

CITY OF PROVIDENCE
ZONING BOARD OF REVIEW

INSPECTION & STANDARDS
RECEIVED

OCT 02 2024

APPLICATION FOR VARIANCE OR SPECIAL USE PERMIT

Check Each Type Zoning Relief Sought:

- Variance – Use*
 Variance – Dimensional*
 Special Use Permit**

* Attach APPENDIX A to apply for a Use or Dimensional Variance

** Attach APPENDIX B to apply for a Special Use Permit

If a section of the application is not applicable, please indicate this by using N/A in that field.

Applicant: DENNY ALDRIN RAJIAH Applicant Mailing Address
Email: magilchillc@gmail.com Street: 40 HAROLD ST
Phone: 617-852-8281 City, State, Zip: SHARON, MA 02067

Owner: SEE ABOVE Owner Mailing Address
Email: _____ Street: _____
Phone: _____ City, State, Zip: _____

Lessee: _____ Lessee Mailing Address
Email: _____ Street: _____
Phone: _____ City, State, Zip: _____

Attorney: _____ Attorney Mailing Address
Email: _____ Street: _____
Phone: _____ City, State, Zip: _____

Does the proposal require review by any of the following:

- Downtown Design Review Committee
 I-195 Redevelopment District Commission
 Capital Center Commission
 Historic District Commission

1. Street Address of Subject Property: 76 GARFIELD AVE
Plat and Lot Numbers of Subject Property: 82-285

2. Base Zoning District(s): R-2
Overlay District(s): NONE

3a. Date owner purchased the Property: 10/29/2018

3b. Month/year of lessee's occupancy: _____

4. Dimensions of each lot:

Lot # <u>285</u>	Width <u>83.02'</u>	Depth <u>50'</u>	Total area <u>5,000</u> sq. ft.
Lot # _____	Width _____	Depth _____	Total area _____ sq. ft.
Lot # _____	Width _____	Depth _____	Total area _____ sq. ft.
Lot # _____	Width _____	Depth _____	Total area _____ sq. ft.

5a. Size of existing structure(s) located on the Property:

<u>Principal Structure:</u>	<u>Accessory Structure:</u>
Area of Footprint _____	Area of Footprint _____
Overall Height _____	Overall Height _____
# of Stories _____	# of Stories _____

5b. Size of proposed structure(s) located on the Property:

<u>Principal Structure:</u>	<u>Accessory Structure:</u>
Area of Footprint <u>1,385 SF</u>	Area of Footprint _____
Overall Height <u>34' - 9"</u>	Overall Height _____
# of Stories <u>3</u>	# of Stories _____

6a. Existing Lot Coverage:

Building Coverage (area of all roofed structures) 0 SF
Total Impervious Coverage Area (area of all roofed structures and impervious surfaces) 0 SF
Rear Yard Impervious Coverage (area of structures and impervious surface in rear yard) 0 SF
Front Yard Impervious Coverage (area of structures and impervious surface in front yard) 0 SF

6b. Proposed Lot Coverage:

Building Coverage (area of all roofed structures) 1,385 SF
Total Impervious Coverage Area (area of all roofed structures and impervious surfaces) 2,296 SF
Rear Yard Impervious Coverage (area of structures and impervious surface in rear yard) 476.9 SF
Front Yard Impervious Coverage (area of structures and impervious surface in front yard) 77 SF

7a. Present Zoning Use of the Property: VACANT LOT

7b. Legal Zoning Use of the Property as recorded in the Dept. of Inspection & Standards:
VACANT LOT

8. Proposed Zoning Use of the Property: RESIDENTIAL - 2 FAMILY (TOWNHOUSES)

9. Number of Parking Spaces:

of existing spaces 0 # of proposed spaces 2

10. Are there outstanding violations concerning the Property under any of the following:

____ Zoning Ordinance ____ RI State Building or Property Maintenance Code(s)

11a. List all Zoning Ordinance Sections from which a variance is sought:

<u>Section Number</u>	<u>Section Title + Quantity of relief, if applicable (eg. 4' setback where 6' required)</u>
402	REAR SETBACK: 30' REQUIRED, 10'-8" PROPOSED
1407.B.2	2 CURB CUTS

11b. Identify the section(s) of the Zoning Ordinance that provide for the special use permit, and list all section(s) which provide Use Standards for the proposed Special Use(s):

<u>Section Number</u>	<u>Section Title</u>

12. Summarize any changes proposed for the Property (use, construction/renovation, site alteration):

THE APPLICANT PROPOSES TO CONSTRUCT NEW 2 FAMILY TOWNHOUSE ON THE EXISTING VACANT LOT

The undersigned acknowledge(s) and agree(s) that members of the Zoning Board of Review and its staff may enter upon the exterior of the Property in order to view the Property prior to any hearing on the application.

The undersigned further acknowledge(s) that the statements herein and in any attachments or appendices are true and accurate, and that providing a false statement in this application may be subject to criminal and/or civil penalties as provided by law, including prosecution under the State and Municipal False Claims Acts. Owner(s)/Applicant(s) are jointly responsible with their attorneys for any false statements. As indicated on the instructions page, this application may not be signed by an attorney on behalf of their client(s).

