

MAR 31 2025

CITY OF PROVIDENCE  
BUILDING BOARD OF REVIEW

APPLICATION APPEALING THE DECISION OF THE BUILDING OFFICIAL, OR  
FOR A VARIATION OR MODIFICATION FROM CERTAIN SECTIONS OF THE RI STATE BUILDING CODE

Check Type of Building Board Application:

- Variance – variation from, or modification of, certain sections of the RI State Building Code
- Appeal of a decision of the Building Official

*If a section of the application is not applicable, please indicate this by using N/A in that field.*

Applicant: James Moore Applicant Mailing Address  
 Email: jcmoore@providenceri.gov Street: 444 Westminster  
 Phone: 680-5777 City, State, Zip: \_\_\_\_\_

Owner: Vincent Mann Owner Mailing Address  
 Email: vmann@kyltiff.com Street: 1 Custom House St  
 Phone: 401-440-4807 City, State, Zip: Providence, RI 02903

Appellant: \_\_\_\_\_ Appellant Mailing Address  
 Email: \_\_\_\_\_ Street: \_\_\_\_\_  
 Phone: \_\_\_\_\_ City, State, Zip: \_\_\_\_\_

Attorney: \_\_\_\_\_ Attorney Mailing Address  
 Email: \_\_\_\_\_ Street: \_\_\_\_\_  
 Phone: \_\_\_\_\_ City, State, Zip: \_\_\_\_\_

1. Subject Department of inspection + Standards Permit Number: BLDG-24-599
2. Street Address of Subject Property: 359 Willard Ave  
 Assessor's Plat and Lot Numbers of Subject Property: 045-0324-0000
3. Base Zoning District(s): R-3  
 Overlay District(s): \_\_\_\_\_

4. Date owner purchased the Property: 1-17-2024

5. Building construction type(s): R-2/V-B

6. Dimensions of each lot:

Lot # <u>324</u>	Width <u>40</u>	Depth <u>95</u>	Total area <u>3951</u> sq. ft.
Lot # _____	Width _____	Depth _____	Total area _____ sq. ft.

7. Size of existing structure(s) located on the Property:

<u>Principal Structure:</u>	<u>Accessory Structure:</u>
Area of Footprint <u>1344</u>	Area of Footprint <u>0</u>
Overall Height <u>34'10"</u>	Overall Height <u>0</u>
# of Stories <u>3</u>	# of Stories <u>0</u>

8. Size of proposed structure(s) located on the Property:

<u>Principal Structure:</u>	<u>Accessory Structure:</u>
Area of Footprint _____	Area of Footprint _____
Overall Height _____	Overall Height _____
# of Stories _____	# of Stories _____

9. Present Legal Zoning Use of the Property: R-3

10. Proposed Zoning Use of the Property: R-3

11. Number of Parking Spaces:

# of existing spaces 3 # of proposed spaces \_\_\_\_\_

12. Are there outstanding violations concerning the Property under any of the following:

Providence Zoning Ordinance  RI State Building or Property Maintenance Code(s)

13. Summarize all changes proposed for the Property (use, construction/renovation, site alteration):

14. If application is for variance, list RI State Building Code Sections from which a variance is sought:

<u>Section Number</u>	<u>Section Title + Required relief (e.g. dimensional deficiency of 6" on a landing)</u>
<u>102</u>	<u>Scope - move building into IRC</u>
<u>420.4</u>	<u>Automatic Sprinkler system - No fire suppression provided</u>
<u>903.2.8</u>	<u>Group R - No fire suppression provided</u>
_____	_____
_____	_____
_____	_____
_____	_____

**QUESTIONS 15 AND 16 TO BE ANSWERED ONLY IF APPLICATION IS AN APPEAL**

15. IF application is an appeal of a decision of the Building Official, please indicate if:

- Appellant is the Owner of the subject Property  
 Appellant is an aggrieved party that is not the Owner of the subject Property

16. IF application is an appeal of a decision of the Building Official, please indicate the grounds for the appeal:

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**IF MORE ROOM IS NEEDED TO ANSWER ANY OF THE ABOVE QUESTIONS, PLEASE SUBMIT AN ADDENDUM TO THIS APPENDIX WITH COMPLETE RESPONSES.**

*The undersigned acknowledge(s) and agree(s) that members of the Building Board of Review and its staff may enter upon the Property in order to view the Property prior to any hearing on the application.*

*The undersigned further acknowledge(s) that the statements herein and in any attachments or appendices are true and accurate, and that providing a false statement in this application may be subject to criminal and/or civil penalties as provided by law, including prosecution under the State and Municipal False Claims Acts. Owner(s)/Applicant(s) are jointly responsible for any false statements.*

Owner(s):

Vincent Mann

Type Name

Signature

Type Name

Signature

Applicant(s)/Appellant(s):

James Moore

Type Name

Signature

Type Name

Signature

**All applicable requirements listed and described on the Instruction Sheet shall be met or this application will not be considered complete.**

**Please contact the Office of the Boards of Review with questions:**

**Telephone – 401-680-5375**

**Email – [bsath@providenceri.gov](mailto:bsath@providenceri.gov)**

**A fillable PDF copy of this document can be found online at the Boards of Review webpage linked from the Department of Inspection + Standards: <https://www.providenceri.gov/inspection-standards/>**

