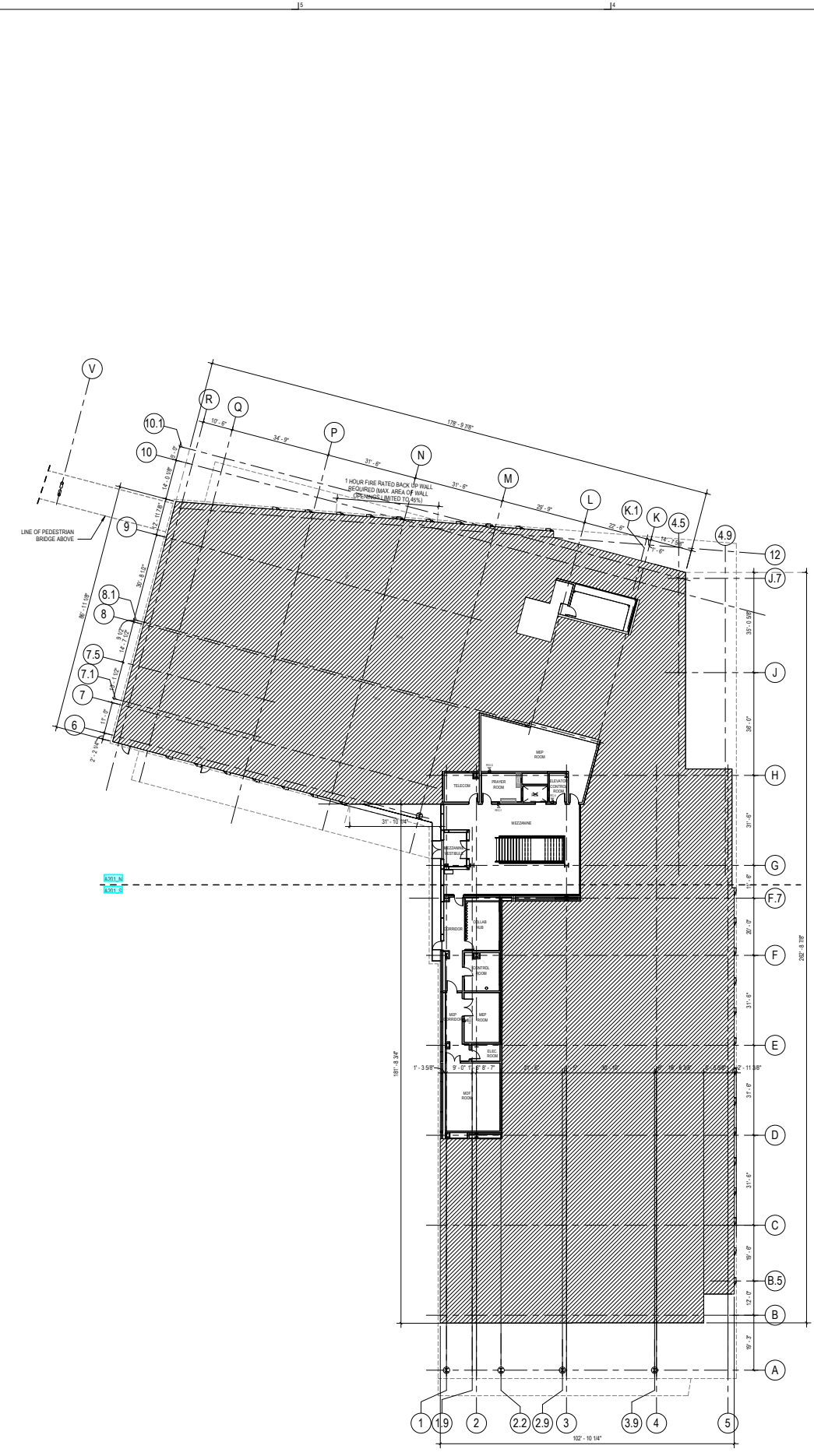
Project:  
**Brown Integrated Life Sciences Building (ILSB)**  
 235 RICHMOND ST  
 PROVIDENCE, RI 02863  
 Project No. 4224  
 Drawing Status:  
**ISSUED FOR CONSTRUCTION**