Owner(s):

Rajiah Aldrin Denny

Type Name

Signature

Rajiah Aldrin Denny

Digitally signed by Rajiah Aldrin Denny
Date: 2024.10.02 10:01:33 -04'00'

Type Name

Signature

Applicant(s):

Type Name

Signature

Type Name

Signature

All applicable requirements listed and described on the Instruction Sheet shall be met or this application will not be considered complete.

APPENDIX A

APPLICATION FOR VARIANCE(S)

Rhode Island General Laws § 45-24-41(d) and (e) require that the Applicant for a variance demonstrate:

1. That the hardship from which the applicant seeks relief is due to the unique characteristics of the subject land or structure and not to the general characteristics of the surrounding area; and is not due to a physical or economic disability of the applicant, excepting those physical disabilities addressed in § 45-24-30(a)(16);
2. That the hardship is not the result of any prior action of the applicant;
3. That the granting of the requested variance will not alter the general character of the surrounding area or impair the intent or purpose of the zoning ordinance or the comprehensive plan upon which the ordinance is based; and
4. (a) For a **use variance**: That the land or structure cannot yield any beneficial use if it is required to conform to the provisions of the zoning ordinance;
(b) For a **dimensional variance**: That the hardship suffered by the owner of the subject property if the dimensional variance is not granted amounts to more than a mere inconvenience, meaning that the relief sought is minimal to a reasonable enjoyment of the permitted use to which the property is proposed to be devoted.

Please provide the following information:

1. What is the specific hardship from which the applicant seeks relief?

REAR SETBACK: 30' REQUIRED, 10'-8" PROPOSED
(2) CURB CUTS

2. Specify all unique characteristics of the land or structure that cause the hardship:

UNCOMMON SHAPE AND GRADING OF THE EXISTING LOT

3. (a) Is the hardship caused by an economic disability? Yes _____ No X
(b) Is the hardship caused by a physical disability? Yes _____ No X
(c) If the response to subsection (b) is "yes," is the physical disability covered by the Americans with Disabilities Act of 1990 (ADA), 42 U.S.C. § 12101 et seq.? Yes _____ No _____

4. Did the owner/applicant take any prior action with respect to the Property that resulted in the need for the variance requested? (Examples include, but are not limited to, any changes the owner/applicant made to the structure(s), lot lines, or land, or changes in use of the Property)?

Yes _____ No

If "yes," describe any and all such prior action(s) and state the month/year taken:

5. If you are seeking a USE VARIANCE, set forth all facts that demonstrate that the Property cannot have any beneficial use if you are required to use it in a manner allowed in the zoning district:
-

6. If you are seeking a DIMENSIONAL VARIANCE, set forth all facts that indicate that if the variance is not granted, the hardship the owner/applicant will suffer is more than a mere inconvenience:

THE REQUESTS FOR DIMENSIONAL VARIANCES ARE DUE TO THE UNIQUE CHARACTERISTICS OF THE SUBJECT LAND. IF THE DIMENSIONAL VARIANCE IS NOT GRANTED OWNER WILL NOT BE ABLE TO REASONABLY ENJOY THE PERMITTED USE AND WILL AMOUNT TO MORE THAN A MERE INCONVENIENCE. THE LOT IS SHALLOW AND LONG. ADDITIONALLY, IT CURVES ALONG THE STREET, AND THE LOT SLOPES SIGNIFICANTLY FROM FRONT TO REAR. WITHOUT RELIEF, THIS LOT COULD NOT BE BUILT ON

IF MORE ROOM IS NEEDED TO ANSWER ANY OF THE ABOVE QUESTIONS, PLEASE SUBMIT AN ADDENDUM TO THIS APPENDIX WITH COMPLETE RESPONSES.

