

**CITY OF PROVIDENCE
BUILDING BOARD OF REVIEW**

SEP 13 2024

**APPLICATION APPEALING THE DECISION OF THE BUILDING OFFICIAL, OR
FOR A VARIATION OR MODIFICATION FROM CERTAIN SECTIONS OF THE RI STATE BUILDING CODE**

Check Type of Building Board Application:

- Variance – variation from, or modification of, certain sections of the RI State Building Code
- Appeal of a decision of the Building Official

If a section of the application is not applicable, please indicate this by using N/A in that field.

Applicant: Lofty Ambitions LLC c/o Jill Sutt Applicant Mailing Address
 Email: jemilysutton@gmail.com Street: 219 Blackstone Blvd
 Phone: 313-550-6582 City, State, Zip: Providence, RI 02906

Owner: Lofty Ambitions LLC c/o Jill Sutt Owner Mailing Address
 Email: jemilysutton@gmail.com Street: 219 Blackstone Blvd
 Phone: 313-550-6582 City, State, Zip: Providence, RI 02906

Appellant: _____ Appellant Mailing Address
 Email: _____ Street: _____
 Phone: _____ City, State, Zip: _____

Attorney: _____ Attorney Mailing Address
 Email: _____ Street: _____
 Phone: _____ City, State, Zip: _____

1. Subject Department of inspection + Standards Permit Number: BLDG-24-1168
2. Street Address of Subject Property: 349 Wayland Ave, Providence, RI 02906
 Assessor's Plat and Lot Numbers of Subject Property: Plat 39 Lot 187
3. Base Zoning District(s): R-1 Zone
 Overlay District(s): N/A

4. Date owner purchased the Property: 2/29/24

5. Building construction type(s): 5B

6. Dimensions of each lot:

Lot # <u>187A</u>	Width <u>100' +/-</u>	Depth <u>100' +/-</u>	Total area <u>8,494 SF</u> ±sq. ft.
Lot # <u>187B</u>	Width <u>50' +/-</u>	Depth <u>100' +/-</u>	Total area <u>6,506 SF</u> ±sq. ft.

7. Size of existing structure(s) located on the Property:

<u>Principal Structure:</u>	<u>Accessory Structure:</u>
Area of Footprint _____	Area of Footprint <u>1,700 SF</u>
Overall Height _____	Overall Height <u>20'1"</u>
# of Stories _____	# of Stories <u>2</u>

8. Size of proposed structure(s) located on the Property:

<u>Principal Structure:</u>	<u>Accessory Structure:</u>
Area of Footprint _____	Area of Footprint _____
Overall Height _____	Overall Height _____
# of Stories _____	# of Stories _____

9. Present Legal Zoning Use of the Property: Single Family Dwelling with Carriage House

10. Proposed Zoning Use of the Property: Parcel A - Single Family Dwelling, Parcel B - Single Fam

11. Number of Parking Spaces:

of existing spaces 4 # of proposed spaces 4

12. Are there outstanding violations concerning the Property under any of the following:

Providence Zoning Ordinance RI State Building or Property Maintenance Code(s)

13. Summarize all changes proposed for the Property (use, construction/renovation, site alteration):

Renovations to convert the existing carriage house into a single family dwelling.

14. If application is for variance, list RI State Building Code Sections from which a variance is sought:

<u>Section Number</u>	<u>Section Title + Required relief (e.g. dimensional deficiency of 6" on a landing)</u>
<u>R 302.1 (1)</u>	<u>Exterior Walls - For a fire separation distance of less than 3 feet (facing e;</u>
<u>R 302.1 (1)</u>	<u>Exterior Walls - For a fire separation distance of 4.4 feet (facing west), a r</u>
<u>R 302.1 (1)</u>	<u>Exterior Walls - For a fire separation distance of 0 feet (facing south), and</u>
_____	_____
_____	_____
_____	_____
_____	_____

QUESTIONS 15 AND 16 TO BE ANSWERED ONLY IF APPLICATION IS AN APPEAL

15. IF application is an appeal of a decision of the Building Official, please indicate if:

- Appellant is the Owner of the subject Property
 Appellant is an aggrieved party that is not the Owner of the subject Property

16. IF application is an appeal of a decision of the Building Official, please indicate the grounds for the appeal:

IF MORE ROOM IS NEEDED TO ANSWER ANY OF THE ABOVE QUESTIONS, PLEASE SUBMIT AN ADDENDUM TO THIS APPENDIX WITH COMPLETE RESPONSES.

The undersigned acknowledge(s) and agree(s) that members of the Building Board of Review and its staff may enter upon the Property in order to view the Property prior to any hearing on the application.

The undersigned further acknowledge(s) that the statements herein and in any attachments or appendices are true and accurate, and that providing a false statement in this application may be subject to criminal and/or civil penalties as provided by law, including prosecution under the State and Municipal False Claims Acts. Owner(s)/Applicant(s) are jointly responsible for any false statements.

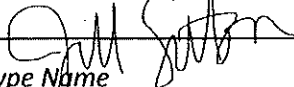
Owner(s):

Lofty Ambitions LLC

Type Name

By: Jill E Sutton President

Signature


Type Name

Signature

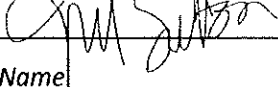
Applicant(s)/Appellant(s):

Lofty Ambitions LLC

Type Name

By: Jill E Sutton, President

Signature


Type Name

Signature

All applicable requirements listed and described on the Instruction Sheet shall be met or this application will not be considered complete.

Please contact the Office of the Boards of Review with questions:

Telephone – 401-680-5375

Email – bsath@providenceri.gov

A fillable PDF copy of this document can be found online at the Boards of Review webpage linked from the Department of Inspection + Standards: <https://www.providenceri.gov/inspection-standards/>

NOTICE OF REFUSAL OF PERMIT APPLICATION	CITY OF PROVIDENCE DEPT OF INSPECTIONS AND STANDARDS 444 Westminster Street -Providence, RI, 02903 Joseph A. Doorley – Municipal Building		APPLICATION DATE 09/03/2024	APPLICATION NO. BLDG-24-1168
			DATE OF REFUSAL 09/12/2024	A P P E A L F E E \$440
LOCATION 349 Wayland Ave. Providence, RI 02906		PAGE NUMBER 1 of 1		
APPLICANT Jill Sutton	TITLE Applicant/Owner	ADDRESS 219 Blackstone Blvd, Providence, RI 02906		
PROPERTY OWNER'S NAME Lofty Ambitions LLC		PROPERTY OWNER'S FULL ADDRESS 219 Blackstone Blvd, Providence, RI 02906		
THE APPLICATION FOR A PRELIMINARY REVIEW FOR THE ABOVE LOCATION HAS BEEN REFUSED BECAUSE THE PROVISIONS OF THE RHODE ISLAND STATE CODE HAVE NOT BEEN COMPLIED WITH IN THE FOLLOWING PARTICULARS.				
SCOPE OF PERMIT: For the erection of one (1) detached garage (accessory to "Main House") and one (1) attached garage (accessory to "Carriage House") Per attached plans. All pending subdivision plan (preliminary approval hearing date Aug 20 2024).				
BUILDING DESCRIPTION: <u>Two (2) one (1) story garages, one (1) detached, and one (1) attached.</u>				
USE GROUP(S): <u>R-3 – Single Family dwelling; R-3 Single Family Dwelling</u>			TYPE OF CONSTRUCTION: <u>V-B</u>	
LOCATION OF SPRINKLERS (IF ANY): <u>N/A</u>			C.O. REQUIRED: <u>YES</u>	
<u>FLOOR AREAS / USES</u> Attached garage: 370 Square Feet Detached garage: 440 Square Feet				
Has the proposed scope of work been completed? <input type="radio"/> Yes <input checked="" type="radio"/> No Has a violation been noted for this property? <input type="radio"/> Yes <input checked="" type="radio"/> No				
<u>RISBC-2 Rhode Island State One and Two Family Dwelling Code (510-RICR-00-00-2)</u>		<u>CODE SECTIONS AND REASONS FOR REFUSAL</u>		
Attached Garage				
Table R302.1(1)	Exterior Walls. For a fire separation distance of 4.4 feet (facing west), a minimum of 1 hour—tested in accordance with ASTM E119, UL 263 or Section 703.3 of the International Building Code with exposure from both sides is required for the exterior wall.			
**	Whereas, no fire rating is provided.			
Detached Garage				
Table R302.1(1)	Exterior Walls. For a fire separation distance of 0 feet (facing south), and 2 feet (facing east) a minimum of 1 hour—tested in accordance with ASTM E119, UL 263 or Section 703.3 of the International Building Code with exposure from both sides is required for the exterior wall.			
**	Whereas, no fire rating is provided; only "fire coating".			
Table R302.1(1)	Exterior Walls. For a fire separation distance of less than 3 feet (facing east), no exterior openings are allowed.			
**	Whereas, a 16 square feet window is proposed.			

Discipline: --Building Code--

Signed


Yaniv Gal
Senior Plan Examiner

Signed


James C. Moore, III
Director DIS

Applicant Property Owner



**AVANTGARDE
DESIGN GROUP**
Residential Design

50 DUNNELL LANE, BOX 11
PAWTUCKET, RI 02880
TEL: (401) 395-5400
E-MAIL: arfoc@avantgardedesign.com

REVISION

No.	DESCRIPTION	DATE

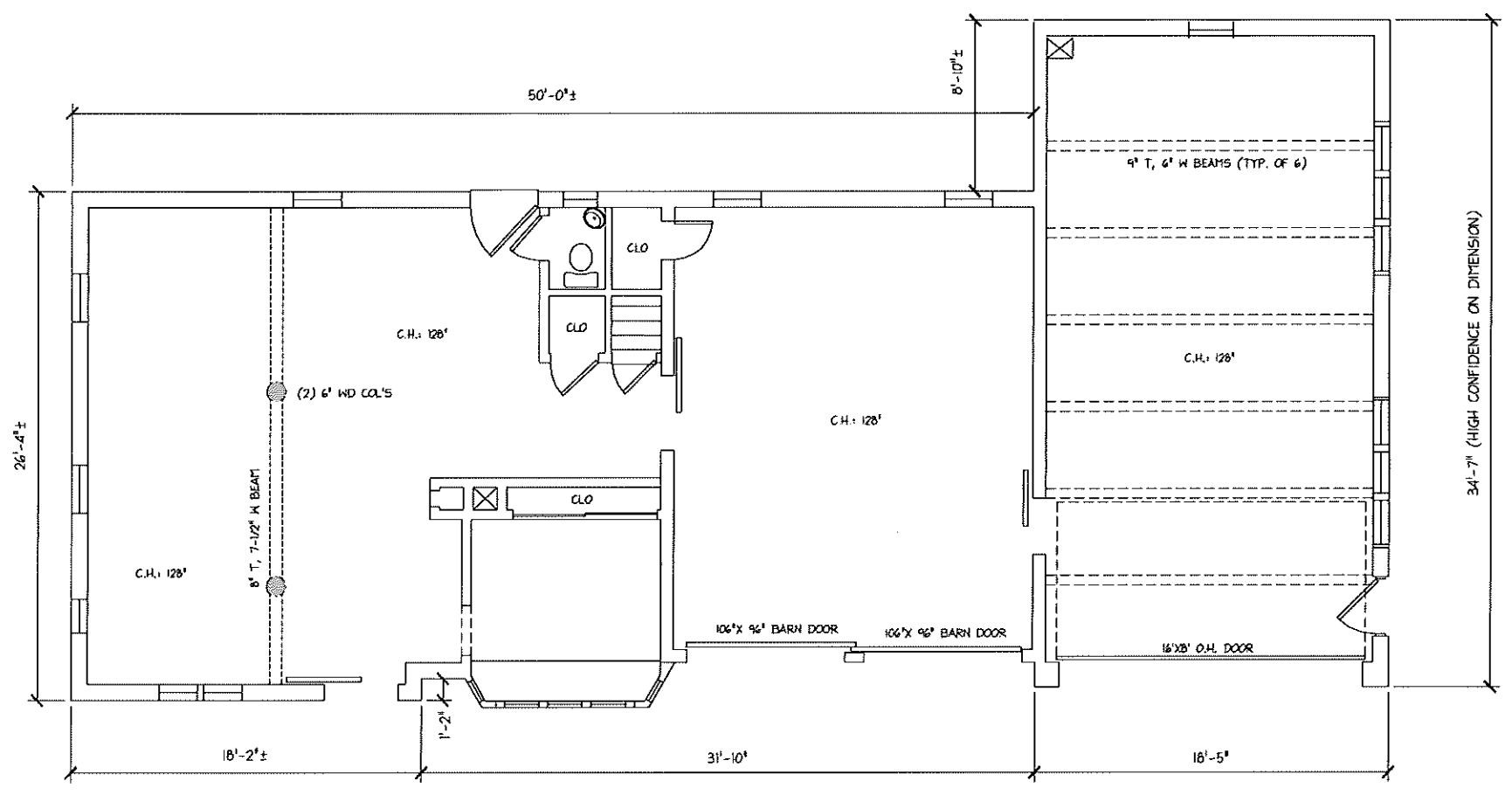
Project:

Carriage House Renovations & Garage Additions
 For
Lofty Ambitions Residence
 Plat # 39 Lot # 187
 Zone: R-1
 Lloyd Avenue & 349 Wayland Avenue
 Providence ~ R.I.