**GENERAL NOTES:**

1. ALL CONCRETE SHALL BE CONTROLLED CONCRETE TO ULTIMATE STRENGTH OF 3000PSI @ 28 DAYS. PROVIDE TOTAL AIR ENTRAINED OF 8%± FOR ALL CONCRETE EXPOSED TO WEATHER. MAXIMUM WATER/CEMENT RATIO W/C= .45 (USE SUPER PLASTICIZER AS REQUIRED FOR WORKABILITY).
2. ALL REINFORCED CONCRETE CONSTRUCTION SHALL CONFORM TO ACI 318-83 AND SHALL BE DETAILED IN ACCORDANCE WITH ACI 315-74.
3. CONCRETE COVER FOR REINFORCING SHALL BE AS FOLLOWS:  
FOOTINGS - 3 INCHES  
FOUNDATION WALLS - 2 INCHES
4. REINFORCING STEEL SHALL CONFORM TO ASTM A-615 GRADE-60. LAP SPICES SHALL BE IN ACCORDANCE WITH ACI 318-83 FOR TENSION LAP SPICES, CLASS C, UNLESS NOTED OTHERWISE.
5. ALL SLABS ON GRADE SHALL BE REINFORCED WITH WELDED WIRE FABRIC AT MID POINT CONFORMING TO ASTM A-185.
6. SLAB ON GRADE SHALL BE CAST IN ALTERNATE PATTERNS OR SAW CUT INTO ARE AS NOT TO EXCEED 900 S.F. OR AS INDICATED ON THE PLANS.
7. ALL CONCRETE FOUNDATIONS MUST BE ON SOIL WITH ASSUMED SAFE BEARING CAPACITY OF NOT LESS THAN 2000 P.S.F. TO BE VERIFIED IN THE FIELD BY A REGISTERED PROFESSIONAL ENGINEER.
8. NO FOOTING CONCRETE SHALL BE POURED AGAINST SUBGRADE CONTAINING FREE WATER, FROST, ICE OR MUD.
9. COMPACT FROM BOTTOM OF FOOTING TO UNDERSIDE OF SLAB ON GRADE TO 98% MAXIMUM DENSITY TO 8" LOOSE LAYERS. UNDER INTERIOR FLOOR SLABS, COMPACT FROM STRIP LINE TO UNDERSIDE OF SLAB TO 95% OF MAXIMUM DENSITY IN 8" LOOSE LAYERS. ELSEWHERE, COMPACT TO 90% OF MAXIMUM DENSITY IN 12" LOOSE LAYERS, EXCEPT FOR TWO 6" LAYERS DIRECTLY OVER PIPES.
10. ALL MASONRY WORK SHALL CONFORM TO NATIONAL CONCRETE MASONRY ASSOCIATION (NCMA)
11. ALL MORTAR SHALL BE TYPE M OR S.
12. GROUT SHALL BE INSTALLED IN 4 FOOT LIFTS AND CONSOLIDATED WITH 10 MINUTES OF PLACEMENT. SUCCEEDING LIFTS SHALL FOLLOW AFTER WAITING 15 OR 60 MINUTES TO ALLOW FOR SETTLEMENT AND ABSORPTION OF EXCESS WATER.
13. ALL MASONRY WORK SHALL BE CONTINUOUSLY INSPECTED IN THE FIELD BY OR UNDER THE SUPERVISION OF A PROFESSIONAL ENGINEER OR BY AN APPROVED TESTING LABORATORY.
14. JOINT REINFORCING SHALL CONFORM TO ASTM A85.
15. NAILING SHALL CONFORM TO TABLE 2305.2 OF RHODE ISLAND STATE BUILDING CODE.
16. STRUCTURAL LUMBER SHALL BE HEMPIR#1 (OR AS NOTED ON THE PLANS) OR CONSTRUCTION GRADE AS LISTED IN THE NATIONAL FOREST PRODUCT ASSOCIATION "NATIONAL DESIGN SPECIFICATIONS FOR STRESS-GRADE LUMBER AND ITS FASTENING" THAT HAVE ALLOWABLE UNIT STRESSES IN EXTREME FIBER IN BENDING EQUAL TO OR GREATER THAN 1400 PSI AND MODULUS OF ELASTICITY EQUAL TO OR GREATER THAN 1,500,000 PSI.
17. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL BUILDING INSPECTIONS DEPARTMENT AND THE LATEST EDITION OF THE RHODE ISLAND STATE BUILDING CODE AND/OR ANY APPROPRIATE AUTHORITY HAVING JURISDICTION OVER CONSTRUCTION AT PROJECT SITE.
18. ALL MECHANICAL, PLUMBING, AND ELECTRICAL TRADE WORKS MUST BE COORDINATED WITH STRUCTURAL WORK PRIOR TO CONSTRUCTION. ANY DISCREPANCY MUST BE REPORTED TO THE ENGINEER IMMEDIATELY.
19. CONTRACTOR TO VERIFY DIMENSIONS PRIOR TO CONSTRUCTION.
20. CONTRACTOR SHALL SHORE, BRACE, OR OTHERWISE SUPPORT THE STRUCTURE AS REQUIRED IN ORDER TO MAINTAIN STRUCTURAL INTEGRITY AT ALL TIMES, AND COORDINATE THE STRUCTURAL WORK AND BUILDING WORK REQUIRED FOR THE CONSTRUCTION PHASES FOR SMOOTH TRANSITION OF WORK.
21. CONTRACTOR WILL NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCIES IN THE DRAWINGS AND WILL NOT PROCEED WITH WORK IN THOSE AREAS UNTIL DISCREPANCIES ARE RESOLVED.
22. ANY DEVIATION FROM THE CONTENTS OF THESE PLANS WITHOUT WRITTEN CONSENT OF THIS ENGINEER WOULD MAKE NULL AND VOID.
23. THIS ENGINEER IS NOT RESPONSIBLE FOR MECHANICAL, PLUMBING, AND ELECTRICAL WORK OR DESIGN.
24. NOTIFY ENGINEER OF ANY FIELD CONDITIONS WHICH DIFFER FROM THOSE SHOWN OR IMPLIED ON THE DRAWINGS.
25. THE CONTRACTOR SHALL IDENTIFY LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY THE APPROPRIATE UTILITY AUTHORITY OR COMPANY. EXTREME CAUTION SHALL BE EXERCISED WHEN WORKING IN THE VICINITY OF EXISTING UTILITIES.
26. BEFORE PROCEEDING WITH CONSTRUCTION OPERATIONS, THE CONTRACTOR SHALL NOTIFY THE STATE OF RHODE ISLAND UTILITIES UNDERGROUND PLANT DAMAGE PREVENTION SYSTEM (DIG SAFE) AT 1-800-225-4977.