1

A

B

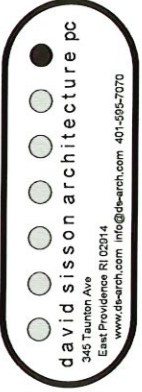
C

D

2

3

4



REV. #	DATE	ISSUED FOR

76 Garfield Ave
 Providence, RI 02908
 PROJECT NUMBER: 20081

PHOTOS

NOT FOR CONSTRUCTION
 DATE SIGNED: 2024-10-01

A10.0

1

A

B

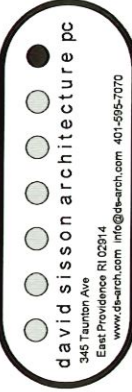
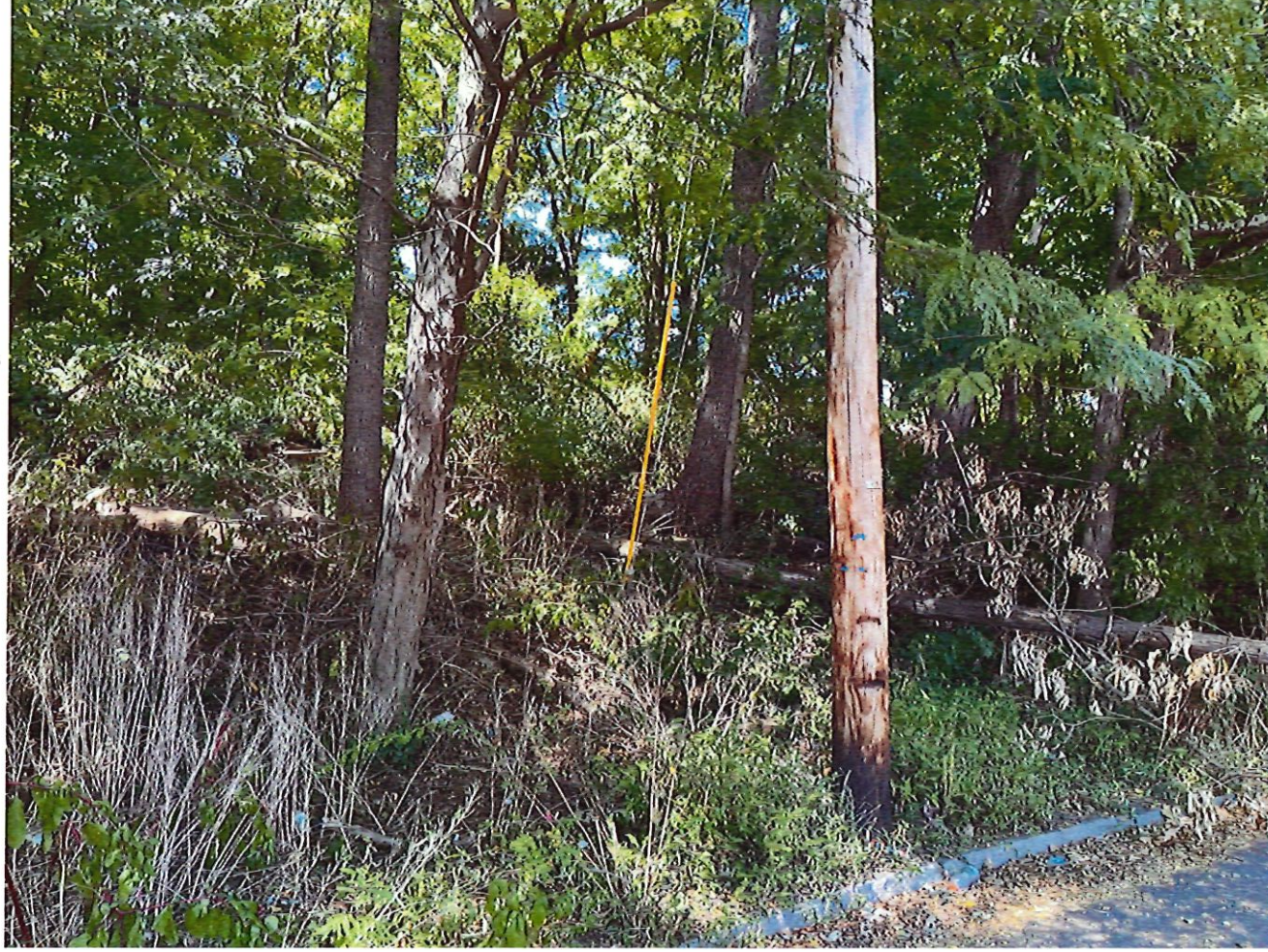
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2

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4



REV. #	DATE	ISSUED FOR:
2024-10-01		VARIANCE

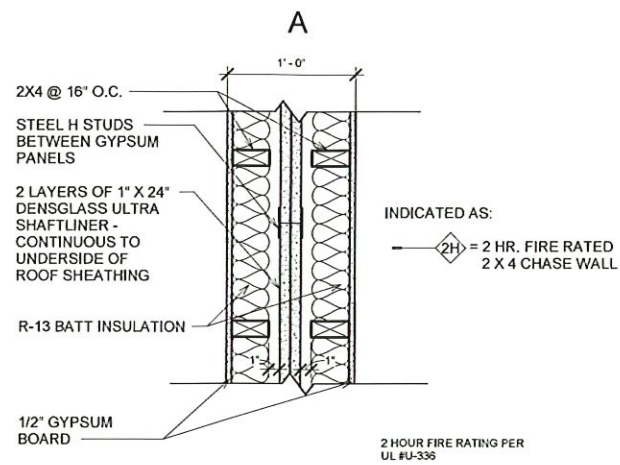
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 Providence, RI 02908
 PROJECT NUMBER: 20081

PHOTOS

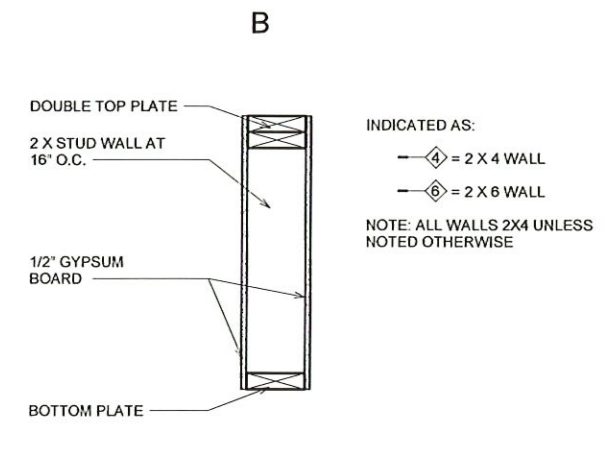
NOT FOR CONSTRUCTION
 DATE SIGNED: 2024-10-01