Date: 11/11/2024

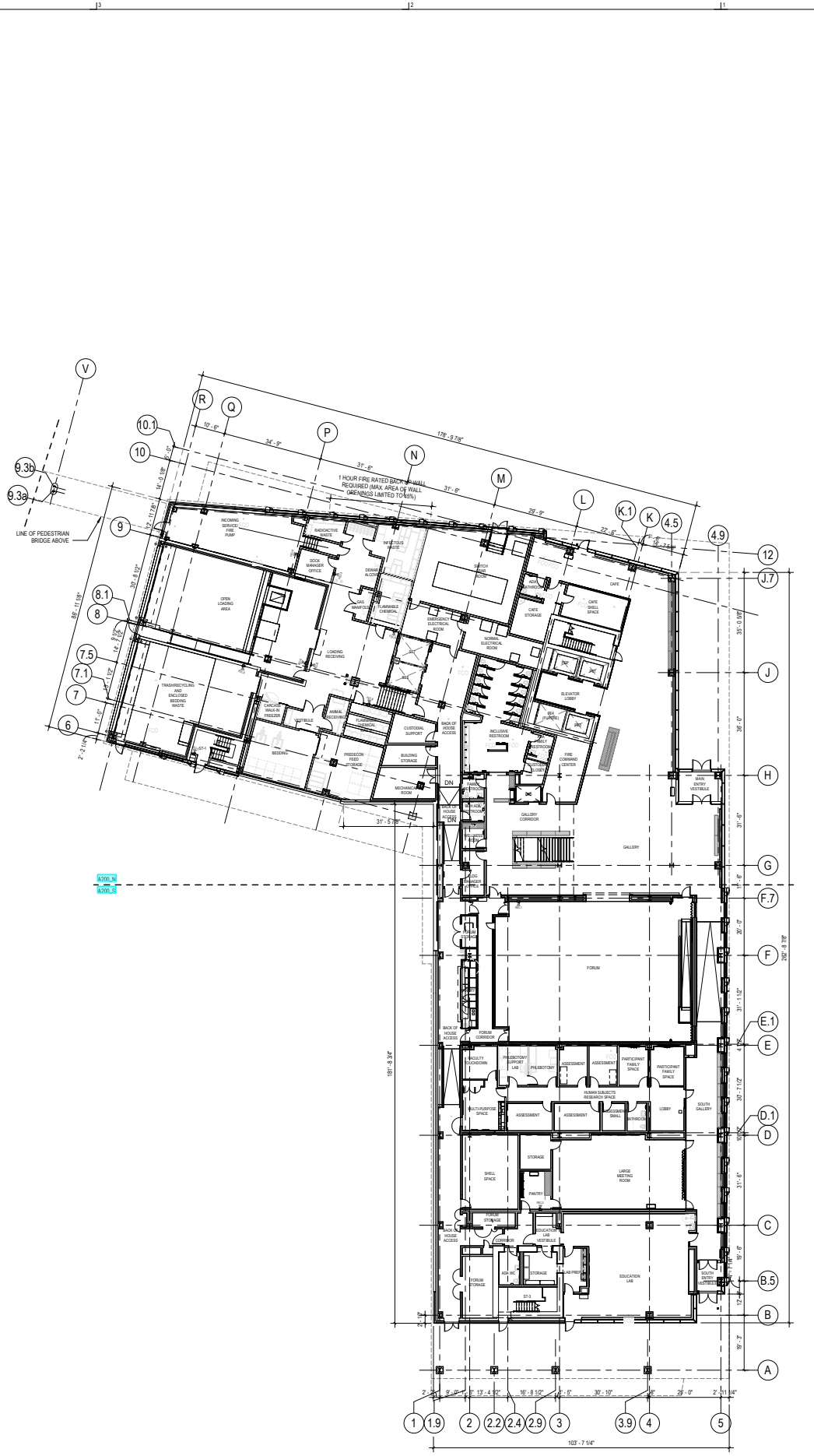
Drawing History:

Date	Description	Count
03/09/2024	ISSUED FOR 100% DESIGN DEVELOPMENT	1
04/30/2024	ISSUED FOR 40% CONSTRUCTION DOCUMENTS	1
08/09/2024	ISSUED FOR 75% CONSTRUCTION DOCUMENTS	3
11/01/2024	ISSUED FOR CONSTRUCTION	5

Scale: As indicated.  
**LAYOUT PLAN - LEVEL 01, MEZZANINE**  
**A150**



A150 LAYOUT PLAN - MEZZANINE  
 1/16" = 1'-0"



A150 LAYOUT PLAN - LEVEL 01  
 1/16" = 1'-0"

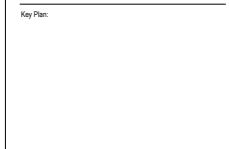
**LEGEND - LAYOUT PLAN**

- NORTH
- OPEN TO BELOW HATCH
- MILLWORK
- FIRE RATED WALL 1-HOUR
- FIRE RATED WALL 2-HOUR
- FIRE RATED WALL 3-HOUR
- SMOKE PARTITION

**GENERAL OVERALL LAYOUT PLAN NOTES**  
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Key Plan:  


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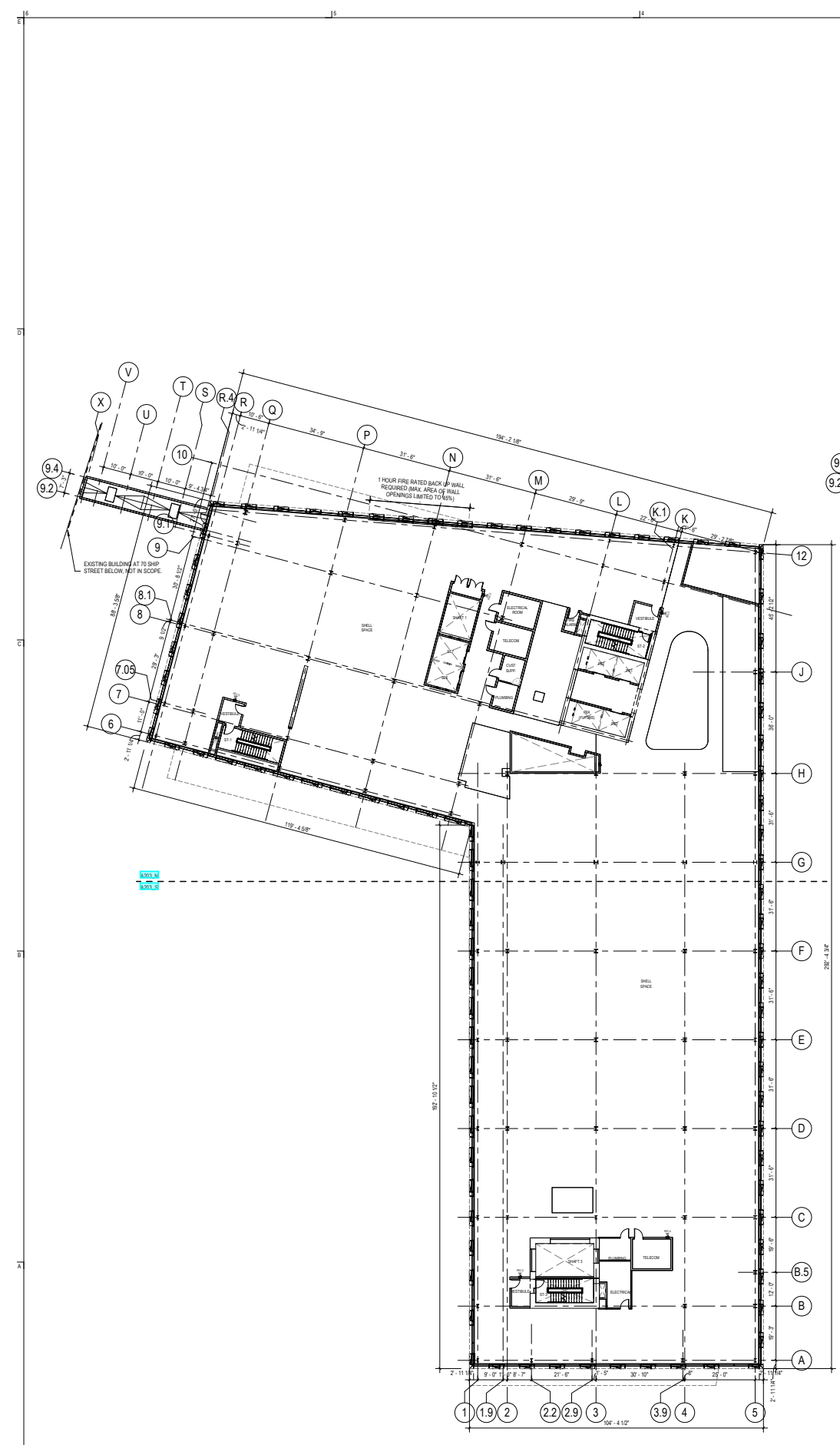
Project:  
**Brown Integrated Life Sciences Building (ILSB)**  
 233 RICHMOND ST  
 PROVIDENCE, RI 02903  
 Project No. 4224  
 Drawing Status:  
**ISSUED FOR CONSTRUCTION**