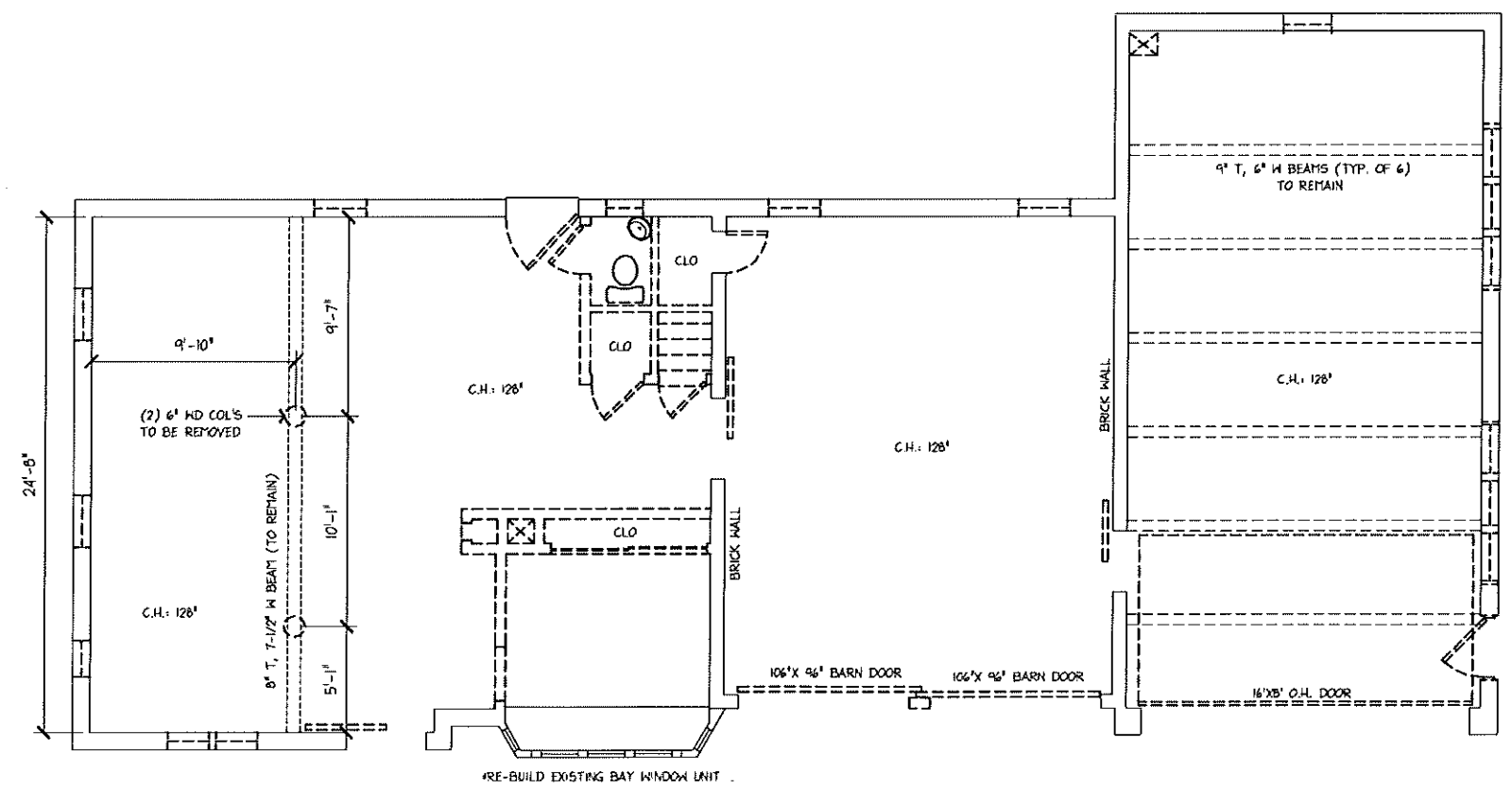
Title:
EXISTING FIRST FLOOR PLAN & DEMOLITION PLAN

Issued For Permitting
 August 22, 2024
 Dsgn By: S.R. Scale: 1/8"=1'-0"
 Chk. By: S.R. Date: 04/01/24
 Drwn By: S.R. Proj. #:

A
1.0



FIRST FLOOR EXISTING CONDITIONS
 SCALE: 1/8"=1'-0" (A-1.0)



FIRST FLOOR DEMOLITION PLAN
 SCALE: 1/8"=1'-0" (A-1.0)



**AVANTGARDE
DESIGN GROUP**

Residential Design

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TEL: (401) 995-5400
E-Mail: arloc@avantgardedesign.com

REVISION

No.	DESCRIPTION	DATE

Project:

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Garage Additions
For

Lofty Ambitions
Residence

Plat # 39 Lot # 187
Zone: R-1

Lloyd Avenue &
349 Wayland Avenue
Providence ~ R.I.

Title:

EXISTING SECOND
FLOOR PLAN &
DEMOLITION PLAN

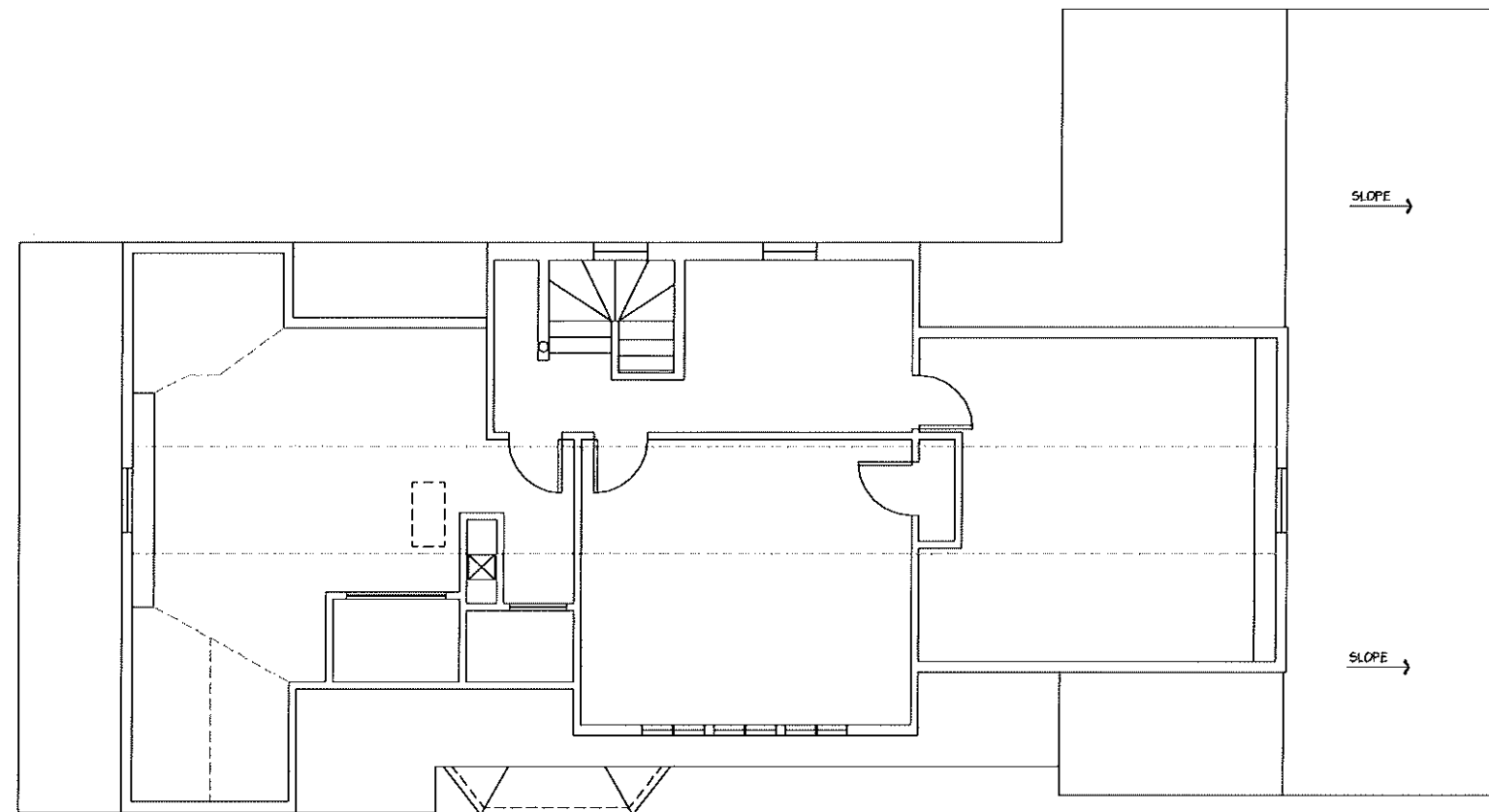
Issued For Permitting

August 22, 2024

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Chk. By: S.R.	Date: 04/01/24
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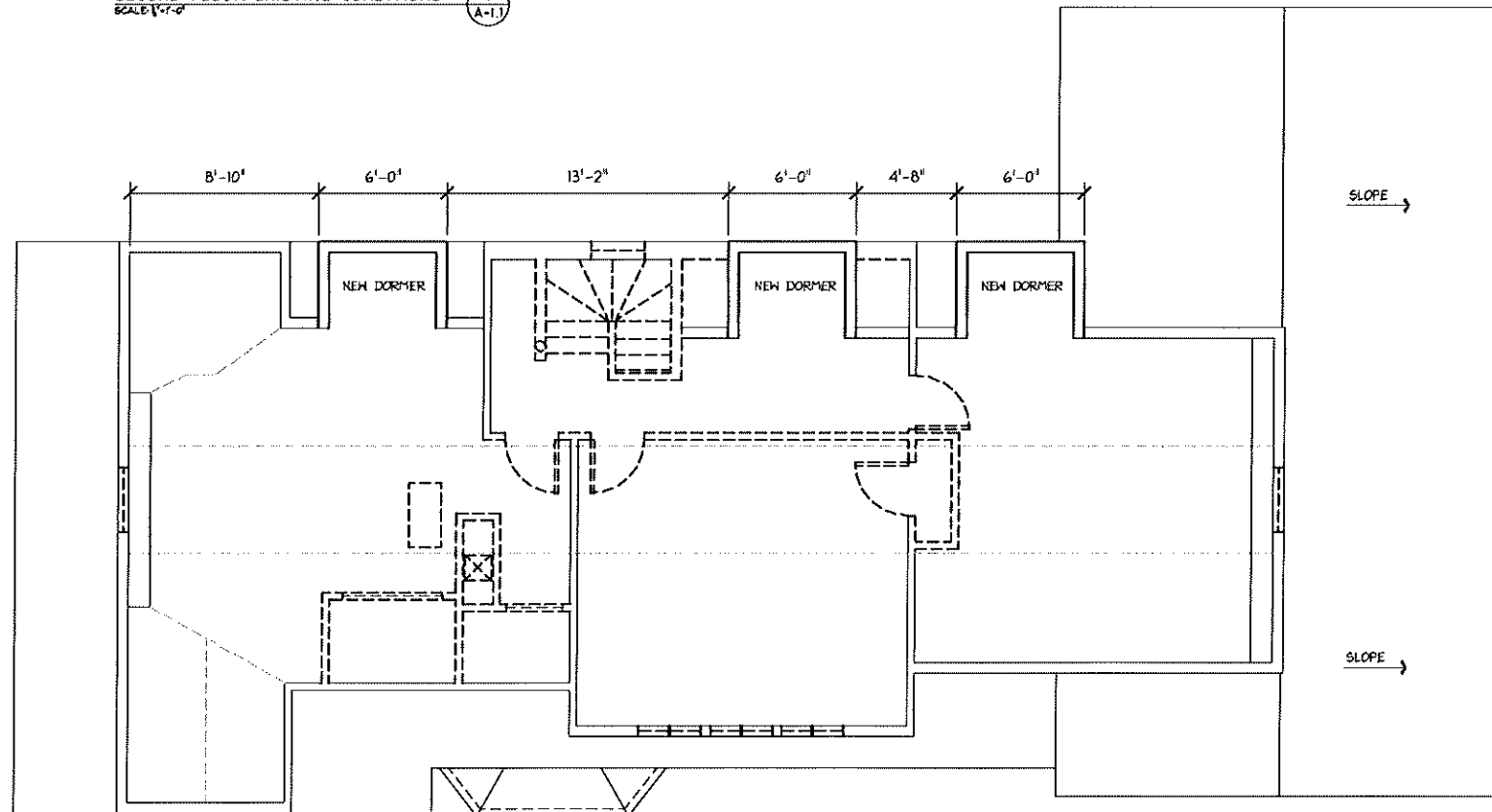
A

1.1



SECOND FLOOR EXISTING CONDITIONS

1
A-11



SECOND FLOOR DEMOLITION PLAN

2
A-11



**AVANTGARDE
DESIGN GROUP**
Residential Design

50 DUNNELL LANE, BOX 11
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TEL: (401) 395-5400
E-MAIL: arlotti@avantgardegroup.com

REVISION

No.	DESCRIPTION	DATE

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For
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Residence

Plat # 39 Lot # 187
Zone: R-1

Lloyd Avenue &
349 Wayland Avenue
Providence - R.I.