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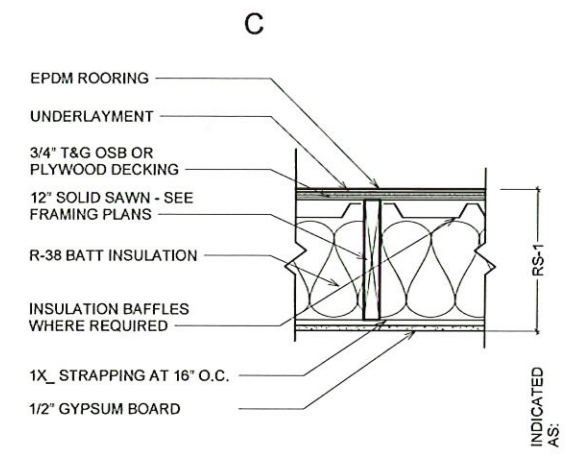
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A1 2-HR FIRE RATED PARTY WALL SYSTEM

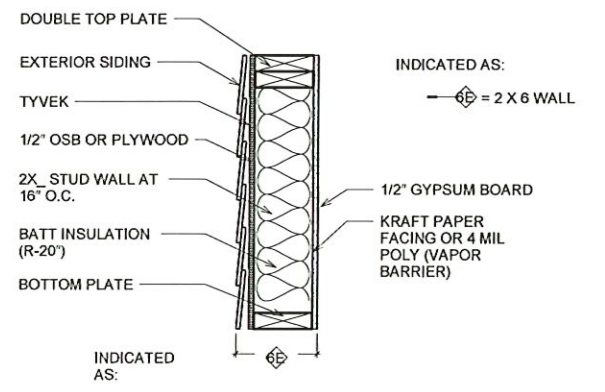


B1 INTERIOR WALL SYSTEMS



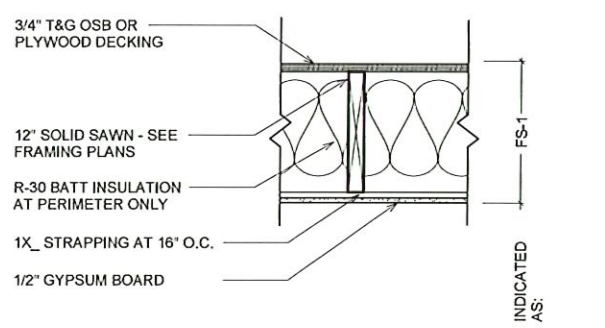
C1 RS-1 ROOF SYSTEM 1

2



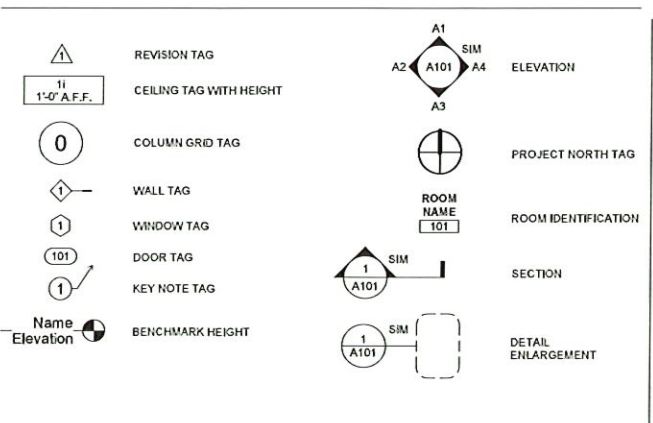
B2 EXTERIOR WALL SYSTEMS
1 1/2" = 1'-0"

3

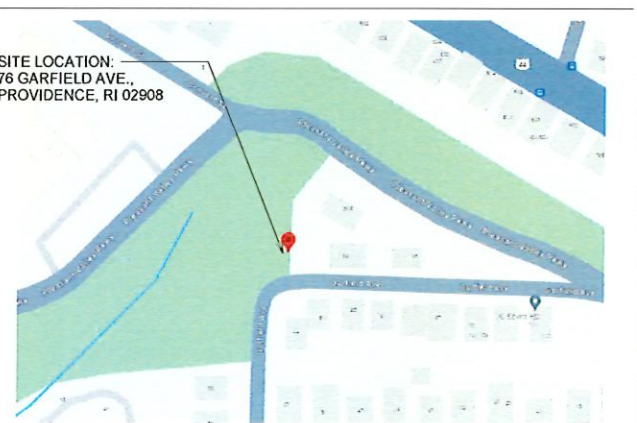


B3 FS-1 FLOOR SYSTEM 1
1 1/2" = 1'-0"