Date: 11/11/2024

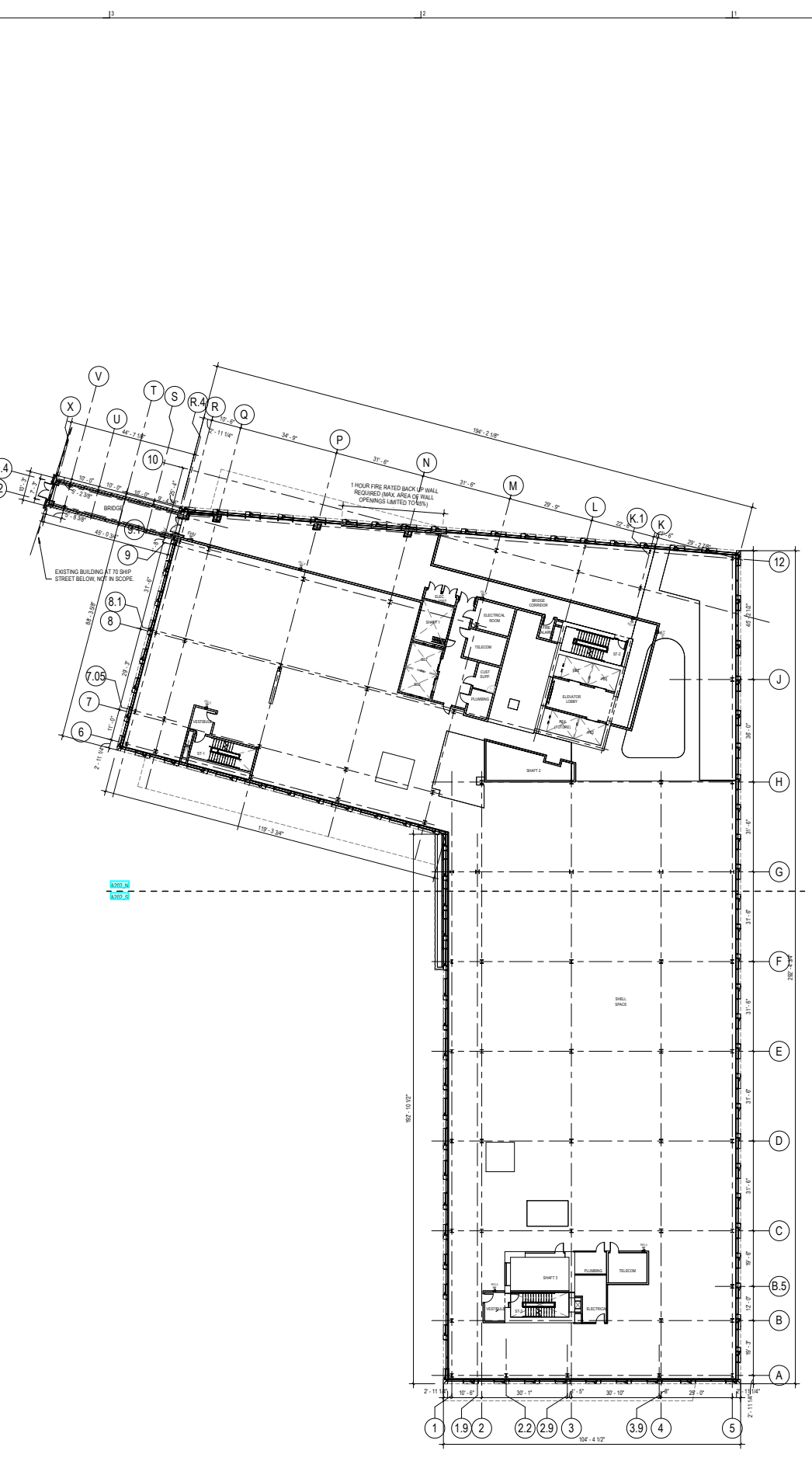
Drawing History:

Date	Description	Count
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04/30/2024	ISSUED FOR 40% CONSTRUCTION DOCUMENTS	1
08/09/2024	ISSUED FOR 75% CONSTRUCTION DOCUMENTS	3
11/01/2024	ISSUED FOR CONSTRUCTION	5








Scale: As indicated



A2 LAYOUT PLAN - LEVEL 02  
 1/8" = 1'-0"



A3 LAYOUT PLAN - LEVEL 02  
 1/8" = 1'-0"