Title:

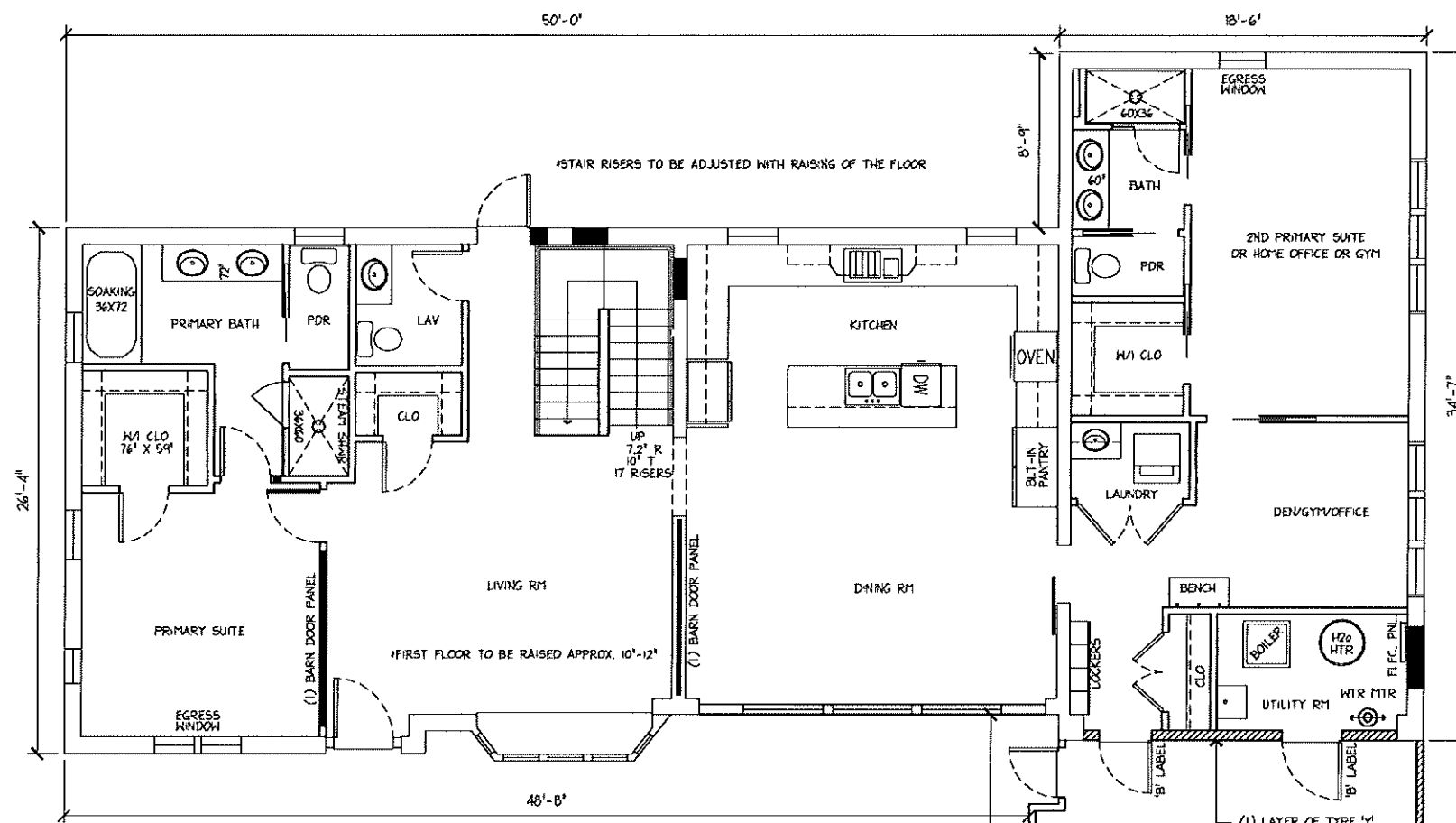
PROPOSED
FIRST FLOOR
CONSTRUCTION
LAYOUT PLAN &
GARAGE PLANS

Issued For Permitting

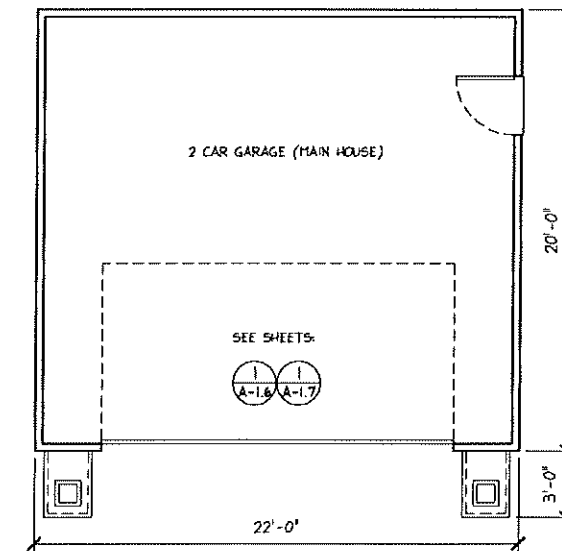
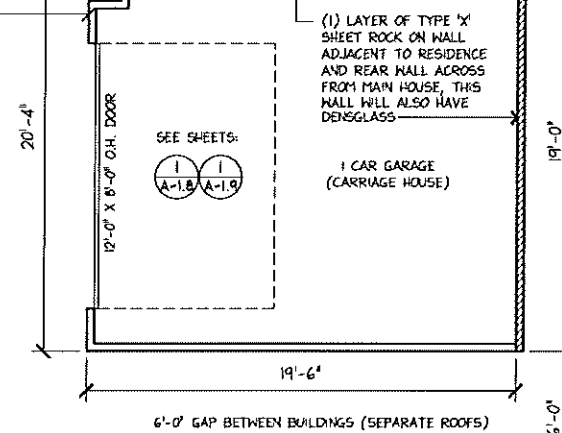
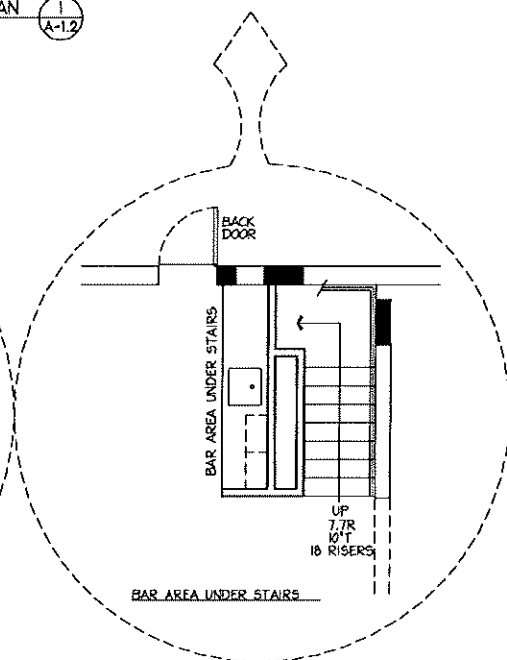
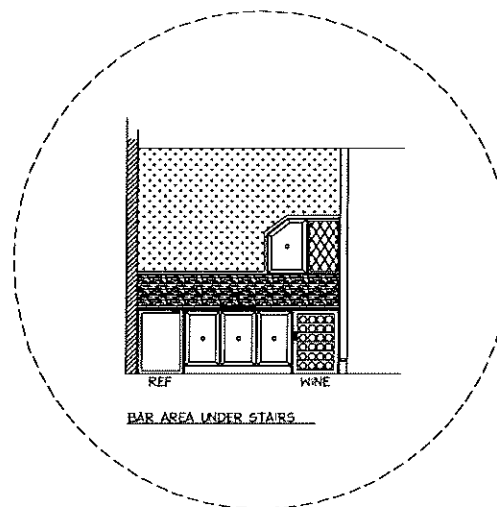
August 22, 2024

Dsgn By: S.R.	Scale: 1/8"=1'-0"
Chk. By: S.R.	Date: 04/01/24
Drwn By: S.R.	Proj. #:

A
1.2



PROPOSED FIRST FLOOR LAYOUT PLAN
SCALE: 1/8"=1'-0" (A-1.2)





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50 Dunneil Lane, Box 11
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E-Mail: arfcci@avantgardedesign.com

REVISION

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Plat # 39 Lot # 187
Zone: R-1

Lloyd Avenue &
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Providence ~ R.I.

Title:

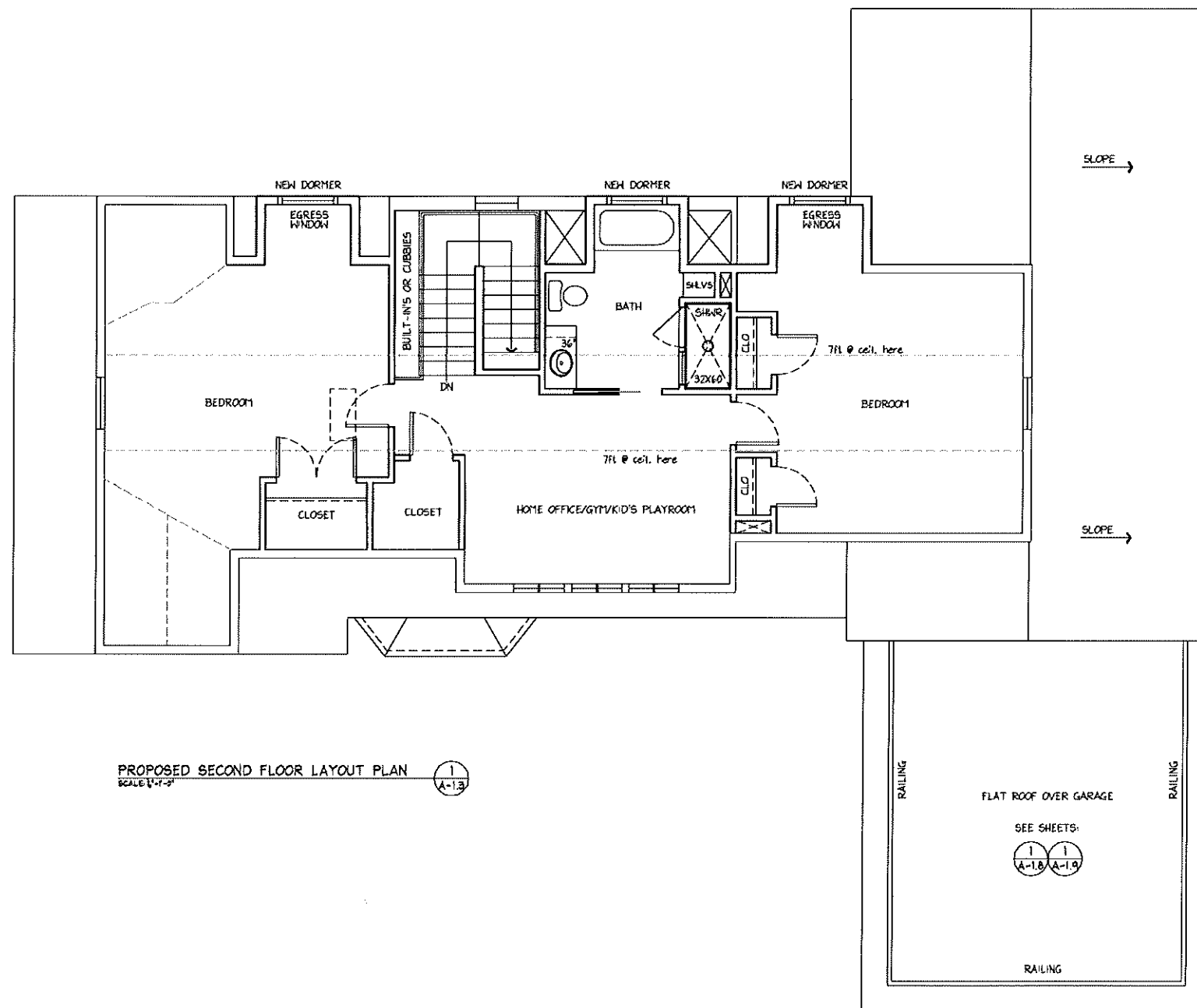
PROPOSED
SECOND FLOOR
CONSTRUCTION
LAYOUT PLAN &
GARAGE ROOF(S)

Issued For Permitting

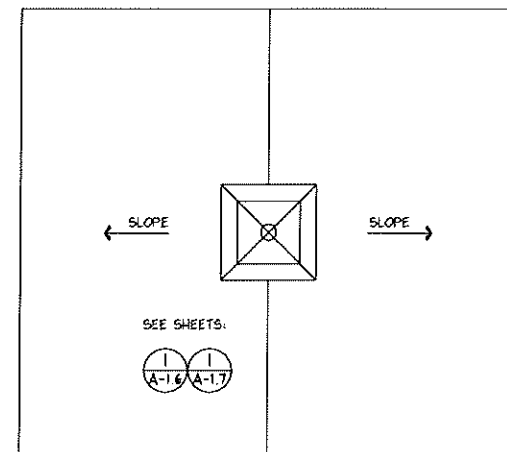
August 22, 2024

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Chk. By: S.R.	Date: 04/01/24
Drwn By: S.R.	Proj. #:

A
1.3



PROPOSED SECOND FLOOR LAYOUT PLAN
SCALE 1/8"=1'-0" (A-1.3)





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50 DUNNELL LANE, BOX 11
PAWTUCKET, RI 02889
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REVISION

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Residence

Plat # 39 Lot # 187
Zone: R-1

Lloyd Avenue &
349 Wayland Avenue
Providence ~ R.I.