4



ARCHITECTURAL SYMBOLS



VICINITY MAP

ARCHITECT

DAVID SISSON ARCHITECTURE PC
345 TAUNTON AVE
EAST PROVIDENCE RI 02914
TEL: 401-595-7070
DAVE@DS-ARCH.COM

SURVEYOR

ATLAS LAND SURVEYING, LLC
12 CHAPMANS AVE
WARWICK, RI 02886
TEL: 401-263-7353
ATLASLANDSURVEYING@YAHOO.COM

Sheet List	
Sheet Number	Sheet Name
A0.0	COVER SHEET
A0.1	SITE PLAN
A0.2	SURVEY
A0.3	200 FT RADIUS MAP
A1.0	GENERAL NOTES & SPECIFICATIONS
A4.0	PLAN FOUNDATION
A4.1	PLANS BASEMENT & 1ST FL
A4.2	PLANS 2ND FL & 3RD FL
A4.3	PLAN ROOF
A5.0	ELEVATIONS
A6.0	SECTIONS
A6.1	SECTIONS
A10.0	PHOTOS
A10.1	PHOTOS

PROJECT INFORMATION

ASSESSORS MAP # 82
ASSESSORS LOT # 285
LOT SIZE: 5,000 SF

STREET ADDRESS: 76 GARFIELD AVE., PROVIDENCE, RI 02908

OWNER:
MATTHEW BRIGHTMAN & SANDARA MAZZOLA
1 REPTON PLACE APARTMENT #1434
WATERTOWN MA 02472

NARRATIVE SCOPE OF WORK: NEW TOWNHOUSES

	PROPOSED USE	SF (GROSS)
BASEMENT	UTIL/STORAGE	813
LEVEL 1	GARAGE/1BED/1BATH/	1384
LEVEL 2	KITCHEN/DINING/LIVING/ 1/2 BATH	1447
LEVEL 3	2BED/2BATH	1447
TOTALS		5091

TYPE OF CONSTRUCTION: 5B

BUILDING USE / OCCUPANCY: R3 (RESIDENTIAL, 2 UNITS)

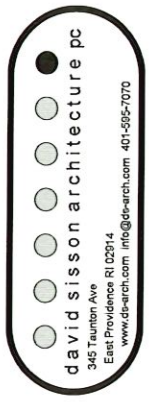
BASE ZONING DISTRICT: RA
OVERLAY ZONING DISTRICT: NONE

PROPOSED LIVING UNITS: 2

- CODES:
- 2012 INTERNATIONAL RESIDENTIAL CODE FOR ONE- AND TWO-FAMILY DWELLINGS
 - RHODE ISLAND ONE AND TWO FAMILY DWELLING CODE
 - SRC-1 RHODE ISLAND STATE REHABILITATION BUILDING AND FIRE CODE FOR EXISTING BUILDINGS AND STRUCTURES
 - 2012 INTERNATIONAL FIRE CODE
 - RHODE ISLAND FIRE SAFETY CODE
 - 2012 INTERNATIONAL ENERGY CONSERVATION CODE
 - SBC-8 RHODE ISLAND STATE ENERGY CONSERVATION CODE
 - 2012 INTERNATIONAL EXISTING BUILDING CODE
 - 2012 INTERNATIONAL PLUMBING CODE
 - SBC-3 RHODE ISLAND STATE PLUMBING CODE
 - 2012 INTERNATIONAL MECHANICAL CODE
 - SBC-4 RHODE ISLAND STATE MECHANICAL CODE
 - SBC-5 RHODE ISLAND STATE ELECTRICAL CODE
 - NFPA 70: NATIONAL ELECTRICAL CODE (NEC)
 - 2012 INTERNATIONAL FUEL GAS CODE
 - NFPA 101: LIFE SAFETY CODE
 - NFPA 220: STANDARD ON TYPES OF BUILDING CONSTRUCTION
 - NFPA 5000: BUILDING CONSTRUCTION AND SAFETY CODE
 - PROVIDENCE ZONING ORDINANCE

ENERGY CODE INFORMATION

- NEW CONSTRUCTION (IECC 2015)
CEILING W/O ATTIC: R-49 CLOSED CELL SPRAY FOAM INSULATION
- CEILING W/ ATTIC: R-38 INSULATION
- WALL INSULATION: R-20 BATT INSULATION
- BASEMENT WALL INSULATION: R-15 RIGID INSULATION OR R-19 BATT INSULATION
- FLOOR INSULATION: R-30 BATT INSULATION
- WINDOWS: U-VALUE 0.35 OR BETTER