- LEGEND - LAYOUT PLAN**
-  NORTH
  -  OPEN TO BELOW HATCH
  -  MILLWORK
  -  FIRE RATED WALL 1 HOUR
  -  FIRE RATED WALL 2 HOUR
  -  FIRE RATED WALL 3 HOUR
  -  SMOKE PARTITION

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Project:

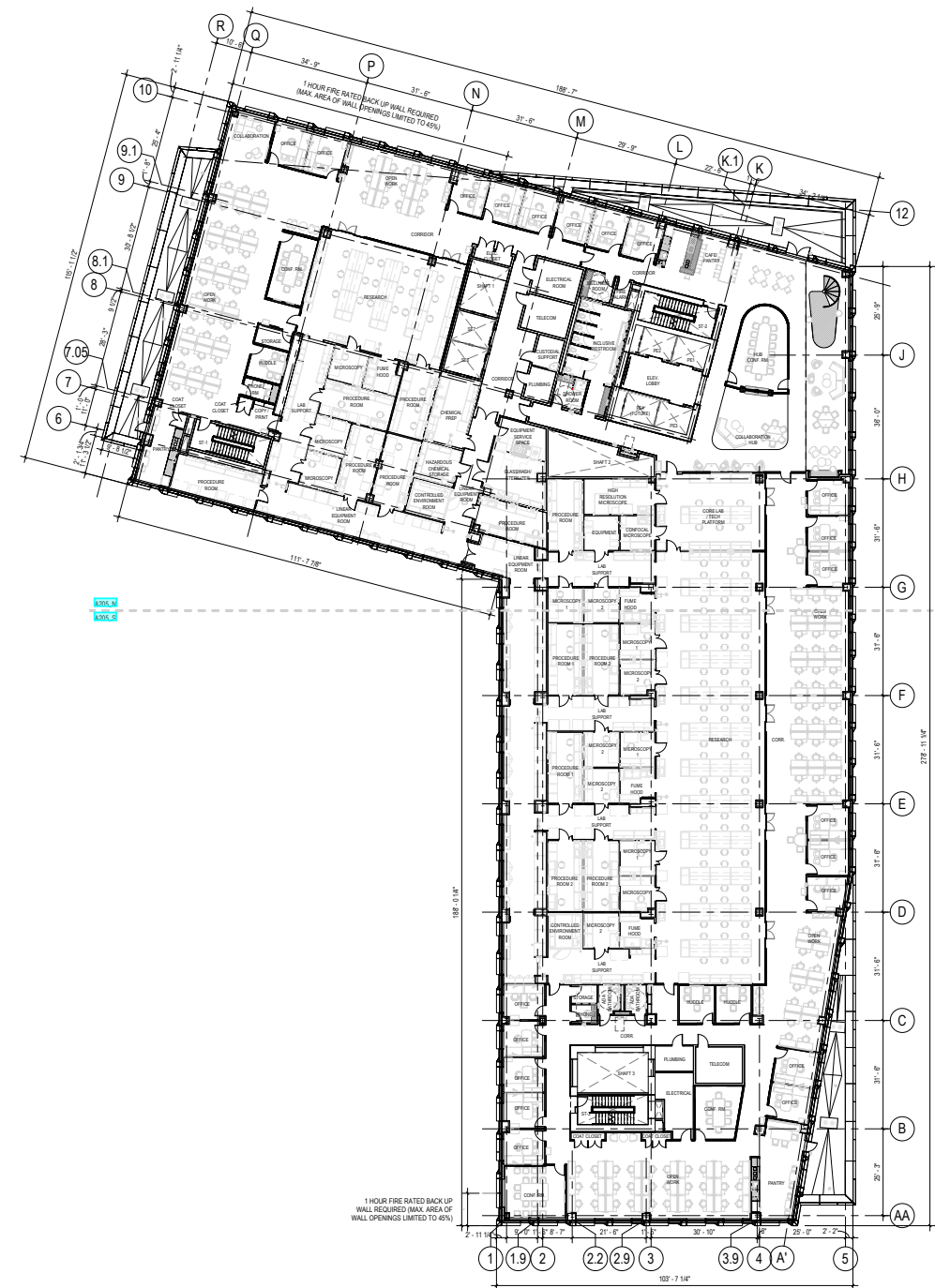
**Brown Integrated Life Sciences Building (ILSB)**