**DESIGN LOADS:**

CONFORM TO THE FOLLOWING DESIGN LOADS REQUIREMENTS UNLESS NOTED OTHERWISE:

- ROOF LOAD (SNOW LOAD) 30 PSF (MODIFIED FOR SNOW DRIFT)
- FLOOR LIVE LOAD 40PSF
- WIND LOAD 90PSF

**PARCEL DATA**  
AP 45  
LOT 324

**TOTAL AREA**  
3,951 SQ. FT. ±  
**ZONING DATA: R-2**

**SETBACKS**  
Average frontage within 100' is approximate 10.25'

FRONT: 15' (within 5ft of Average)  
MIN. SIDE: 6 ft  
MIN. REAR: 24.6 ft  
25% of lot depth or 25', whichever is less  
lot depth: 98.51 x 0.25 = 24.6'

Maximum Lot Coverage Allowed: 45%  
Lot Area: 3,951 sf  
Building Area: 1,320 sf  
Covered Entrance: 16 sf  
Encroachment of Existing Buildings: 96 sf  
(1,432/3,951)100 = 36%

Maximum Impervious Surface front yard: 33%  
total front yard area=646 sf  
driveway area (9'x17')=153 sf  
Encroachment of Existing Building: 45 sf  
Covered Entrance: 16 sf  
214/646=33%

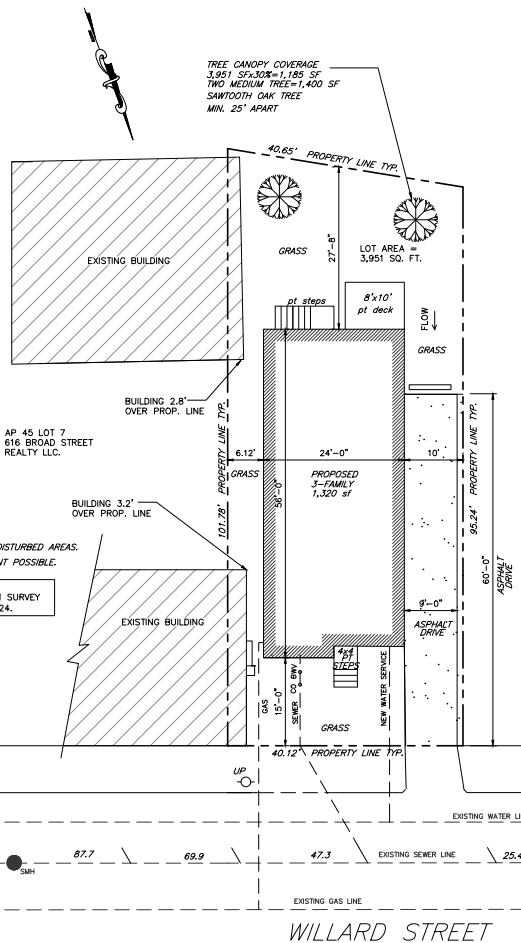
Total Maximum Impervious Surface Allowed: 65%  
Lot Area: 3,951 sf  
Building Area: 1,320 sf  
Encroachment of Existing Buildings: 96 sf  
Covered Entrance: 16 sf  
Drive Area: 360 sf  
Total Imp. Area: 1,792 sf  
(1,792/3,951)100 = 45%  
Total Pervious Surface Provided: 2,159 sf