REV. #	DATE	ISSUED FOR:
2024-01-01	VARIANCE	



ZONING TABLE

MAP = 82
LOT = 285

BASE ZONING DISTRICT: R-2
OVERLAY ZONING DISTRICT: NONE

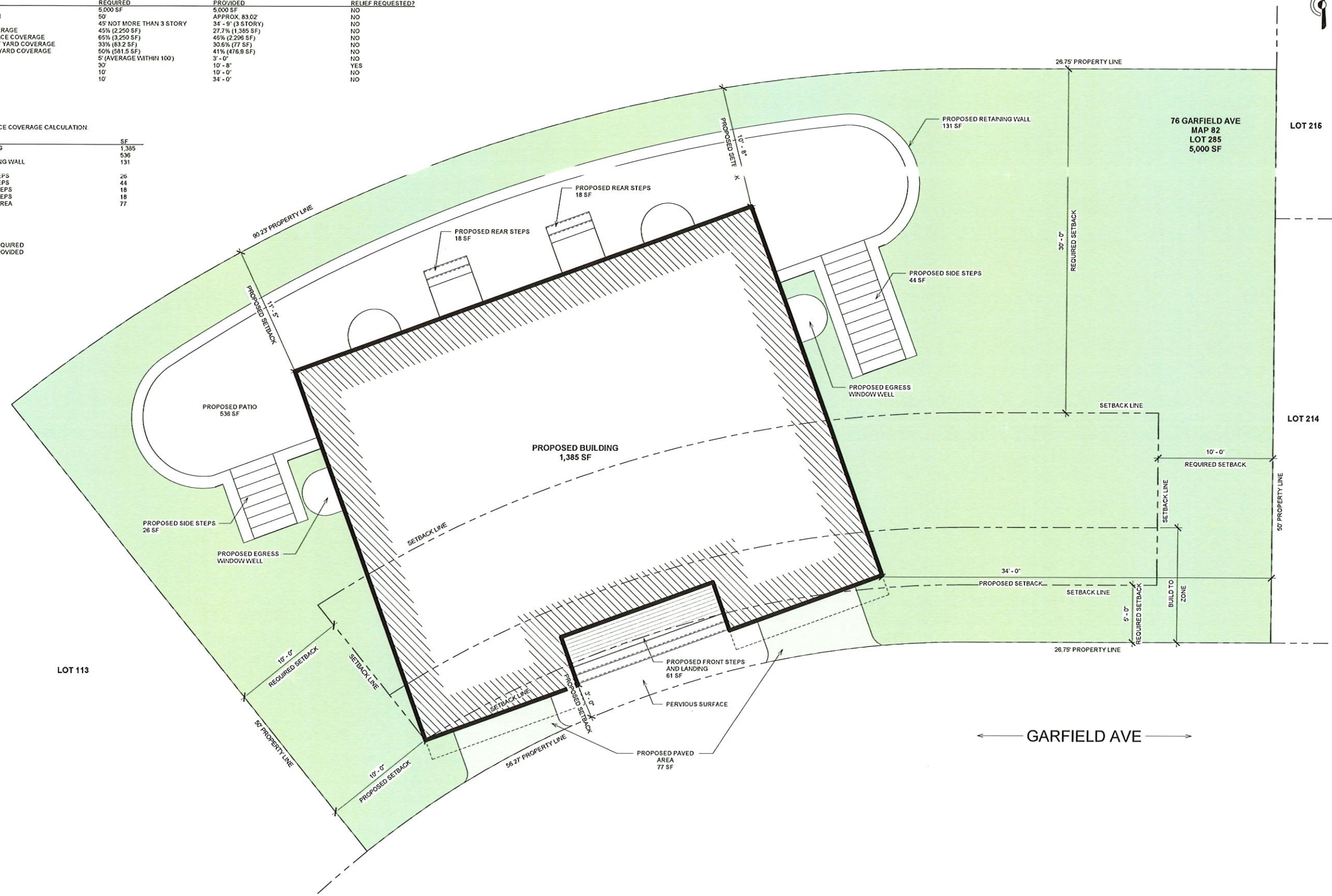
PROPOSED USE: RESIDENTIAL (2 FAMILY HOME)

ITEM	REQUIRED	PROVIDED	RELIEF REQUESTED?
LOT SIZE	5,000 SF	5,000 SF	NO
MINIMUM LOT WIDTH	50	APPROX. 83.02'	NO
HEIGHT	45' NOT MORE THAN 3 STORY	34' - 9" (3 STORY)	NO
MAX BUILDING COVERAGE	45% (2,250 SF)	27.7% (1,385 SF)	NO
MAX IMPERV. SURFACE COVERAGE	65% (3,250 SF)	45% (2,296 SF)	NO
MAX IMPERV. FRONT YARD COVERAGE	33% (163.2 SF)	33.6% (171 SF)	NO
MAX IMPERV. REAR YARD COVERAGE	50% (250 SF)	41% (206 SF)	NO
FRONT SETBACK	5' (AVERAGE WITHIN 100')	3' - 0"	NO
REAR SETBACK	30'	10' - 8"	YES
SIDE SETBACK	10'	10' - 0"	NO
SIDE SETBACK	10'	34' - 0"	NO

IMPERVIOUS SURFACE COVERAGE CALCULATION:

PROPOSED	SF
PROPOSED BUILDING	1,385
PROPOSED PATIO	536
PROPOSED RETAINING WALL	131
PROPOSED SIDE STEPS	26
PROPOSED REAR STEPS	44
PROPOSED REAR STEPS	18
PROPOSED REAR STEPS	18
PROPOSED PAVED AREA	77
TOTAL: 2,296 SF	

PARKING: (2) REQUIRED
(2) PROVIDED



SITE - PROPOSED
1/4" = 1'-0"

DAVID SISSON ARCHITECTURE PC - ALL RIGHTS RESERVED

DAVID SISSON ARCHITECTURE PC
345 Taunton Ave
Providence RI 02914
www.ds-arch.com info@ds-arch.com 401-595-7070