Title:

PROPOSED FIRST
& SECOND FLOOR
LAYOUT PLANS

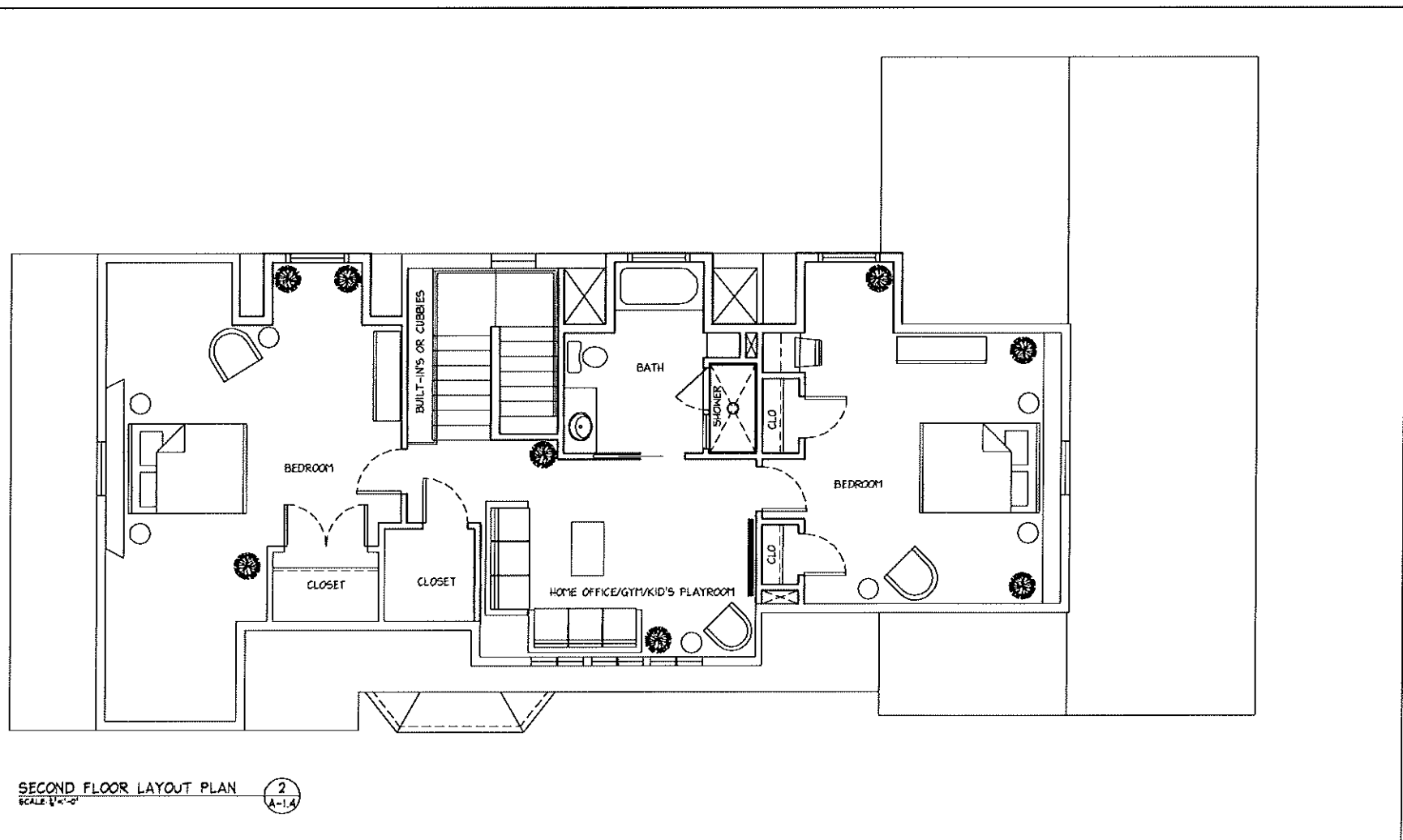
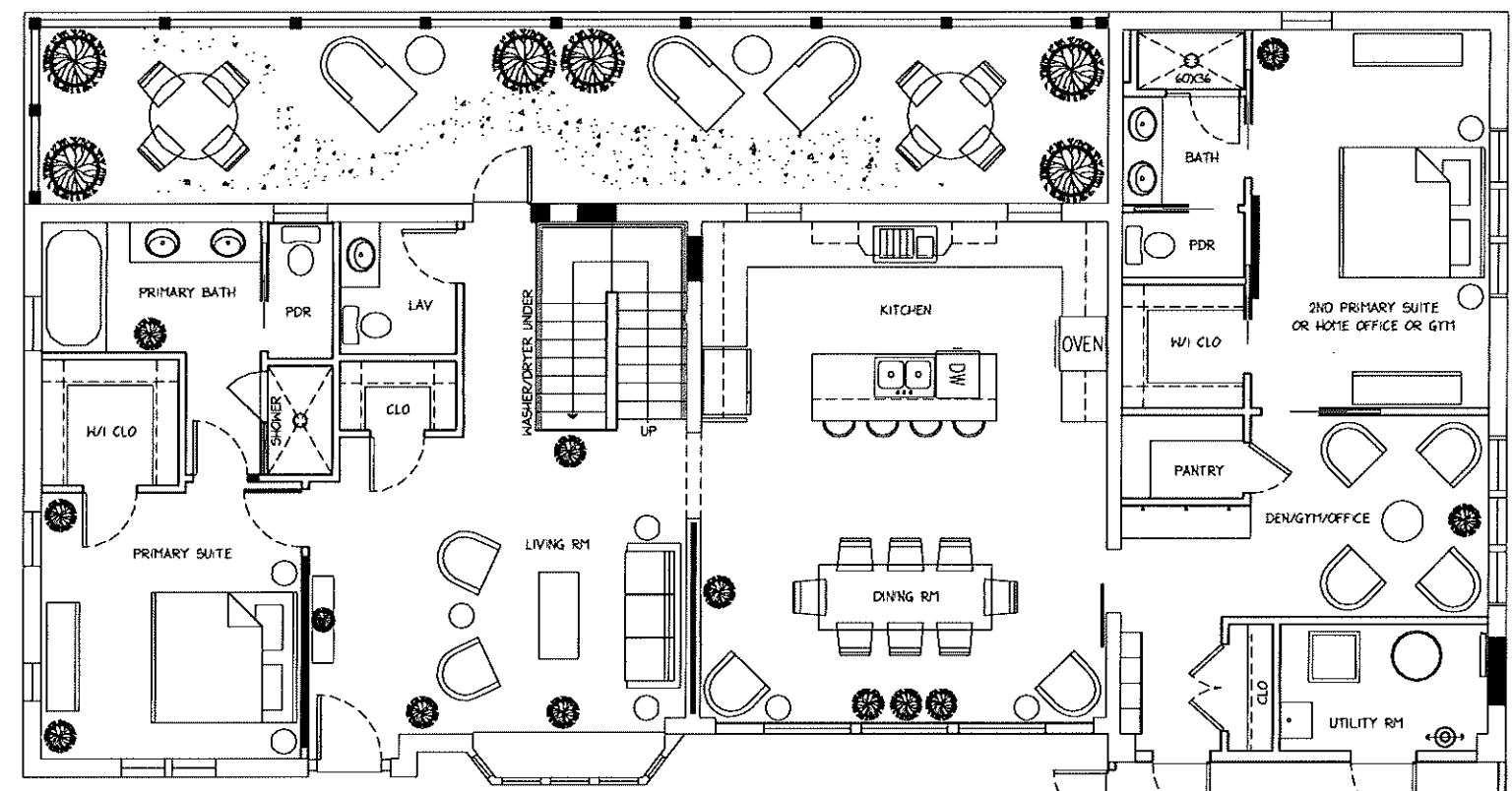
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August 22, 2024

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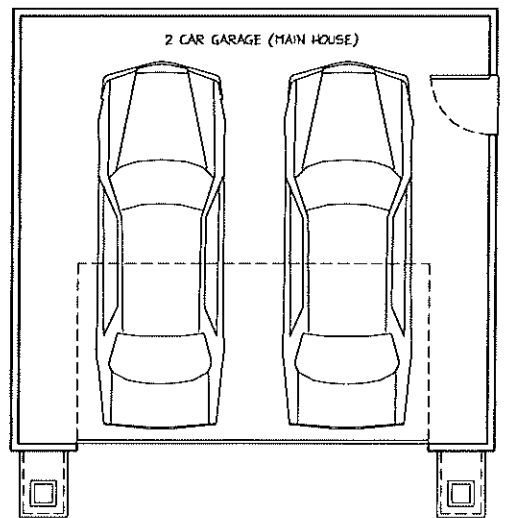
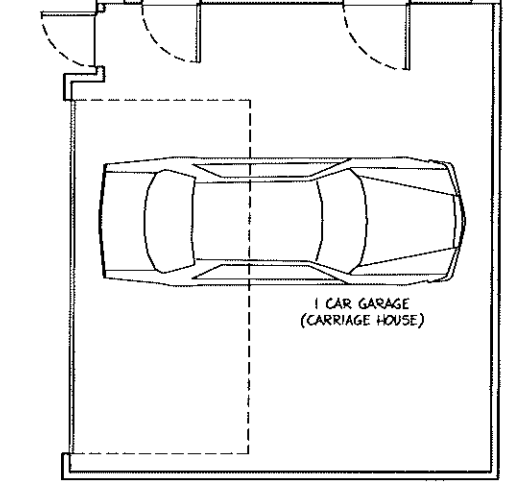
A
1.4

1,723 SQ. FT. FIRST FLOOR
1,000 SQ. FT. SECOND FLOOR
2,723 SQ. FT. TOTAL LIVING SPACE

FIRST FLOOR LAYOUT PLAN
SCALE: 1/4"=1'-0" A-1.1



SECOND FLOOR LAYOUT PLAN
SCALE: 1/4"=1'-0" 2
A-1.2





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Residence**

Plat # 39 Lot # 187
Zone: R-1

Lloyd Avenue &
349 Wayland Avenue
Providence ~ R.I.

Title:

**FOUNDATION PLAN,
FLOOR PLAN, ROOF
PLAN, ROOF TRUSS
LAYOUT PLAN &
DETAILS**

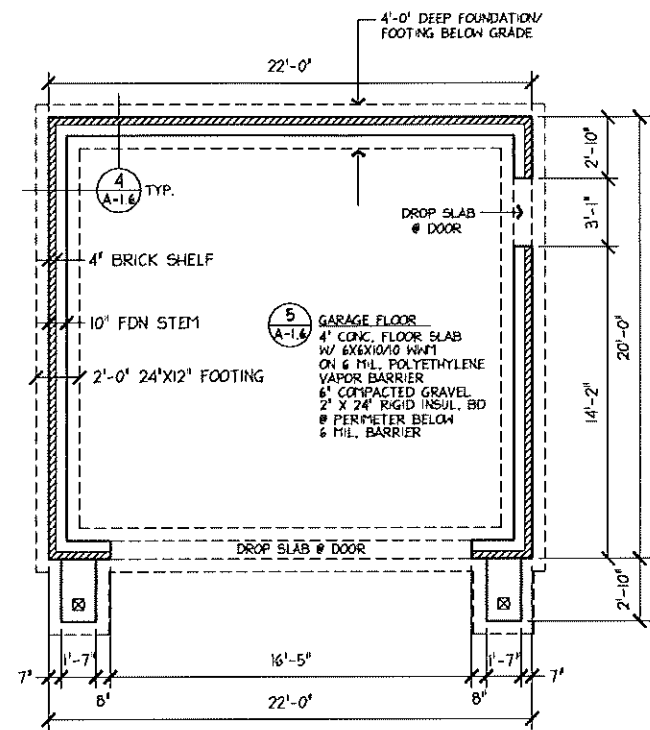
MAIN HOUSE GARAGE PLANS

Issued For Permitting

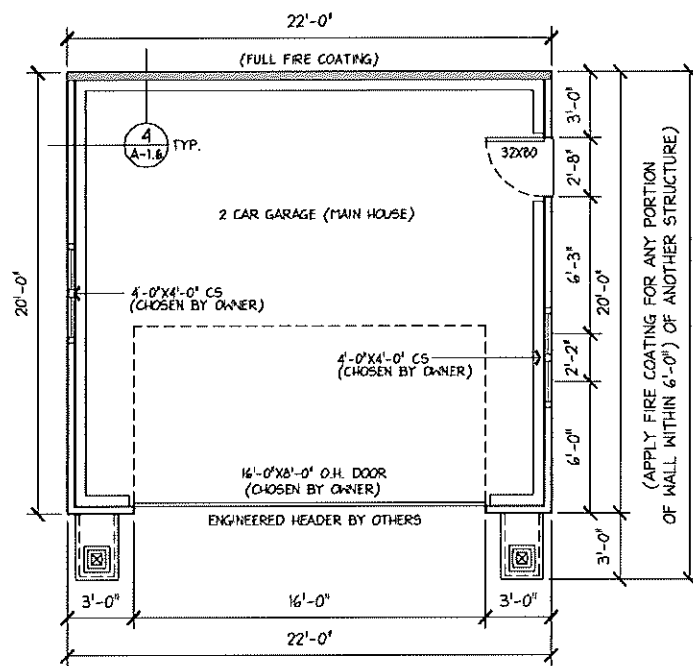
August 22, 2024

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Chk. By: S.R.	Date: 04/01/24
Drwn By: S.R.	Proj. #:

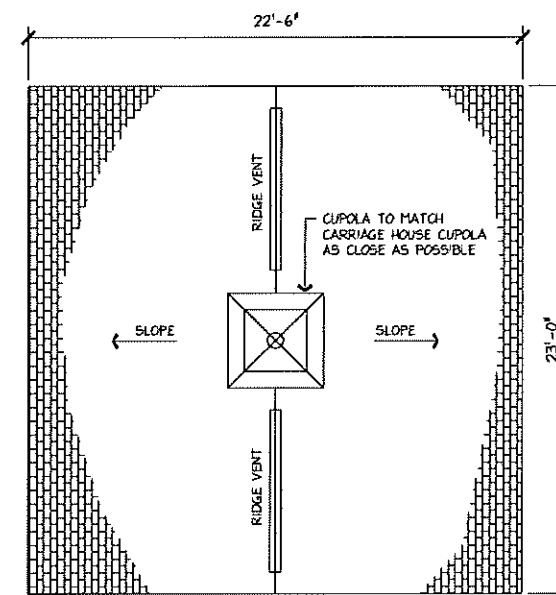
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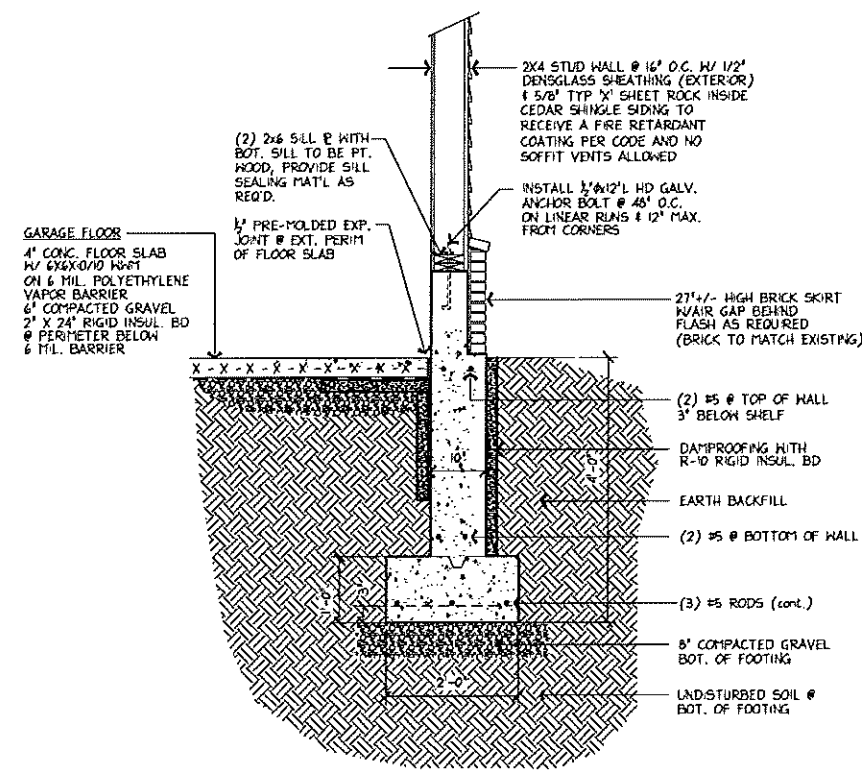
MAIN HOUSE GARAGE FOUNDATION PLAN (1)
SCALE: 1/4"=1'-0"