**SITE CONSTRUCTION NOTES:**

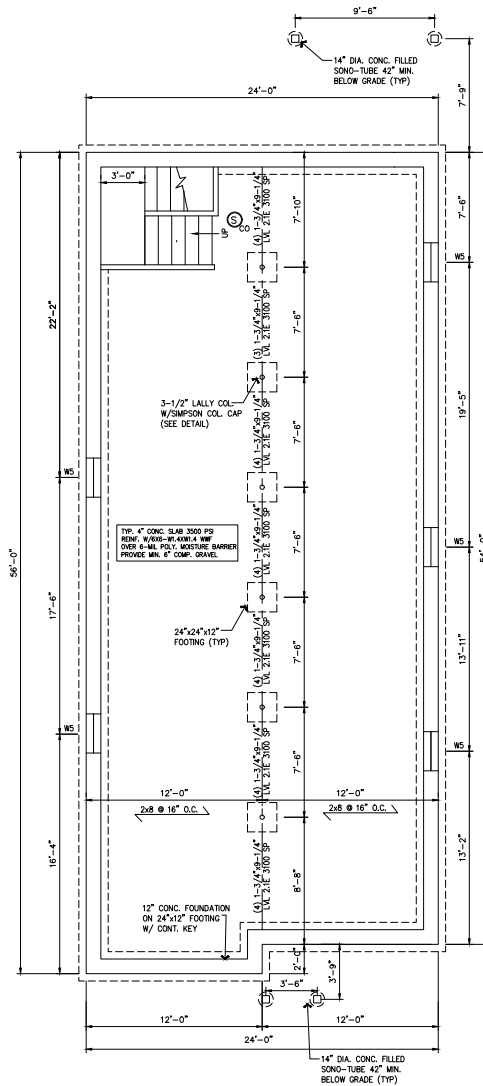
1. INSTALL SEDIMENT & EROSION CONTROLS AROUND ALL DISTURBED AREAS.
2. RUNOFF SHALL BE CONTROLLED ON SITE TO MAX. EXTENT POSSIBLE.

NOTE:  
PROPERTY LINE & EXISTING SITE INFORMATION TAKEN FROM SURVEY PREPARED BY E. CONRWICH SURVEYORS LLC DATED 2/6/24.

NOTE:  
SEWER BACKWATER VALVE & CLEANOUT SHALL BE WITHIN 5' OF BUILDING FOUNDATION



**SITE LAYOUT**  
SCALE: 1"=10'



**FOUNDATION PLAN**  
SCALE: 1/4"=1'-0"

REVISIONS		
NO.	DATE	BY

SHEET DESCRIPTION  
**PROPOSED  
NEW 3-FAMILY HOME**  
359 WILLARD STREET

PREPARED FOR :  
**VINCENT MANN**  
359 WILLARD STREET  
PROVIDENCE, RI

DATE: FEB 2024
SCALE: AS SHOWN
TITLE: RM
DATE: RM
DATE: RM
SHEET NO.

DOOR SCHEDULE		
NO.	ROUGH OPENING	TYPE
①	3'-2 1/2" x 6'-10 1/2"	3'-0"x6'-8" STEEL EXTERIOR
②	2'-8 1/2" x 6'-10 1/2"	2'-6"x6'-8" WOOD INTERIOR
③	2'-10 1/2" x 6'-10 1/2"	2'-8"x6'-8" STEEL EXTERIOR
④	3'-2 1/2" x 6'-10 1/2"	3'-0"x6'-8" STEEL EXTERIOR 60 min. FIRE RATED WITH SELF-CLOSING HARDWARE
⑤	2'-8 1/2" x 6'-10 1/2"	2'-6"x6'-8" WOOD INTERIOR 60 min. FIRE RATED WITH SELF-CLOSING HARDWARE
⑥	5'-2 1/2" x 6'-10 1/2"	5'-0"x6'-8" WOOD SLIDER

WINDOW SCHEDULE			
NO.	UNIT DIMENSION	DESIGNATION	TYPE
W1	3'-2" x 4'-9 1/2"	3046	DOUBLEHUNG
W2	6'-2 1/4" x 4'-9 1/2"	3046-2	DOUBLEHUNG
W3	2'-10" x 3'-1 1/2"	28210	DOUBLEHUNG
W4	2'-10 1/4" x 3'-5 1/2"	2832	DOUBLEHUNG
W5	2'-8 1/8" x 1'-3 3/8"	2813	CASEMENT

INSULATION :  
WALL R-21  
FLOOR R-30  
ROOF R-49  
WINDOW U-VALUE: 0.30

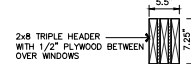
- Ⓢ SMOKE & CO<sub>2</sub> DETECTORS HARD WIRED
- Ⓢ SMOKE DETECTORS HARD WIRED
- Ⓜ HEAT DETECTOR
- ⓕ EXHAUST FAN (VENTED OUTSIDE)

- USE DOUBLE PANE WINDOWS
- NOTES:  
1. VERIFY ALL ROUGH OPENINGS WITH MANUFACTURE PRIOR TO CONSTRUCTION.  
2. HEADER HEIGHTS TO BE 4'-10" TO BOTTOM UNLESS OTHERWISE NOTED.  
3. SILL HEIGHT FROM FINISH FLOOR MIN. 24", AND MAXIMUM 44" FROM FINISH FLOOR.