REV. #	DATE	ISSUED FOR:
	2024-10-01	VARIANCE

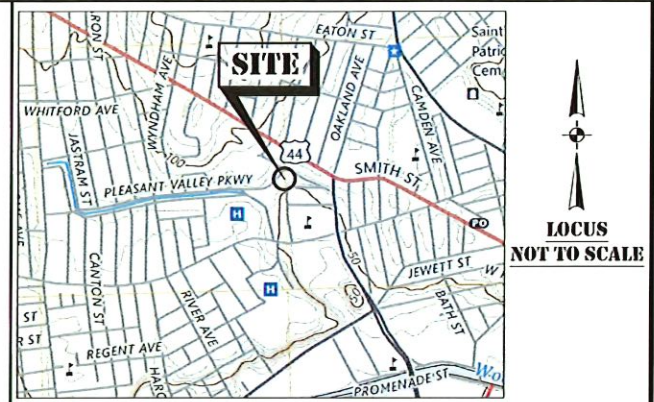
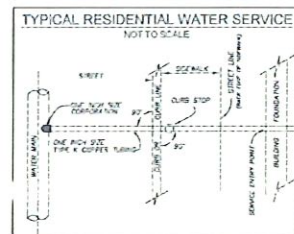
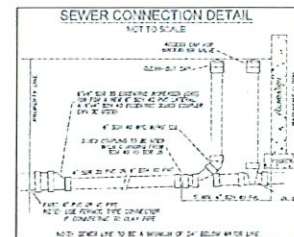
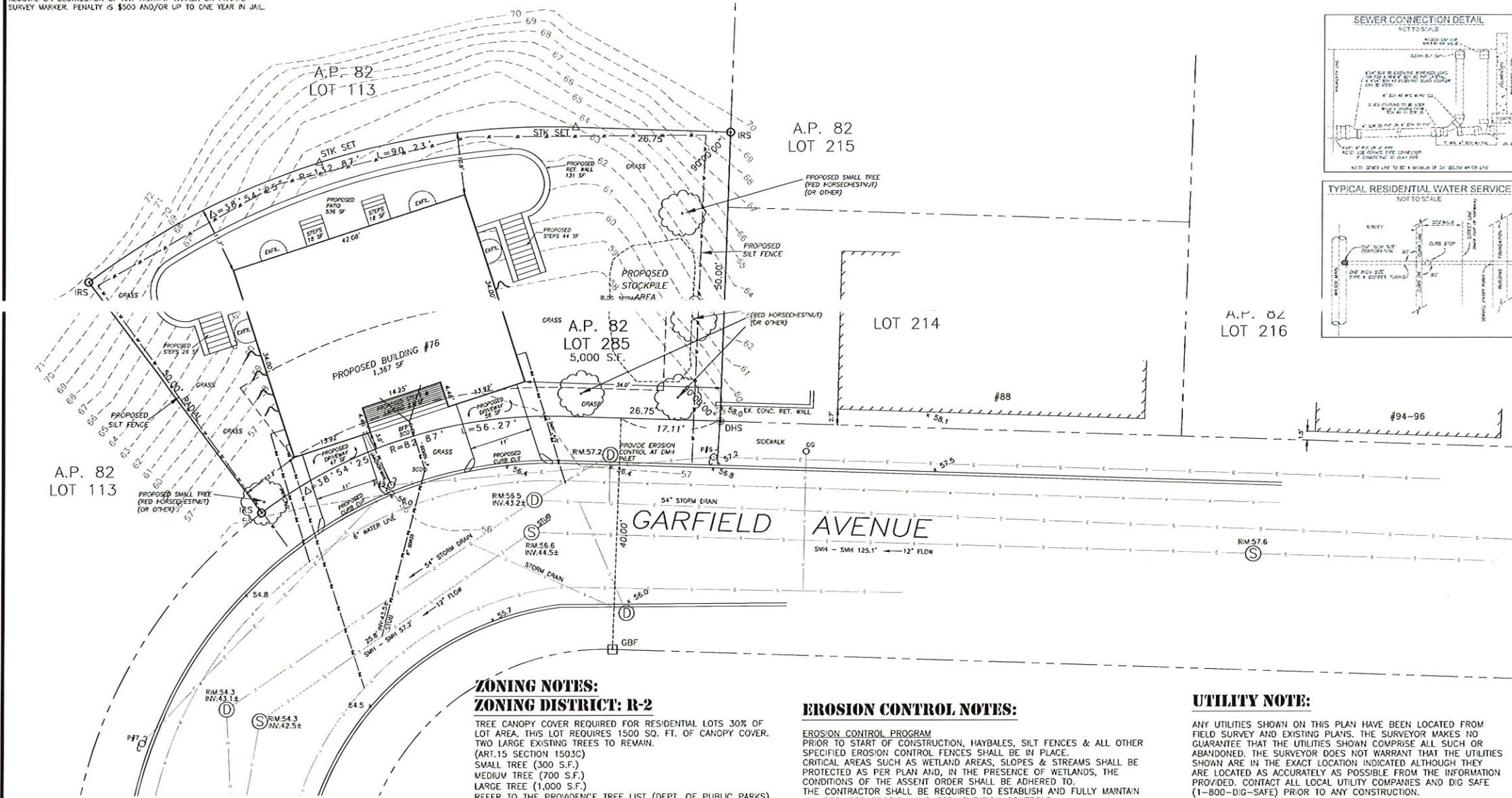
76 Garfield Ave
Providence, RI 02908
PROJECT NUMBER: 20081

SITE PLAN

NOT FOR CONSTRUCTION
DATE SIGNED: 2024-10-01

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RHODE ISLAND GENERAL LAWS: 11-22-1 & 11-44-11 FORBID THE REMOVAL OR DESTRUCTION OF ANY HIGHWAY MARKER OR PRIVATE SURVEY MARKER. PENALTY IS \$500 AND/OR UP TO ONE YEAR IN JAIL.