233 RICHMOND ST  
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Project No. 4224  
Drawing Status:  
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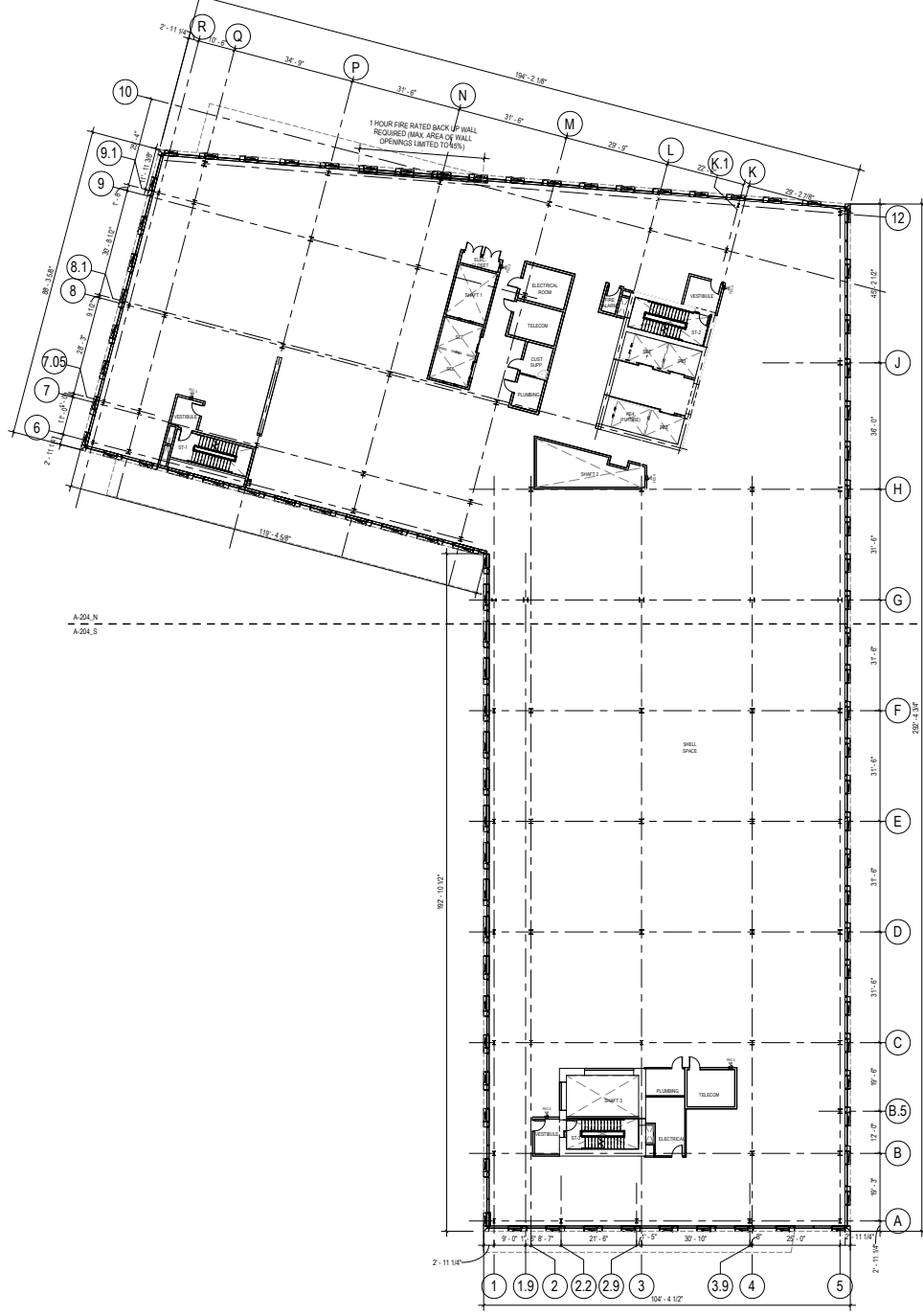
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**11/11/2024**

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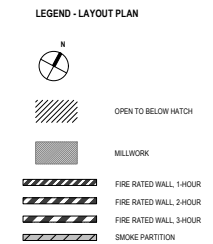
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11/01/2024	ISSUED FOR CONSTRUCTION	5



A6 LAYOUT PLAN - LEVEL 05  
1/8" = 1'-0"



A3 LAYOUT PLAN - LEVEL 04  
1/8" = 1'-0"



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**VITATECH**  
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Architect:

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New York, NY 10013  
212.229.9211  
TenBerke.com

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Project:

**Brown Integrated Life Sciences Building (ILSB)**

233 RICHMOND ST  
PROVIDENCE, RI 02903

Project No. 4224

Drawing Status:

**ISSUED FOR CONSTRUCTION**

Date:

11/11/2024

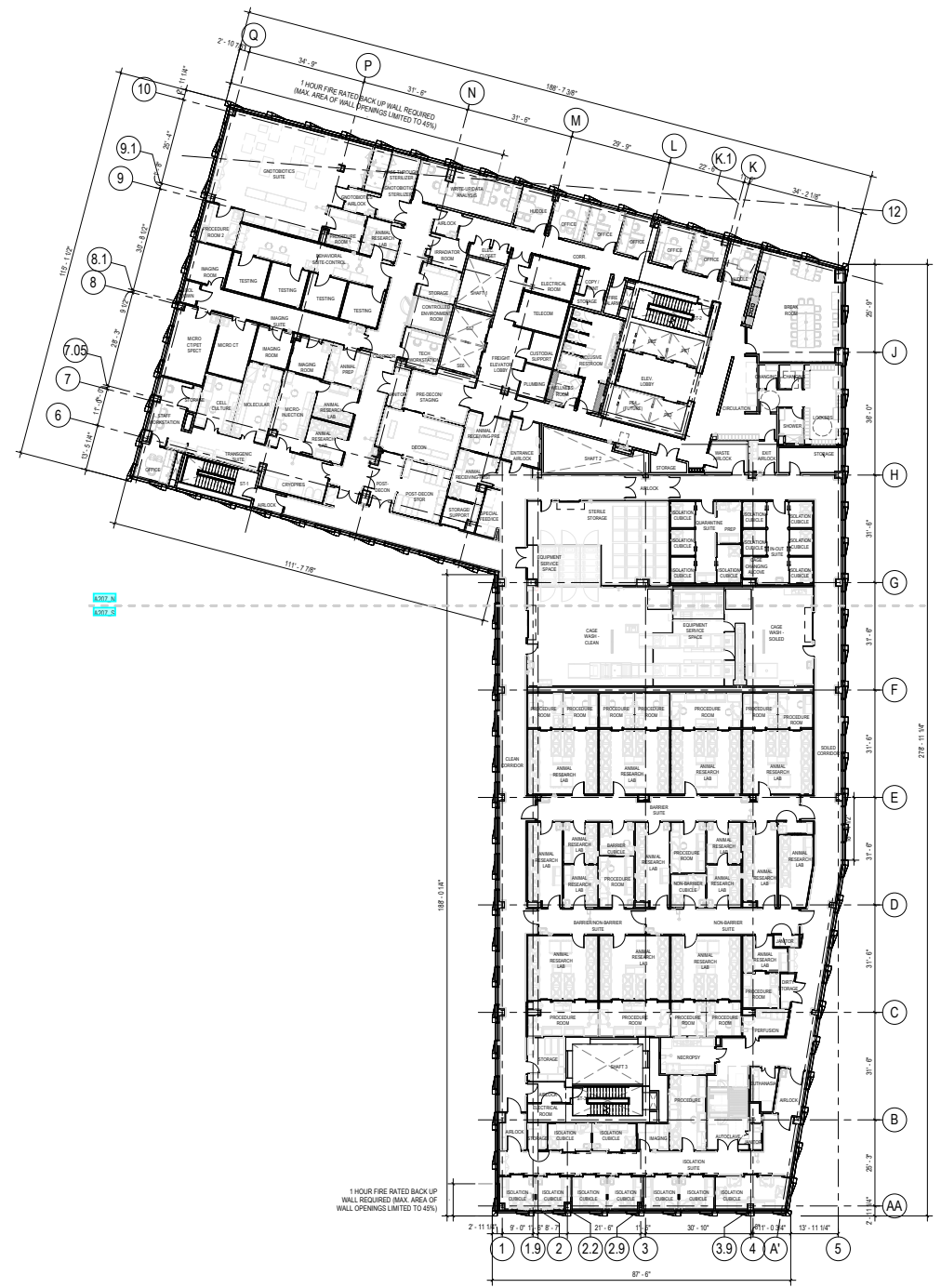
Drawing History:

Date	Description	Number
02/09/2024	ISSUED FOR 100% DESIGN DEVELOPMENT	
04/30/2024	ISSUED FOR 40% CONSTRUCTION DOCUMENTS	1
08/09/2024	ISSUED FOR 75% CONSTRUCTION DOCUMENTS	3
11/01/2024	ISSUED FOR CONSTRUCTION	5

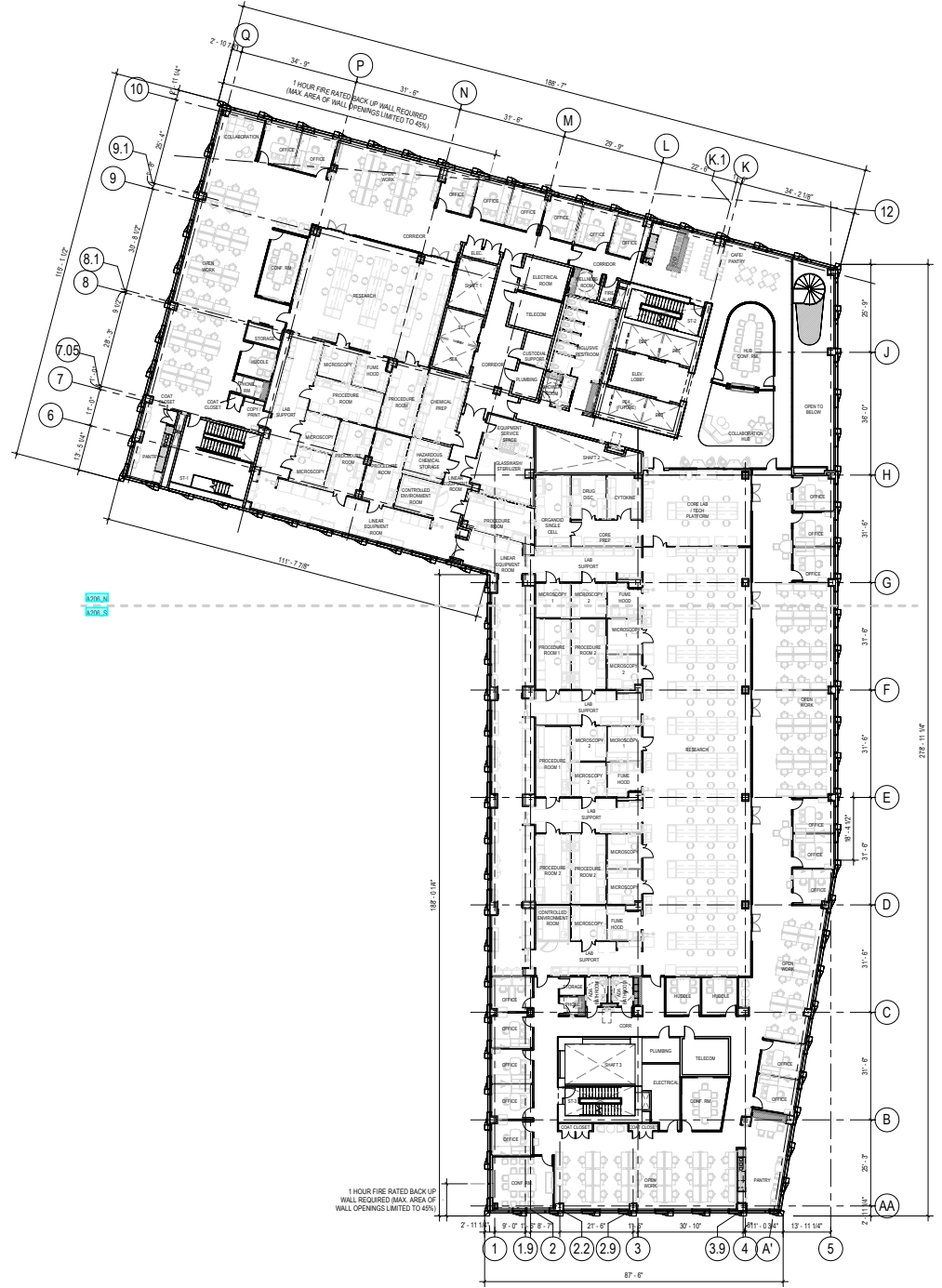
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LAYOUT PLAN - LEVEL 06, 07