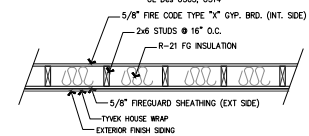
FLOOR & ROOF FRAMING LUMBER SHALL BE DOUGLAS-FIR #2 OR BETTER

ALL EXTERIOR WALLS SHALL BE 2x6 FRAMING @ 16" O.C.  
ALL INTERIOR WALLS SHALL BE 2x4 FRAMING @ 16" O.C.  
HEADERS

HEADERS  
2x8 TRIPLE HEADER W/ 1/2" PLYWOOD OVER WINDOWS

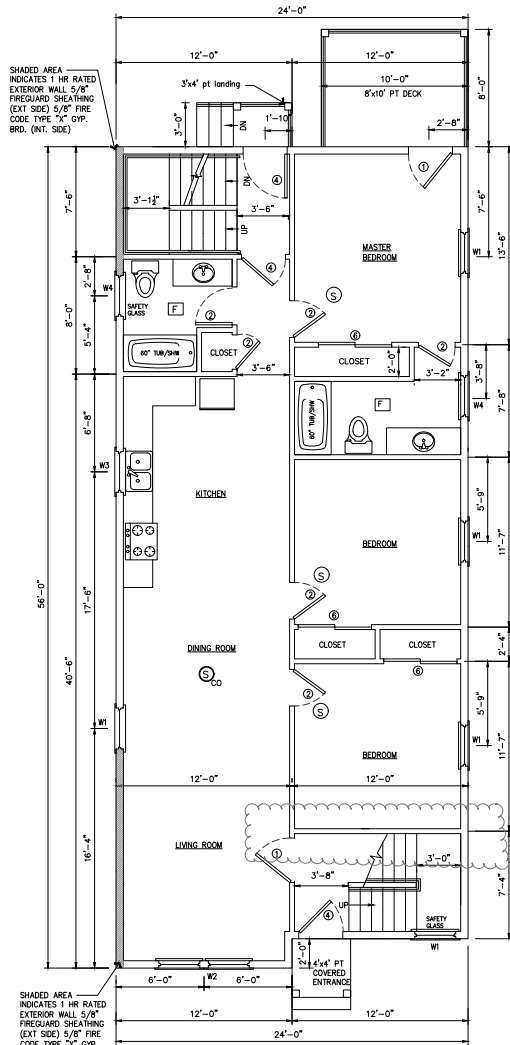


1 HR RATED EXTERIOR WALL DETAIL