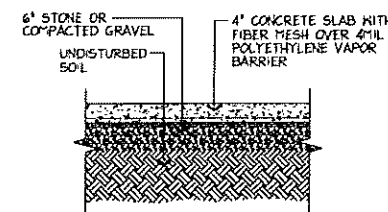
MAIN HOUSE GARAGE LAYOUT PLAN (2)
SCALE: 1/4"=1'-0"



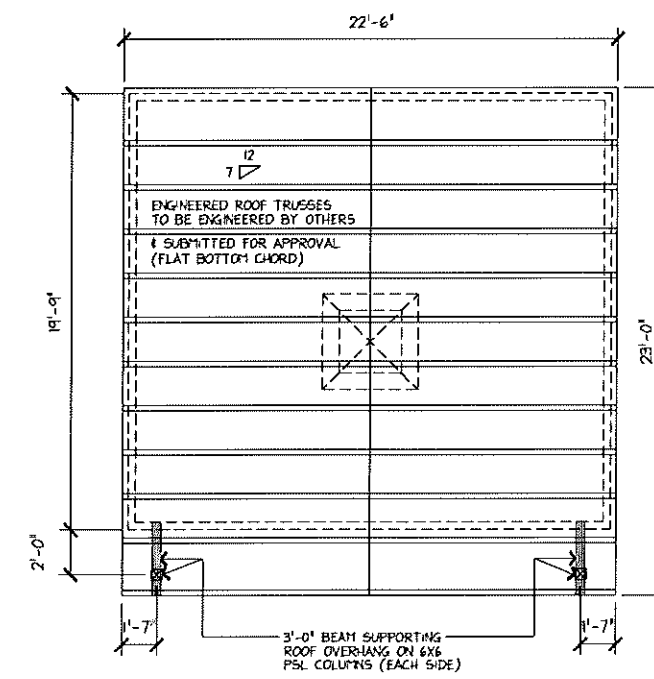
MAIN HOUSE GARAGE ROOF LAYOUT PLAN (3)
SCALE: 1/4"=1'-0"



DETAIL @ BRICK SHELF (4)
SCALE: N.T.S.



DETAIL @ FLOOR SLAB (5)
SCALE: N.T.S.



MAIN HOUSE GARAGE ROOF TRUSS LAYOUT PLAN (5)
SCALE: 1/4"=1'-0"



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Plat # 39 Lot # 187
Zone: R-1

Lloyd Avenue &
349 Wayland Avenue
Providence ~ R.I.

Title:

EXTERIOR ELEVATIONS,
DETAILS &
GENERAL NOTES

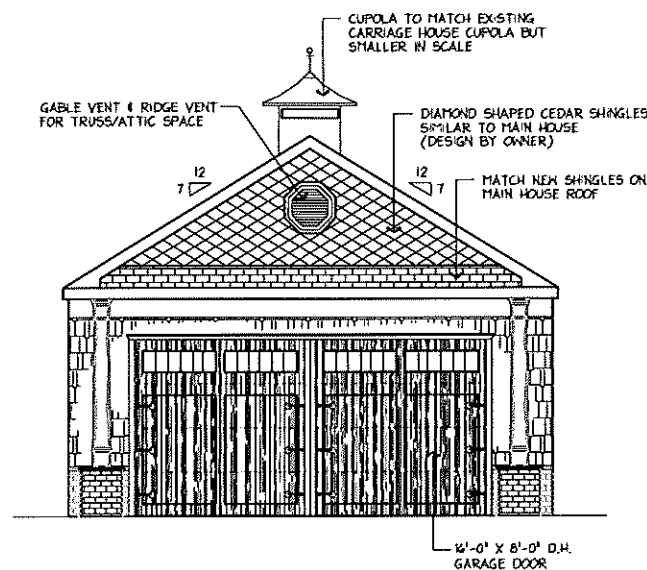
MAIN HOUSE GARAGE PLANS

Issued For Permitting

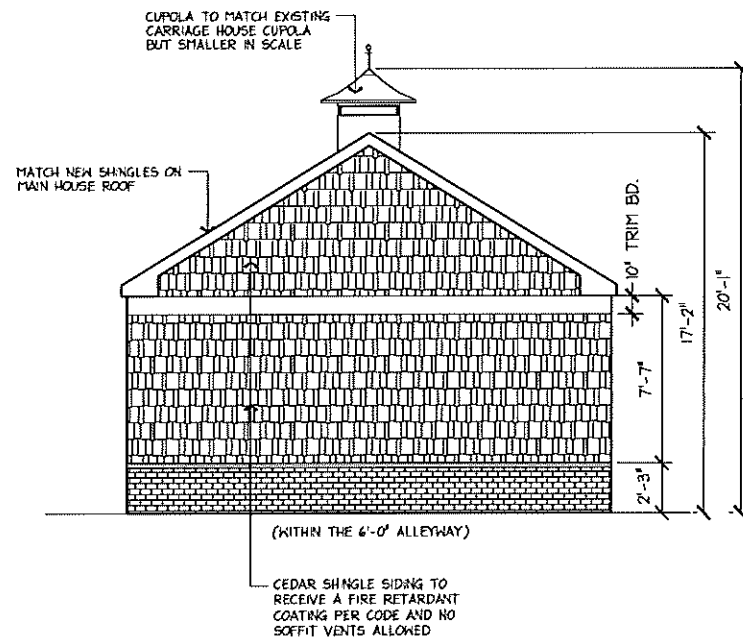
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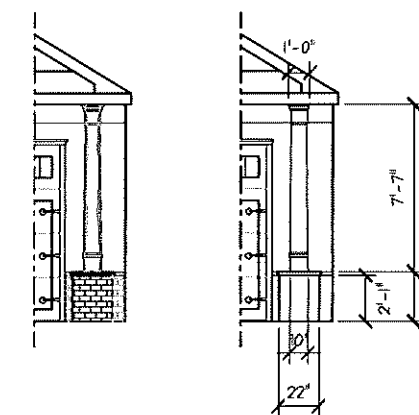
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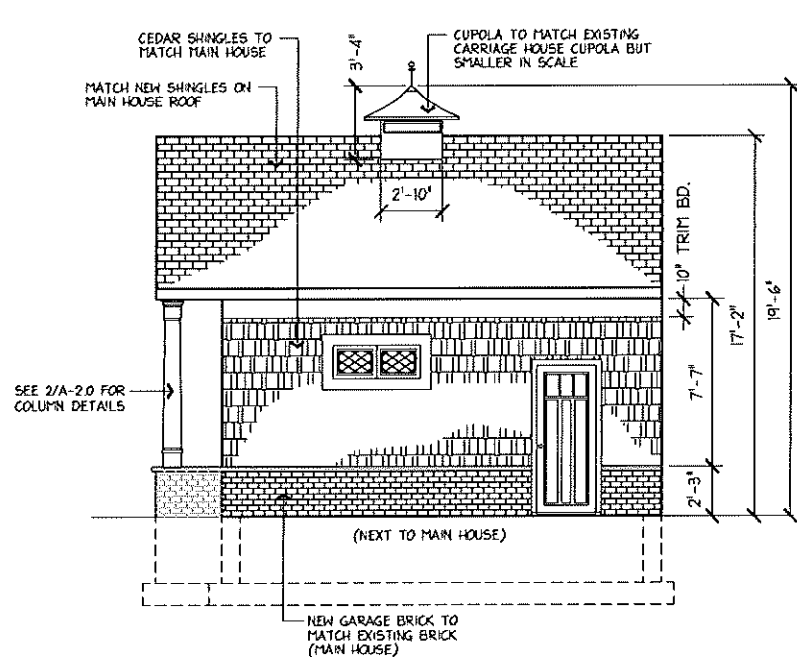
MAIN HOUSE GARAGE (LLOYD AVE ELEVATION) 1
SCALE: 1/4"=1'-0"



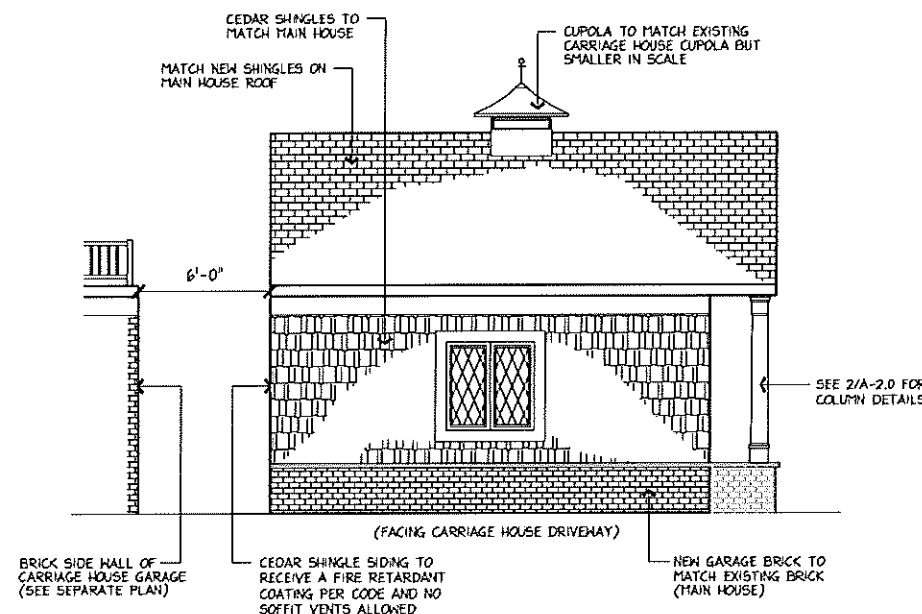
MAIN HOUSE GARAGE (REAR - ALLEYWAY ELEVATION) 2
SCALE: 1/4"=1'-0"



@ FRONT GARAGE



MAIN HOUSE GARAGE (RIGHT SIDE - FACING MAIN HOUSE) 3
SCALE: 1/4"=1'-0"



MAIN HOUSE GARAGE (LEFT SIDE - FACING CARRIAGE HOUSE) 4
SCALE: 1/4"=1'-0"

GENERAL NOTES FOR ALL CONSTRUCTION: (NOTES TO BE APPLIED AS NEEDED/REQUIRED PER PROJECT)

- G.C. (General Contractor) IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS & WORK PRIOR TO CONSTRUCTION & SHALL REPORT ANY DISCREPANCIES TO THE OWNER & DESIGNER IMMEDIATELY.
- ENGINEERED ROOF TRUSSES TO BE DESIGNED & ENGINEERED BY OTHERS. REPORT ANY DISCREPANCIES TO THE OWNER & DESIGNER IMMEDIATELY. ALL ENGINEERED LUMBER TO BE DESIGNED & ENGINEERED BY OTHERS. ENGINEERED DESIGNS TO BE SUBMITTED FOR APPROVAL/Permitting

DESIGN DATA:

DESIGN LOADS: (MIN.)

ROOF (SNOW) = 30psf L.L. @ 15% DURATION, 17psf D.L. = 47psf TOTAL LOAD.
FLOOR = 40psf L.L., 20psf D.L. = 60psf TOTAL LOAD.
WALL = 20psf TOTAL LOAD.

- PLYWOOD TO BE STANDARD PSI 'SOFTWOOD PLYWOOD/CONSTRUCTION & INDUSTRIAL'. ALL SHEATHING SHALL BE SECURED TO FRAMING IN ACCORDANCE TO THE LATEST EDITION OF THE INTERNATIONAL RESIDENTIAL BUILDING CODE. REFER TO TABLE R602.3(1) & TABLE R602.3(2).
- FLOOR, ROOF & STAIR LUMBER TO HAVE E=1,400,000; Fb=1,200 PSI (MIN.) ROOF SHEATHING TO BE C-D/INT-APA WITH EXTERIOR GLUE WALL SHEATHING TO BE C-D/INT-APA WITH EXTERIOR GLUE PLYWOOD T&G SUBFLOORING TO BE C-D/INT-APA WITH EXTERIOR GLUE
- BUILDING PAPER TO BE ASPHALT SATURATED FELT, 15 LB. TYPE NON-PERFORATED, AS PER ASTM D226

CONCRETE:

- CONCRETE TO BE 3,000 PSI IN 28 DAYS.