**A153**

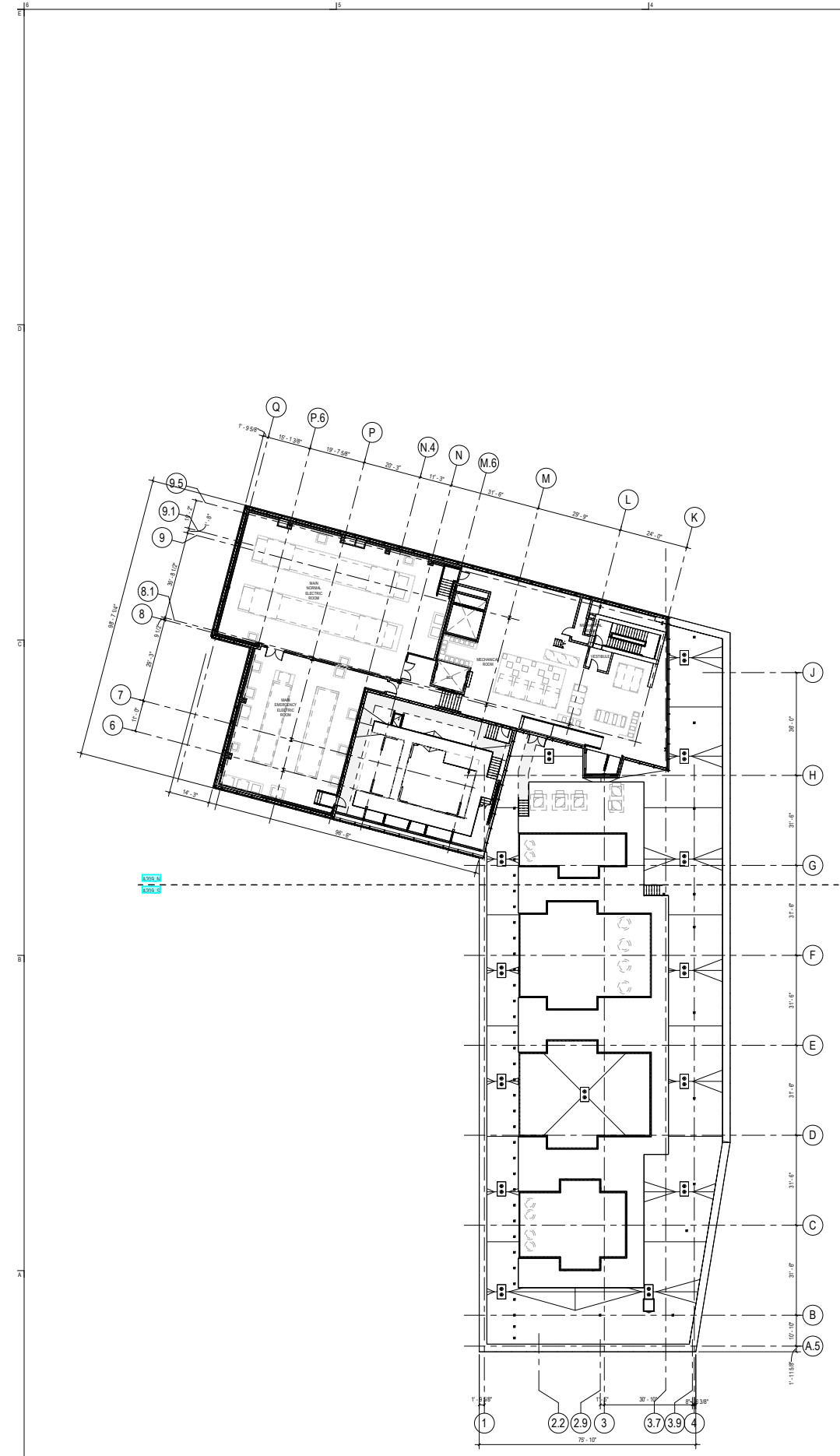


A6 LAYOUT PLAN - LEVEL 06  
1/8" = 1'-0"