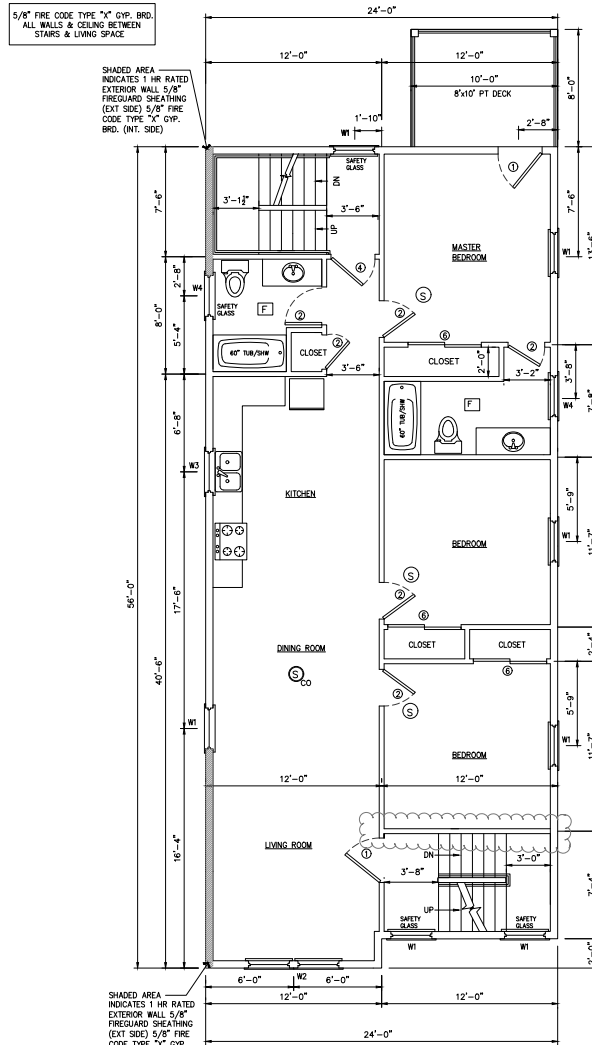


REVISIONS

NO.	DATE	BY

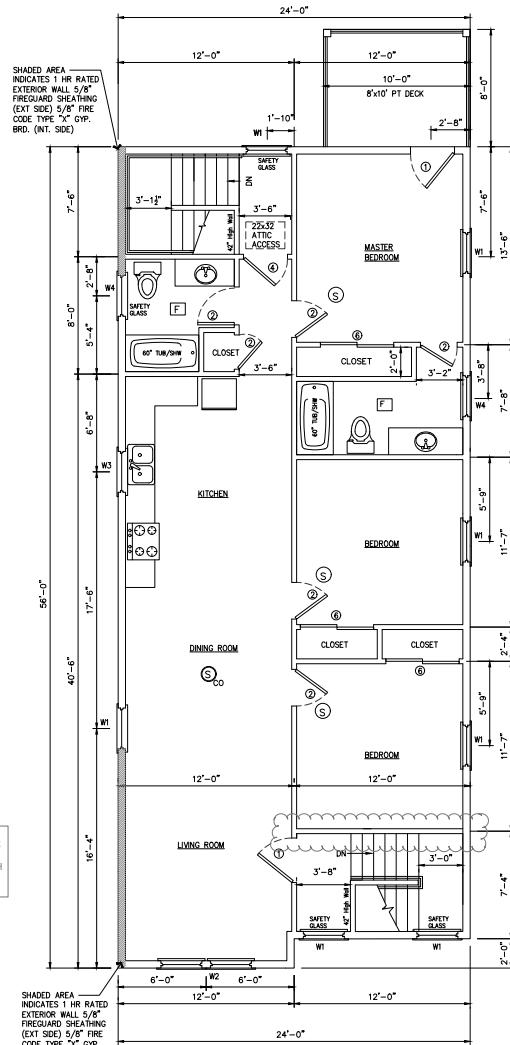


FIRST FLOOR PLAN  
SCALE: 1/4"=1'-0"



SECOND FLOOR PLAN  
SCALE: 1/4"=1'-0"

CLOUDED AREA TO BE GWP FOR 8' OF WALL ATTACHED WITH SCREWS 6" EDGE/6" FIELD



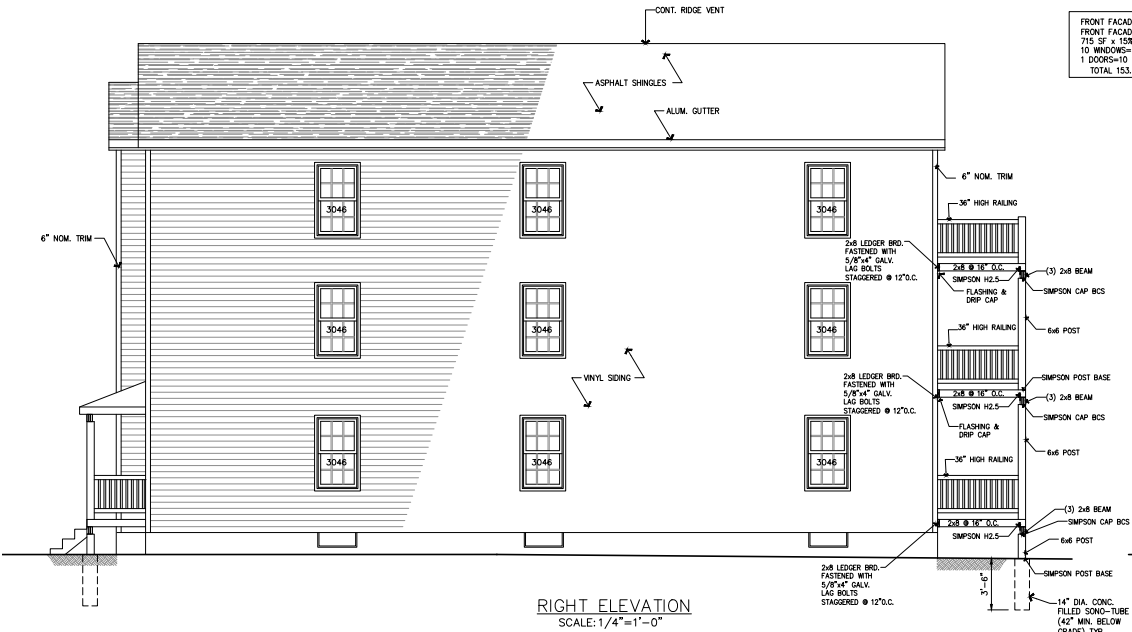
THIRD FLOOR PLAN  
SCALE: 1/4"=1'-0"