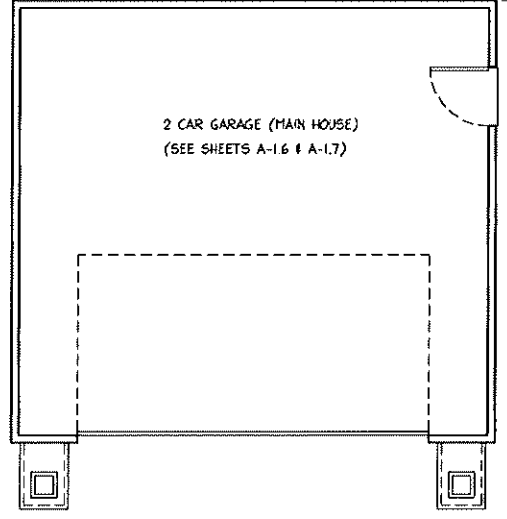
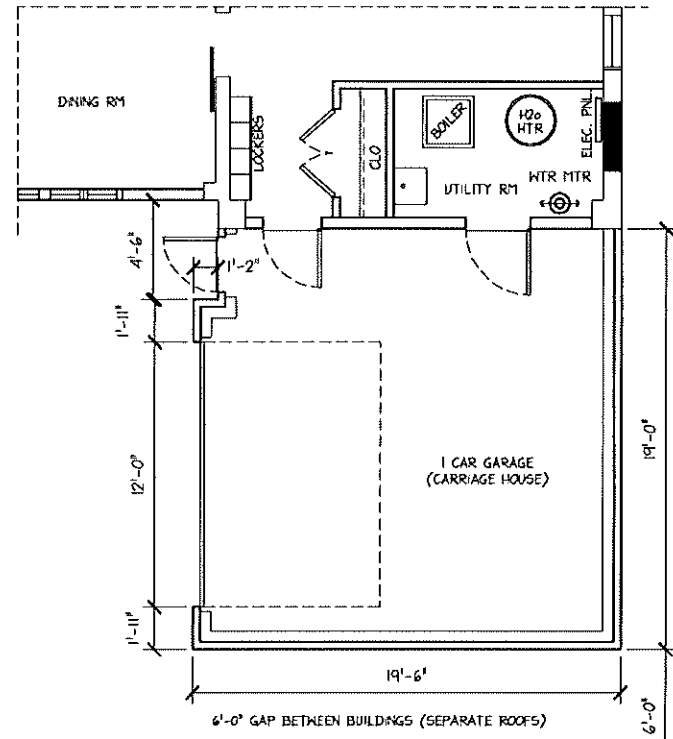
FRAMING:

- USE 6x6 PSL POSTS WITH GALV. 'SIMPSON' BASE & CAPS.
- PROVIDE 'SIMPSON' JOIST HANGERS AND STRAPS AS REQUIRED.

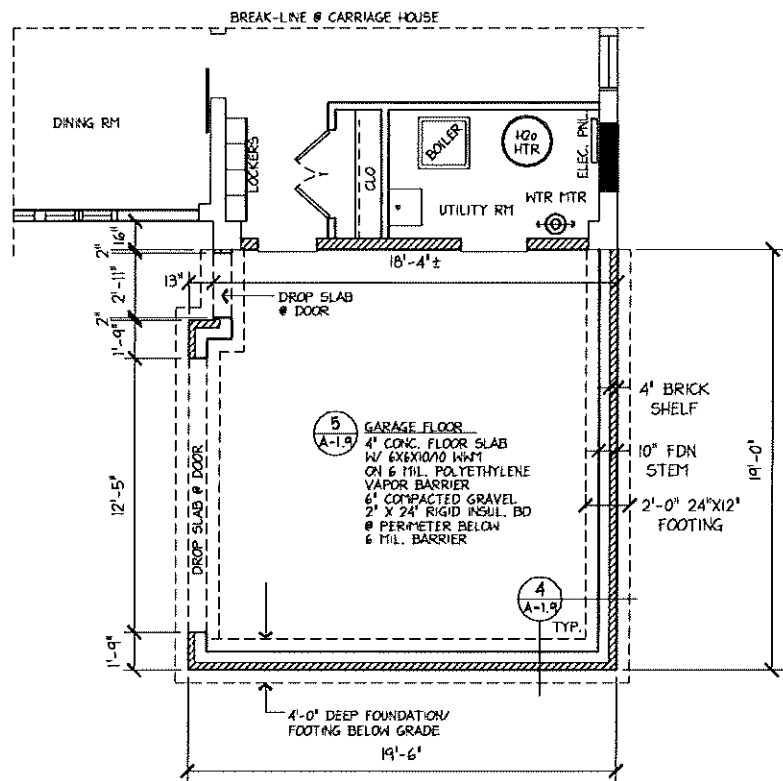
SPECIFICATIONS:

GUTTERS & CONDUCTORS

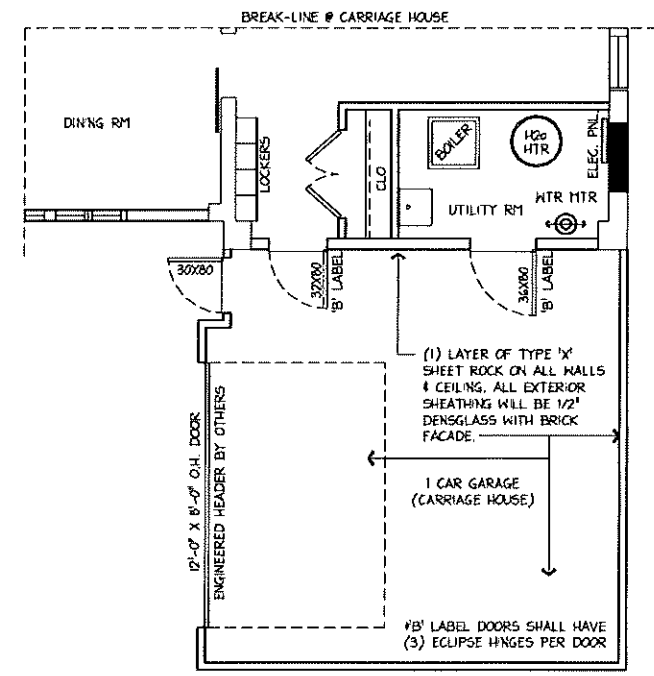
- .032 COLORED ALUMINUM SEAMLESS GUTTERS TO BE 4"x6".
- .032 COLORED ALUMINUM CONDUCTORS (DOWN SPOUTS) TO BE 3"x4" W/ RIVETED CONNECTIONS.



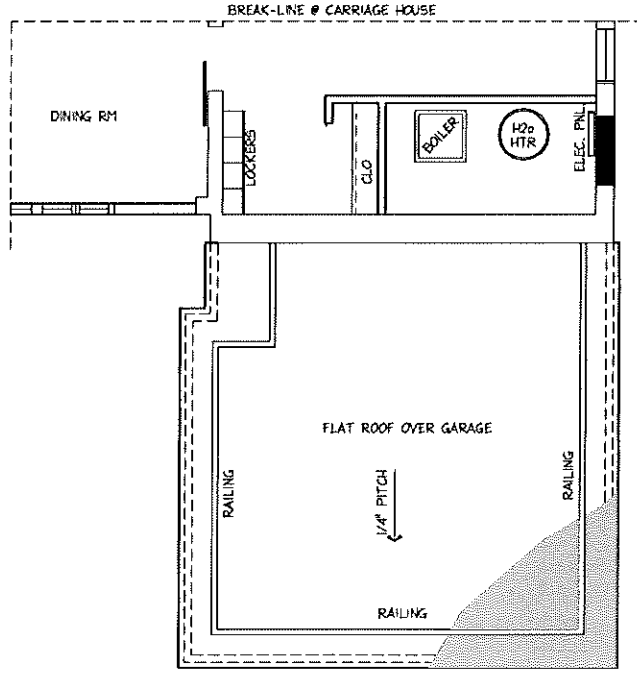
CARRIAGE HOUSE LOCATION PLAN
SCALE: 1/4"=1'-0" (1) A-1.8



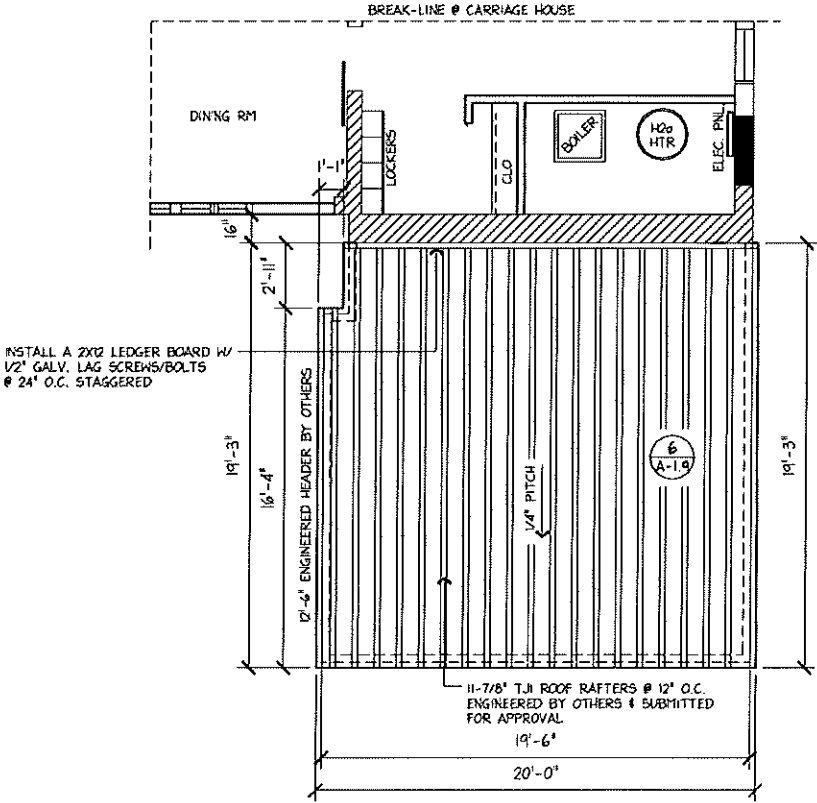
CARRIAGE HOUSE GARAGE FOUNDATION PLAN
SCALE: 1/4"=1'-0" (2) A-1.8



CARRIAGE HOUSE GARAGE LAYOUT PLAN
SCALE: 1/4"=1'-0" (3) A-1.8



CARRIAGE HOUSE GARAGE ROOF LAYOUT PLAN
SCALE: 1/4"=1'-0" (4) A-1.8



CARRIAGE HOUSE GARAGE ROOF FRAMING PLAN
SCALE: 1/4"=1'-0" (5) A-1.8

REVISION		
No.	DESCRIPTION	DATE

Project:
Carrige House Renovations & Garage Additions
For
Lofty Ambitions Residence
Plat # 39 Lot # 187
Zone: R-1
Lloyd Avenue &
349 Wayland Avenue
Providence ~ R.I.

Title:
LOCATION PLAN, FOUNDATION PLAN, GARAGE LAYOUT PLAN, ROOF LAYOUT & FRAMING PLANS

CARRIAGE HOUSE GARAGE PLANS

Issued For Permitting
August 22, 2024
Dsgn By: S.R. Scale: 1/4"=1'-0"
Chk. By: S.R. Date: 04/01/24
Drwn By: S.R. Proj. #:



AVANTGARDE DESIGN GROUP

Residential Design

50 DUNNELL LANE, BOX 11
PAWLUCKET, RI 02883
TEL: (401) 906-5400
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REVISION

No.	DESCRIPTION	DATE

Project:

Carriage House Renovations & Garage Additions
For
Lofty Ambitions
Residence

Plat # 39 Lot # 187
Zone: R-1

Lloyd Avenue &
349 Wayland Avenue
Providence ~ R.I.

Title:

EXTERIOR
ELEVATIONS,
DETAILS, GENERAL
NOTES & BUILDING
SECTION

CARRIAGE HOUSE GARAGE PLANS

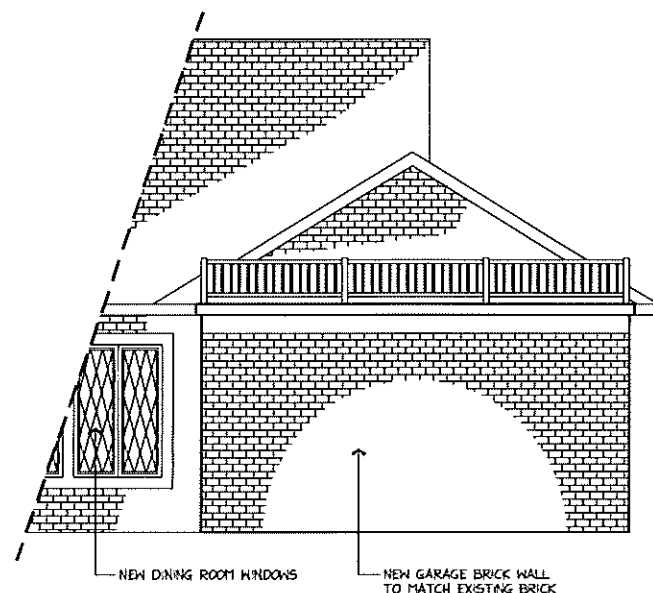
Issued For Permitting

August 22, 2024

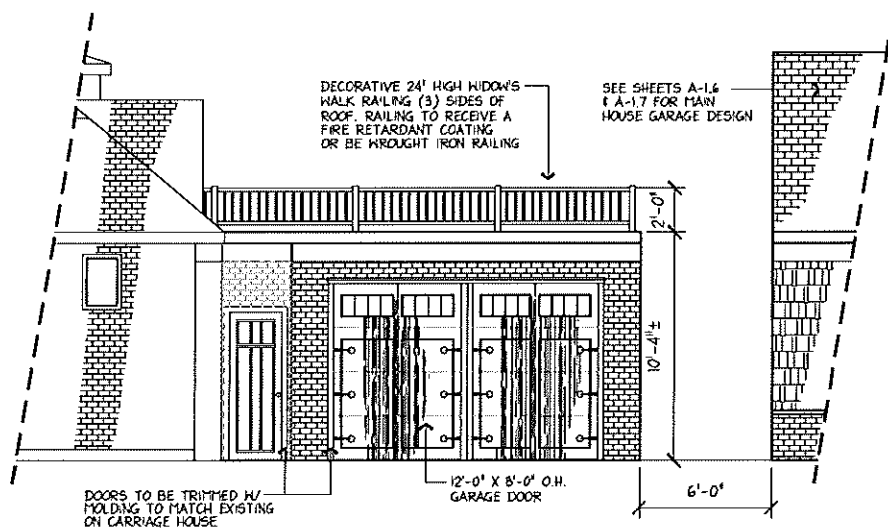
Dsgn By: S.R.	Scale: 1/4"=1'-0"
Chk. By: S.R.	Date: 04/01/24
Drwn By: S.R.	Proj. #:

A 1.9

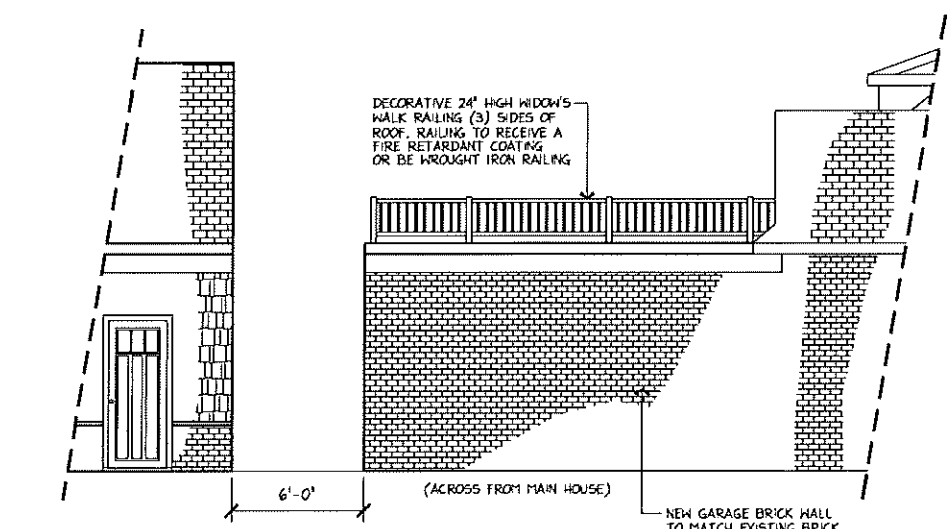
GENERAL FINISH NOTES:
ANY AFFECTED EXISTING BRICK SURFACES TO BE PATCHED/REPAIRED/REPLACED WITH SIMILAR FINISHES
ALL DOORS & WINDOWS TO BE CHOSEN BY OWNER



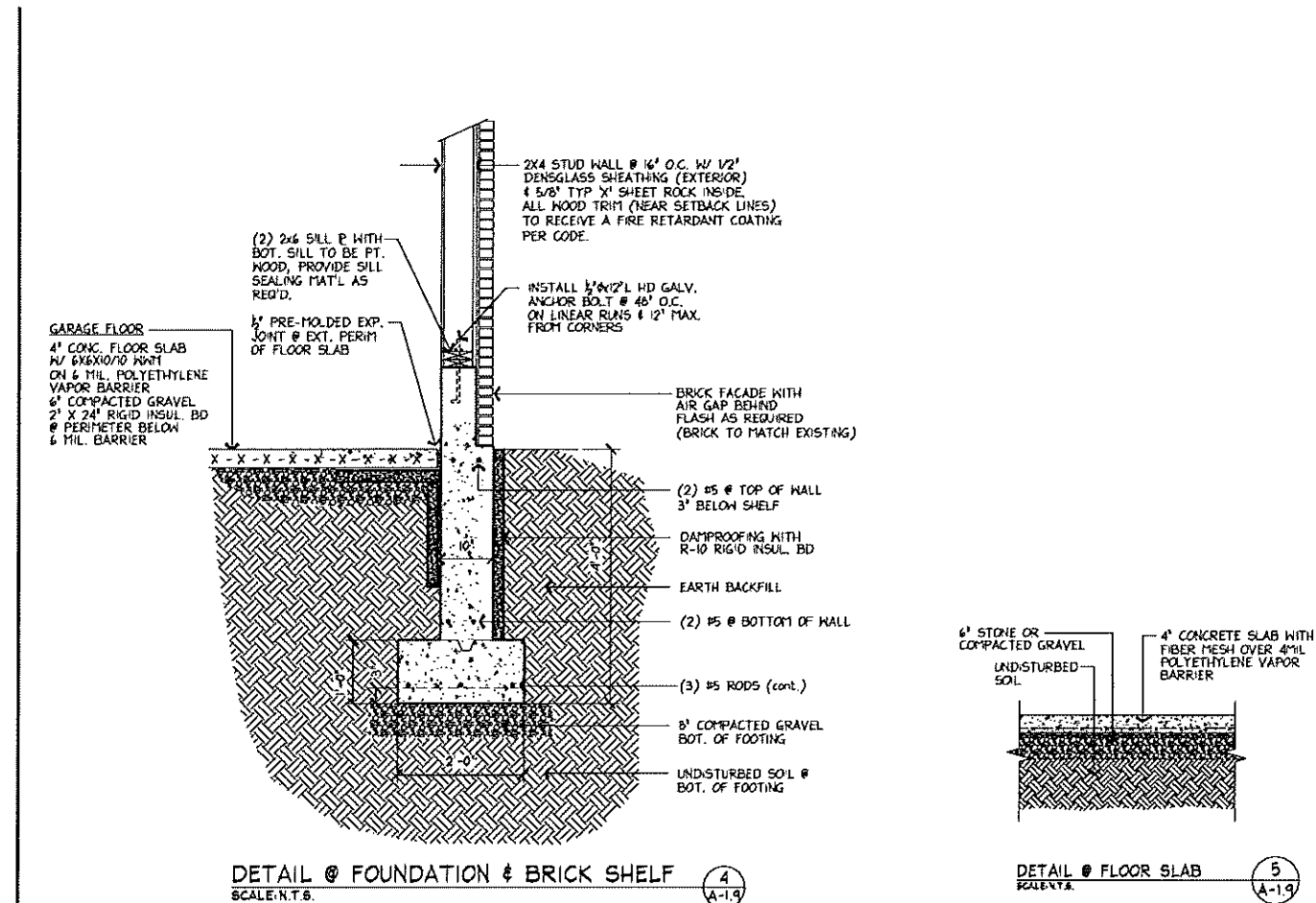
CARRIAGE HOUSE (FRONT W/GARAGE ONLY) 1 A-1.9
SCALE: 1/4"=1'-0"



CARRIAGE HOUSE (LEFT SIDE ELEVATION) 2 A-1.9
SCALE: 1/4"=1'-0"



CARRIAGE HOUSE (RIGHT SIDE ELEVATION) 3 A-1.9
SCALE: 1/4"=1'-0"



DETAIL @ FOUNDATION & BRICK SHELF 4 A-1.9
SCALE: N.T.S.

DETAIL @ FLOOR SLAB 5 A-1.9
SCALE: N.T.S.

GENERAL NOTES FOR ALL CONSTRUCTION:

(NOTES TO BE APPLIED AS NEEDED/REQUIRED PER PROJECT)

- G.C. (General Contractor) IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS & MARK PRIOR TO CONSTRUCTION & SHALL REPORT ANY DISCREPANCIES TO THE OWNER & DESIGNER IMMEDIATELY.
- ENGINEERED ROOF TRUSSES TO BE DESIGNED & ENGINEERED BY OTHERS. REPORT ANY DISCREPANCIES TO THE OWNER & DESIGNER IMMEDIATELY. ALL ENGINEERED LUMBER TO BE DESIGNED & ENGINEERED BY OTHERS. ENGINEERED DESIGNS TO BE SUBMITTED FOR APPROVAL/PERMITTING.

DESIGN DATA:

DESIGN LOADS: (MIN.)

ROOF (SNOW) = 30psf L.L., 115% DURATION, 17psf D.L. = 47psf TOTAL LOAD.
FLOOR = 40psf L.L., 20psf D.L. = 60psf TOTAL LOAD.
WALL = 20psf TOTAL LOAD.

- PLYWOOD TO BE STANDARD PSI 'SOFTWOOD PLYWOOD/CONSTRUCTION & INDUSTRIAL'. ALL SHEATHING SHALL BE SECURED TO FRAMING IN ACCORDANCE TO THE LATEST EDITION OF THE INTERNATIONAL RESIDENTIAL BUILDING CODE. REFER TO TABLE R602.3(1) & TABLE R602.3(2).
- FLOOR, ROOF & STAIR LUMBER TO HAVE E=1,400,000; Fb=1,200 PSI (MIN.) ROOF SHEATHING TO BE C-D/INT-APA WITH EXTERIOR GLUE WALL SHEATHING TO BE C-D/INT-APA WITH EXTERIOR GLUE PLYWOOD T&G SUBFLOORING TO BE C-D/INT-APA WITH EXTERIOR GLUE
- BUILDING PAPER TO BE ASPHALT SATURATED FELT, 15 LB. TYPE NON-PERFORATED, AS PER ASTM D226

CONCRETE:

- CONCRETE TO BE 3,000 PSI IN 28 DAYS.

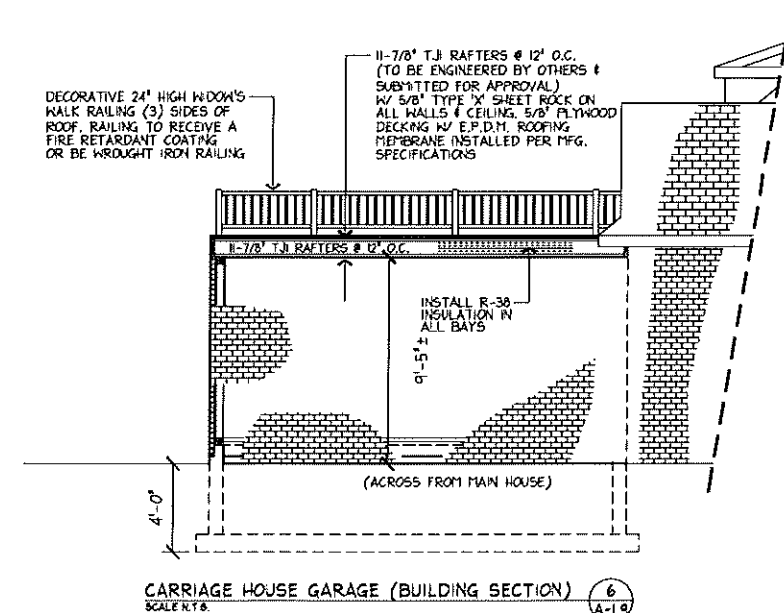
FRAMING:

- USE 6x6 PSL POSTS WITH GALV. 'SIMPSON' BASE & CAPS.
- PROVIDE 'SIMPSON' JOIST HANGERS AND STRAPS AS REQUIRED.

SPECIFICATIONS:

GUTTERS & CONDUCTORS

- .032 COLORED ALUMINUM SEAMLESS GUTTERS TO BE 4"x6".
- .032 COLORED ALUMINUM CONDUCTORS (DOWN SPOUTS) TO BE 3"x4" W/ RIVETED CONNECTIONS.



CARRIAGE HOUSE GARAGE (BUILDING SECTION) 6 A-1.9
SCALE: N.T.S.



**AVANTGARDE
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Residential Design

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Pawtucket, RI 02860
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REVISION

No.	DESCRIPTION	DATE

Project:

**Carriage House Renovations &
Garage Additions
For
Lofty Ambitions
Residence**

Plat # 39 Lot # 187
Zone: R-1

Lloyd Avenue &
349 Wayland Avenue
Providence ~ R.I.

Title:

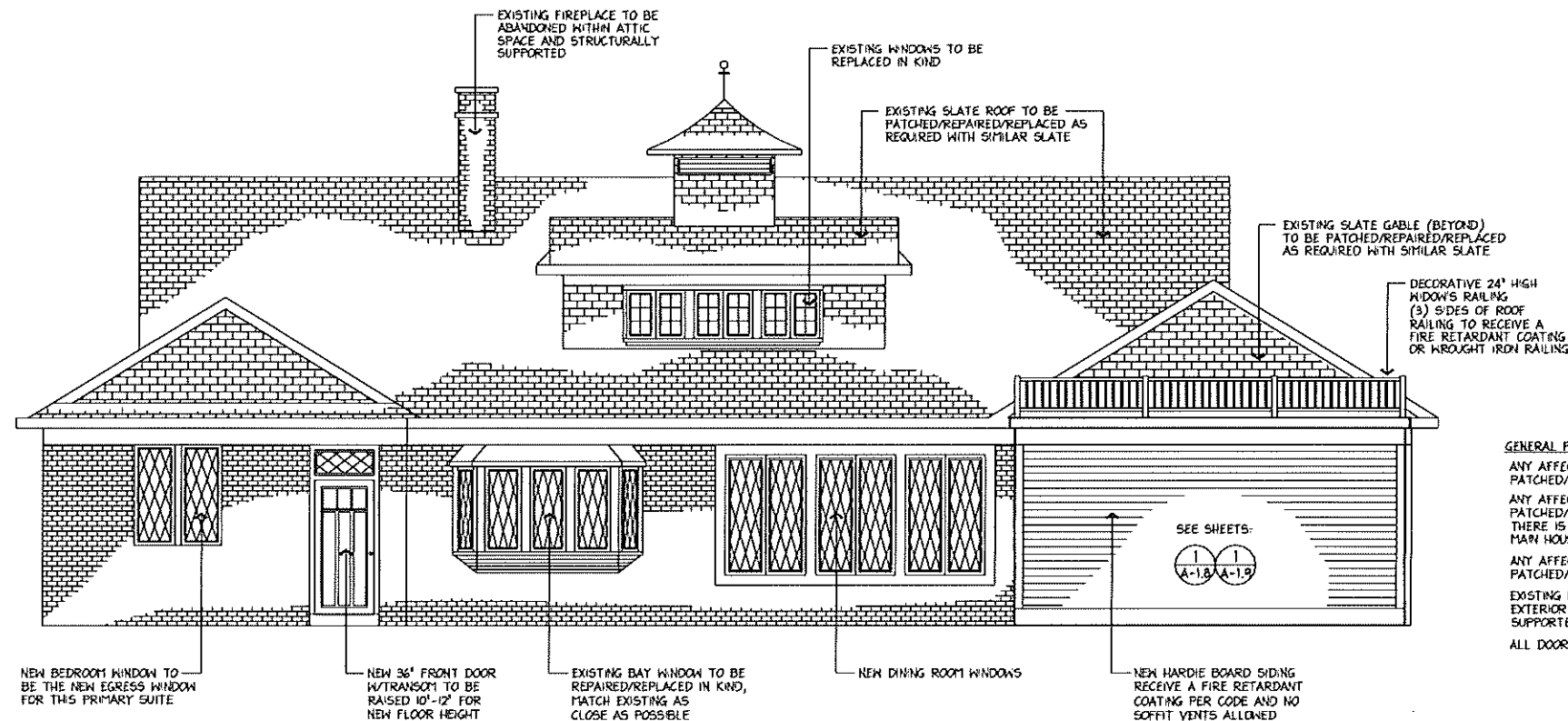
**EXTERIOR
ELEVATIONS**

Issued For Permitting

August 22, 2024

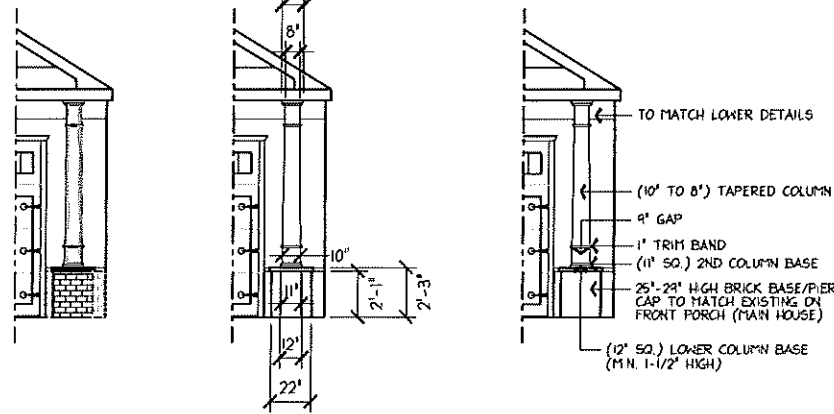
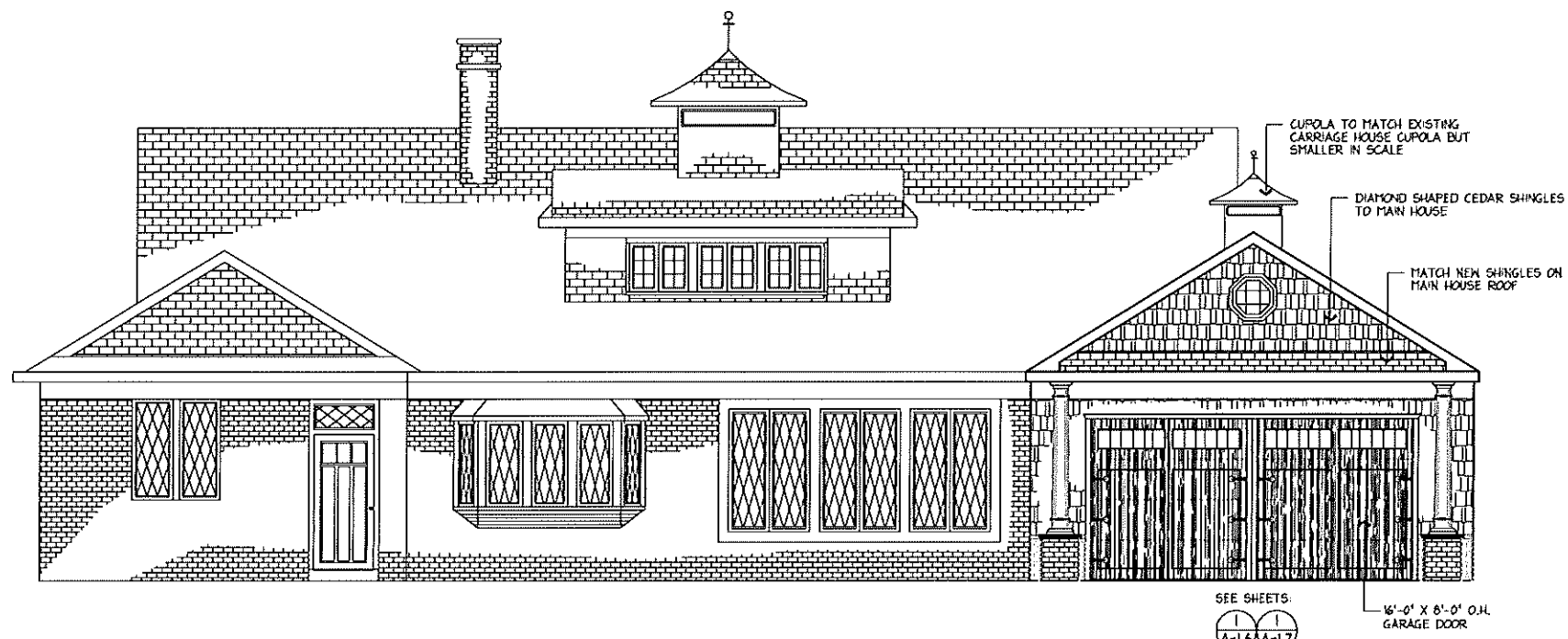
Dsgn By: S.R.	Scale: 1/8"=1'-0"
Chk. By: S.R.	Date: 04/01/24
Drwn By: S.R.	Proj. #:

**A
2.0**



GENERAL FINISH NOTES:
 ANY AFFECTED EXISTING BRICK SURFACES TO BE PATCHED/REPAIRED/REPLACED WITH SIMILAR FINISHES
 ANY AFFECTED EXISTING SLATE SIDING SURFACES TO BE PATCHED/REPAIRED/REPLACED WITH SIMILAR FINISHES
 THERE IS AN ABUNDANCE OF EXTRA SLATE FROM THE MAIN HOUSE RENOVATION
 ANY AFFECTED EXISTING WOOD TRIM SURFACES TO BE PATCHED/REPAIRED/REPLACED WITH SIMILAR FINISHES
 EXISTING MAIN CHIMNEY TO BE LEFT EXPOSED ON THE EXTERIOR OF THE ROOF AND TO BE CUT OFF AND SUPPORTED AT THE FLOOR LEVEL ON THE SECOND FLOOR
 ALL DOORS & WINDOWS TO BE CHOSEN BY OWNER

CARRIAGE HOUSE (FRONT W/GARAGE ONLY) 1
SCALE: 1/4"=1'-0"



@ FRONT GARAGE

CARRIAGE HOUSE (FRONT W/FRONT-GARAGE ELEVATION) 2
SCALE: 1/4"=1'-0"

MAIN HOUSE GARAGE ELEVATION (SEE COLUMN DETAILS)



**AVANTGARDE
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REVISION

No.	DESCRIPTION	DATE

Project:

Carriage House Renovations &
Garage Additions
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Residence

Plat # 39 Lot # 187
Zone: R-1

Lloyd Avenue &
349 Wayland Avenue
Providence ~ R.I.

Title:

EXTERIOR
ELEVATIONS

Issued For Permitting

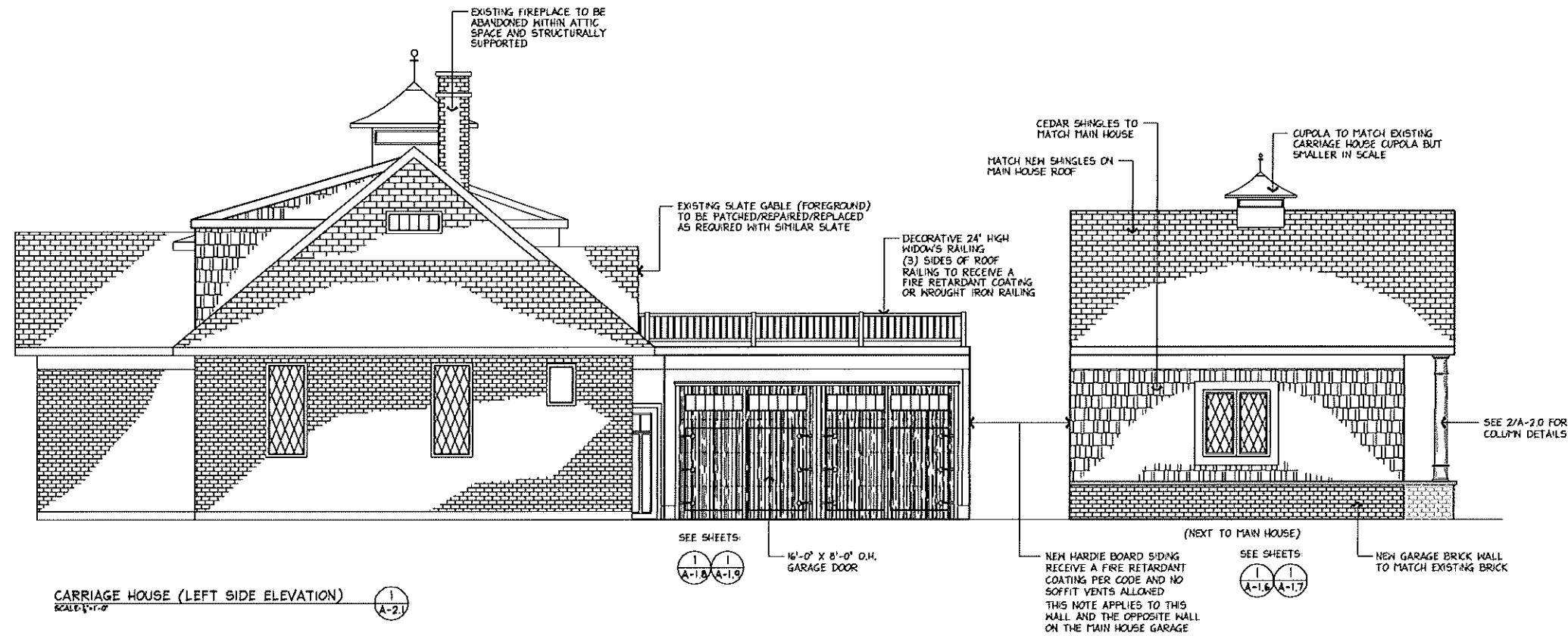
August 22, 2024

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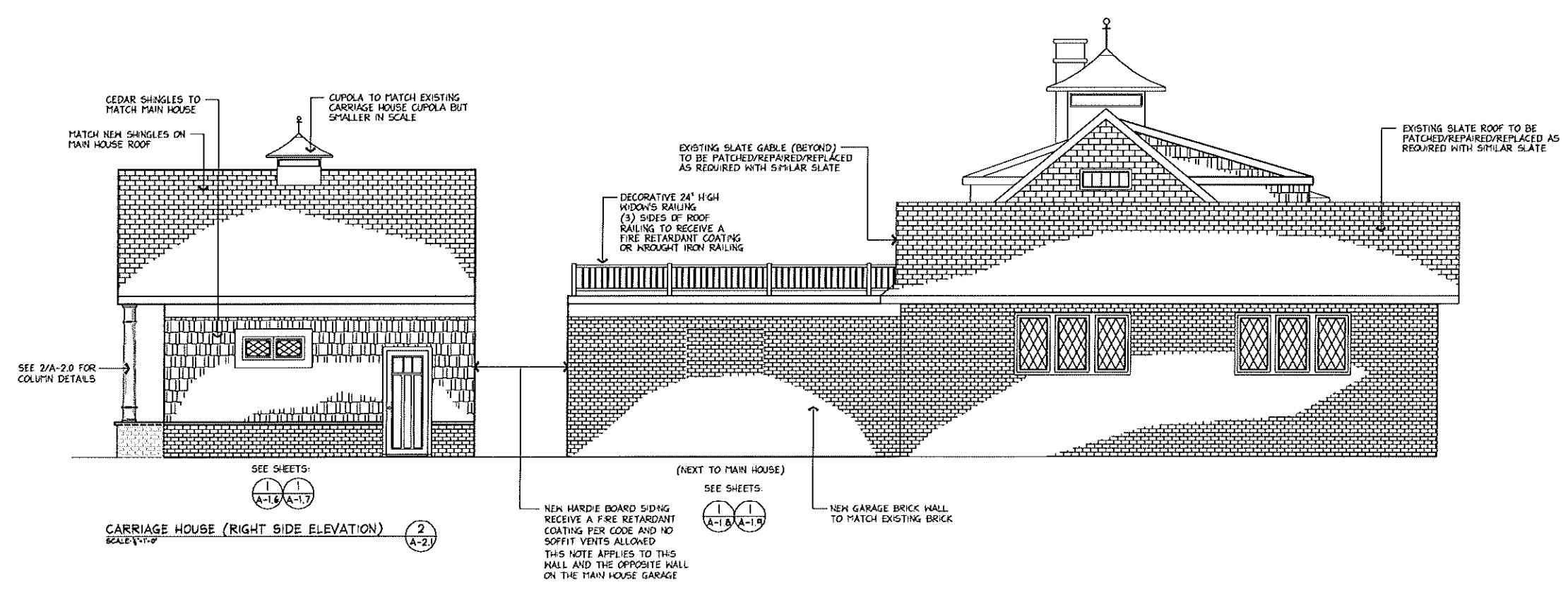
Chk. By: S.R. Date: 04/01/24

Drwn By: S.R. Proj. #:

A
2.1



CARRIAGE HOUSE (LEFT SIDE ELEVATION)
SCALE: 1/8"=1'-0"



CARRIAGE HOUSE (RIGHT SIDE ELEVATION)
SCALE: 1/8"=1'-0"



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REVISION

No.	DESCRIPTION	DATE

Project:

Carriage House Renovations &
Garage Additions
For
Lofty Ambitions
Residence

Plat # 39 Lot # 187
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Providence ~ R.I.

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2.2