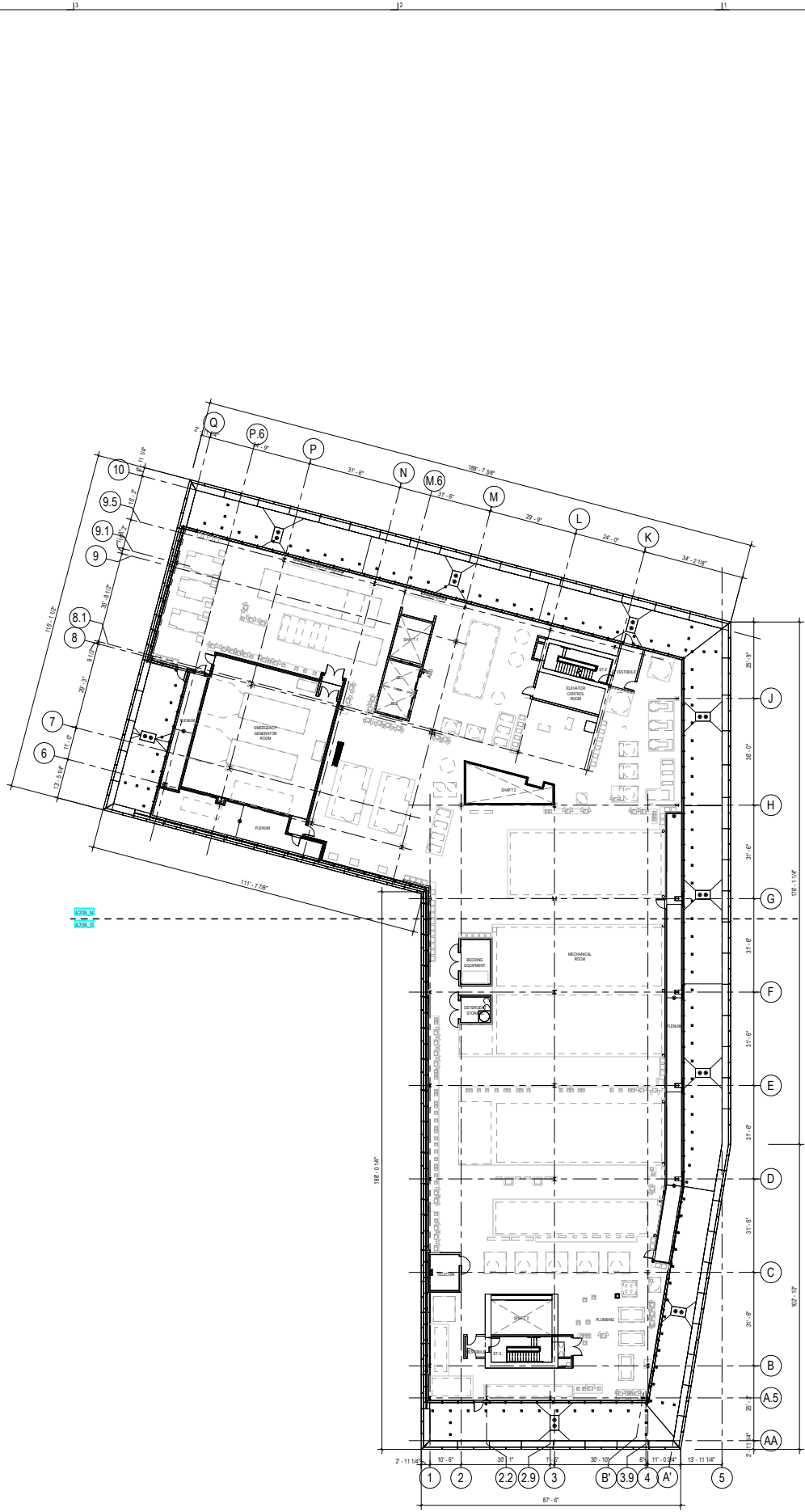


A7 LAYOUT PLAN - LEVEL 07  
1/8" = 1'-0"

- LEGEND - LAYOUT PLAN**
- NORTH
  - OPEN TO BELOW HATCH
  - MILLWORK
  - FIRE RATED WALL 1 HOUR
  - FIRE RATED WALL 2 HOUR
  - FIRE RATED WALL 3 HOUR
  - SMOKE PARTITION



A6 LAYOUT PLAN - RH MEZZ  
1/8" = 1'-0"



A3 LAYOUT PLAN - ROOF  
1/8" = 1'-0"

GENERAL OVERALL LAYOUT PLAN  
NOTES

A. **KS** SERIES OVERALL PLANS ARE FOR REFERENCE AND ORIENTATION ONLY FOR DESIGN INTENT AND SCOPE INFORMATION. SEE ADDS FLOOR PLANS.

ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH ALL CODES AND REGULATIONS HAVING JURISDICTION OVER THIS SITE LOCATION.  
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Key Plan:

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Architect  
**TenBerke**  
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212.229.9211  
TenBerke.com

Project  
**Brown Integrated Life Sciences Building (ILSB)**  
233 RICHMOND ST  
PROVIDENCE, RI 02903  
Project No. 4224  
Drawing Status:  
**ISSUED FOR CONSTRUCTION**

Date: 11/1/2024

Drawing History:

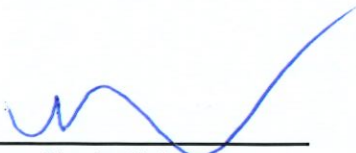
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- NORTH
  - OPEN TO BELOW HATCH
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  - FIRE RATED WALL 3 HOUR
  - SMOKE PARTITION


NOTICE OF REFUSAL  OF PERMIT APPLICATION	CITY OF PROVIDENCE DEPT OF INSPECTIONS AND STANDARDS 444 Westminster Street -Providence. RI. 02903 Joseph A. Doorley – Municipal Building		APPLICATION DATE 11/27/2024	APPLICATION NO. BLDG-24-511
			DATE OF REFUSAL 11/27/2024	APPEAL FEE \$440
LOCATION 233 Richmond St. Providence, RI 02903		PAGE NUMBER 1 of 1		
APPLICANT Suffolk Construction Company, Inc.	TITLE Applicant	ADDRESS 65 Allerton St., Boston, MA 02119		
PROPERTY OWNER'S NAME Brown University		PROPERTY OWNER'S FULL ADDRESS One Davol Sq Providence, RI 09203		
THE APPLICATION FOR A <u>CERTIFICATE OF OCCUPANCY</u> FOR THE ABOVE LOCATION HAS BEEN REFUSED BECAUSE THE PROVISIONS OF THE RHODE ISLAND STATE CODE HAVE NOT BEEN COMPLIED WITH IN THE FOLLOWING PARTICULARS.				
SCOPE OF PERMIT: Part of the ILSB Project construction of a 7-story, approximately 300,000 square foot new building, and the associated fit-out of the 5 <sup>th</sup> and 6 <sup>th</sup> stories.				
BUILDING DESCRIPTION: <u>Seven (7) story, proposed structure.</u>				
USE GROUP(S): <u>B, A-3, S-1, S-2, F-2, H-3, H-4.</u>			TYPE OF CONSTRUCTION: <u>I-B</u>	
LOCATION OF SPRINKLERS (IF ANY): <u>NFPA 13 throughout</u>			C.O. REQUIRED: <u>YES</u>	
<u>FLOOR AREAS / USES</u> 1st floor: 36,552 + Mezzanine 3,860 SF/ A-3, B, F-2, S-2, H 2 <sup>nd</sup> -7 <sup>th</sup> floors --40,693SF /B				
Has the proposed scope of work been completed? <input type="radio"/> Yes <input checked="" type="radio"/> No    Has a violation been noted for this property? <input type="radio"/> Yes <input checked="" type="radio"/> No				
<u>RISBC-1 Rhode Island Building Code (510-RICR-00-00-1)</u>		<u>CODE SECTIONS AND REASONS FOR REFUSAL</u>		
Section 1011.8		Vertical rise. A flight of stairs shall not have a vertical rise greater than 12 feet (3658 mm) between floor levels or landings.		
**		Whereas, the proposed spiral stairs have a vertical rise of 15 ft.		

Discipline: --Building Code-

Signed

  
Yaniv Gal  
Senior Plan Examiner

Signed

  
James C. Moore, III  
Director DIS

Applicant     Property Owner