SHEET DESCRIPTION  
**PROPOSED  
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PROVIDENCE, RI

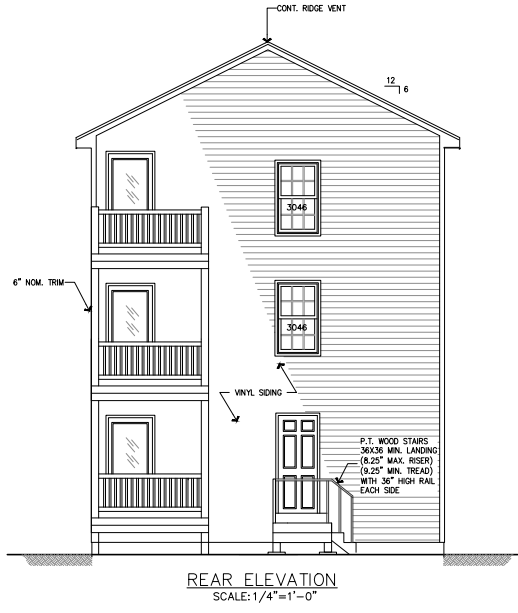
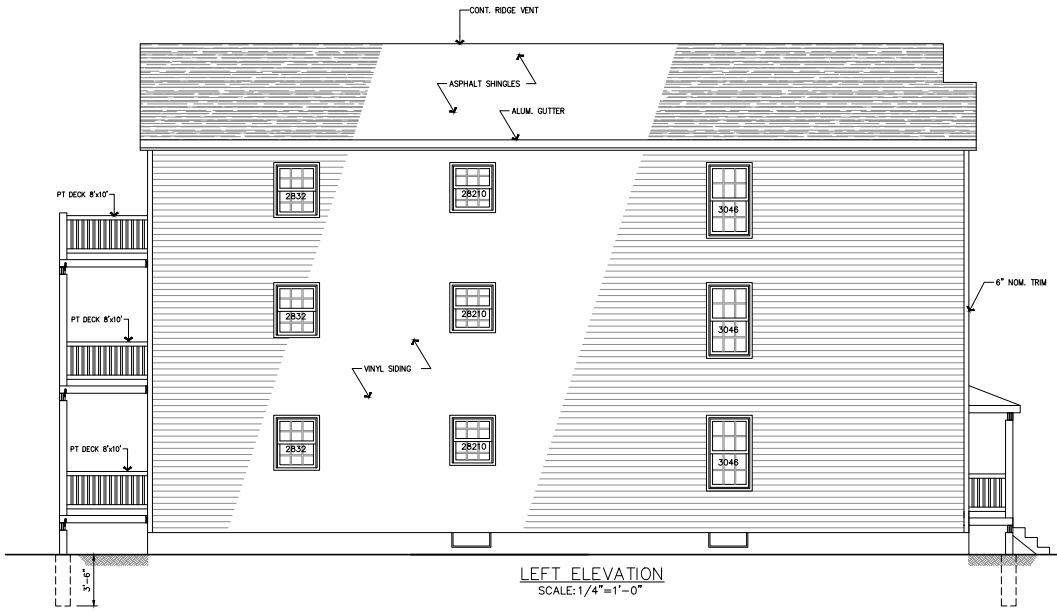
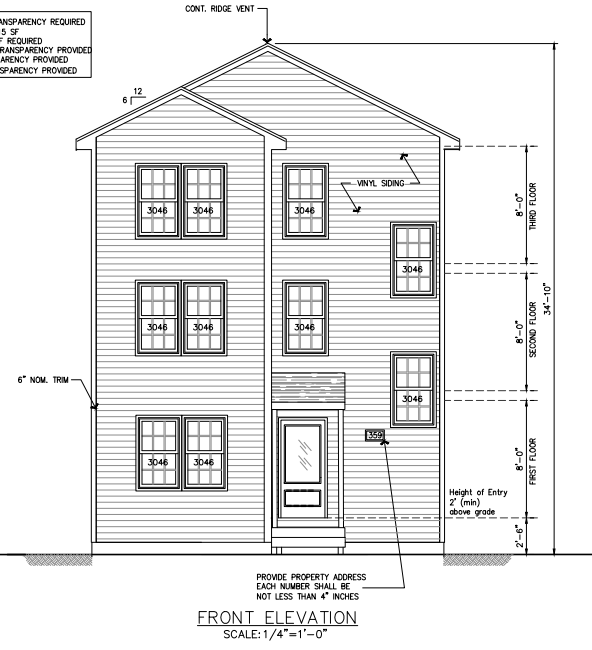
PREPARED FOR :  
**VINCENT MANN**  
359 WILLARD STREET  
PROVIDENCE, RI

DATE: FEB 2024  
SCALE: AS SHOWN  
DWG#: RM  
JOB#: 2400000000

SHEET NO.



FRONT FACADE: 15% TRANSPARENCY REQUIRED  
FRONT FACADE AREA=715 SF  
715 SF x 15%=107.25 SF REQUIRED  
10 WINDOWS=143.3 SF TRANSPARENCY PROVIDED  
1 DOORS=10 SF TRANSPARENCY PROVIDED  
TOTAL 153.3 SF TRANSPARENCY PROVIDED



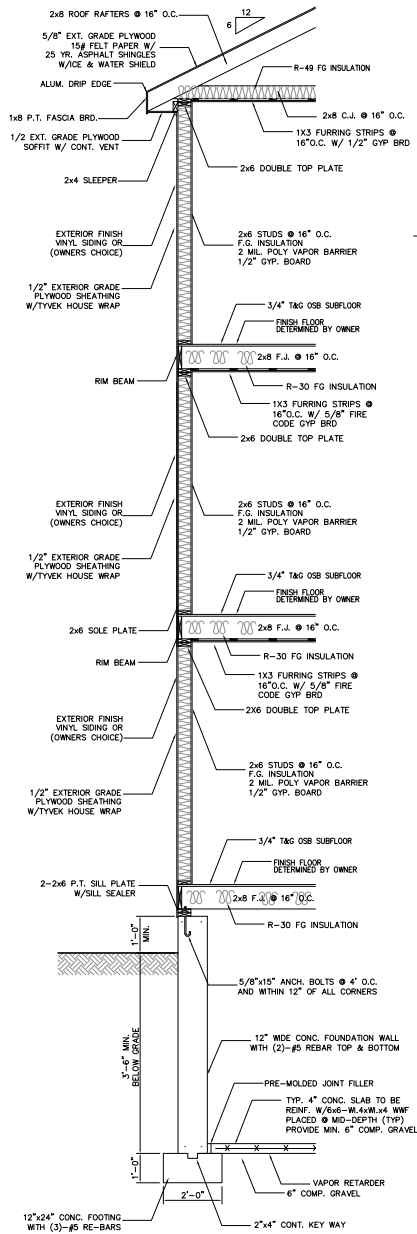
REVISIONS		
NO.	DATE	BY

SHEET DESCRIPTION

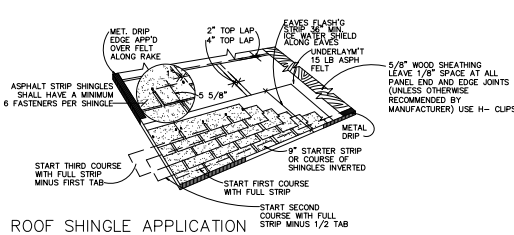
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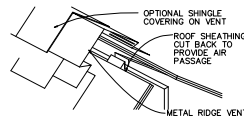
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DWG: RM  
SHEET NO.  
3 OF 4



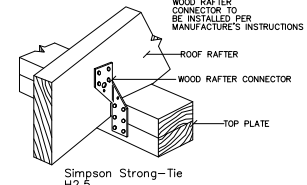
**WALL DETAIL**  
SCALE: 1/2"=1'-0"



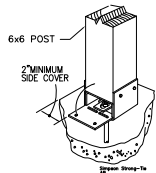
**ROOF SHINGLE APPLICATION**  
NTS



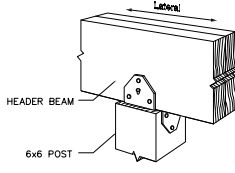
**GABLE RIDGE VENT**  
NTS



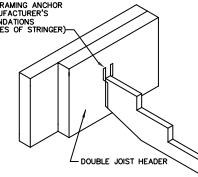
**RAFTER CONNECTOR**  
NTS



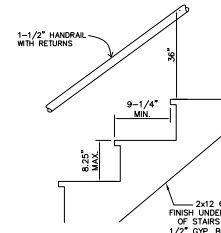
**POST BASE DETAIL**  
NOT TO SCALE



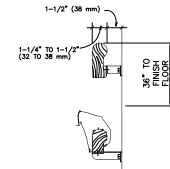
**BCS DETAIL**  
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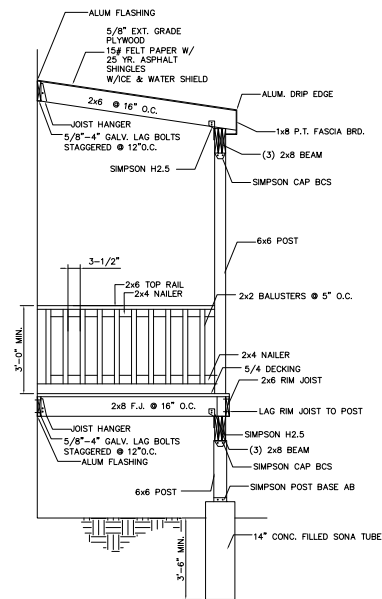
**STAIR FRAMING DETAIL**  
NOT TO SCALE



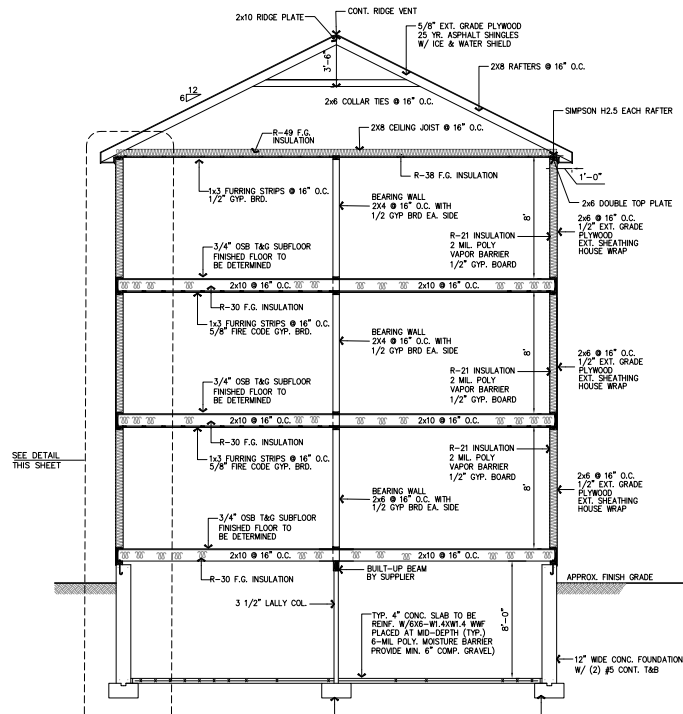
**STAIR DETAIL**  
NOT TO SCALE



**HAND RAIL DETAIL**  
NOT TO SCALE



**COVERED PORCH DETAIL**  
NOT TO SCALE



**PROPOSED BUILDING SECTION**  
SCALE: 1/4"=1'-0"

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0027  
28 NO.