NOTES:
 THIS SURVEY WAS DONE WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE. THE CERTIFICATION OF THIS SURVEY IS A PROFESSIONAL OPINION BASED ON THE EXISTING FIELD AND DOCUMENTARY EVIDENCE AVAILABLE AT THE TIME THIS SURVEY WAS PREPARED. THIS SURVEY DOES NOT REFLECT OR GUARANTEE OF TITLE.
 USE OF THIS SURVEY FOR PURPOSES OTHER THAN THAT WHICH IT WAS INTENDED, WITHOUT WRITTEN VERIFICATION, WILL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO THIS SURVEYOR. NOTHING HEREON SHALL BE INTENDED TO GIVE ANY RIGHTS OR BENEFITS TO ANYONE OTHER THAN THOSE THE SURVEY WAS PREPARED FOR.

- PLAN REFERENCES:**
- "PLAN #062061 PROVIDENCE PUBLIC WORKS DEPT. ENGINEERING OFFICE 6/24/1960"
 - GARFIELD AVENUE PLAN #73-B-099 4/4/1929 ENGINEERING OFFICE
 - GARFIELD AVENUE PLAN #86-A-59 10/17/1929 ENGINEERING OFFICE
 - GARFIELD AVENUE SEWER PLAN #180-15 8/14/1929 ENGINEERING OFFICE

DEED REFERENCE:
 1. DEED BOOK 12196 PAGE 67

LEGEND:
 IRS/IRF - IRON ROD SET/FOUND
 IPF - IRON PIPE FOUND
 MNLS - MAG. NAIL SET
 W.S.F. - WOOD STOCKED FENCE
 PE/PG - PROPOSED ELEC/GAS
 PW/PS - PROPOSED WATER/SEWER
 SCO/BFP - SEWER CLEAN OUT WITH BACK FLOW PREVENTER
 WSO/GSO - WATER/GAS SHUTOFF
 WG/GG - WATERGATE / GAS GATE
 GBF - GRANITE BOUND FOUND
 #.# x - SPOT GRADE

ZONING DISTRICT: R-2

SURVEY CERTIFICATION:
 THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 435-RICR-00-00-1.9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOV. 25, 2015, AS FOLLOWS:
 TYPE OF BOUNDARY SURVEY: LIMITED CONTENT BOUNDARY SURVEY TOPOGRAPHY & FEATURES
 MEASUREMENT SPECIFICATION: CLASS I CLASS II
 THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS:
 SURVEY PROPERTY & PREPARE PLAN FOR PROPOSED DEVELOPMENT OF SUBJECT LOT AT THE REQUEST OF THE OWNER.
 BY: *Marcus Channell* 10/2/2024
 MARCUS CHANNELL, P.L.S.#1971 (LS-A479) DATE

DATE:	27 SEPT. 2024			
DRAWN BY:	MC			
SCALE:	1" = 10'			
SHEET 1 OF 1 SHEETS				
JOB NO.:	24-0624	1	10/2/24	BLDG. LOCATION REVISED TO MEET FRONT SETBACK COVERAGES RECALCULATED
DWG.	24-0624 DEV PL	NO.	DATE	REVISION
				BY

DEVELOPMENT PLAN
 ASSESSOR'S PLAT 82 - LOT 285
 76 GARFIELD AVENUE ~ PROVIDENCE, RI
 PREPARED FOR:
 MAGILCHI, LLC
 40 HAROLD STREET - SHARON, MA 02067
 PHONE: 617-852-8281
 EMAIL: MAGILCHILLC@GMAIL.COM

ATLAS
 LAND SURVEYING
 2699 Post Road - Unit D - Warwick, RI 02886
 www.atlaslandsurveying.com
 401-263-7353

ZONING NOTES:
ZONING DISTRICT: R-2
 TREE CANOPY COVER REQUIRED FOR RESIDENTIAL LOTS 30% OF LOT AREA. THIS LOT REQUIRES 1500 SQ. FT. OF CANOPY COVER. TWO LARGE EXISTING TREES TO REMAIN. (ART.15 SECTION 1503C)
 SMALL TREE (300 S.F.)
 MEDIUM TREE (700 S.F.)
 LARGE TREE (1,000 S.F.)
 REFER TO THE PROVIDENCE TREE LIST (DEPT. OF PUBLIC PARKS) FOR A LIST OF RECOMMENDED SPECIES.
 CONTACT CITY FORESTER FOR MORE INFO (401-785-9450)
 ZONING FOR THIS LOT IS R-2
 M.N. LOT WIDTH 40' THIS LOT HAS 83.02'
 MAX. BLDG. HEIGHT 45' (SEE ARCH. PLANS)
 MAX. BLDG. COVERAGE: 45% (2250SF)
 THIS LOT HAS 27%± OR 1367 S.F.

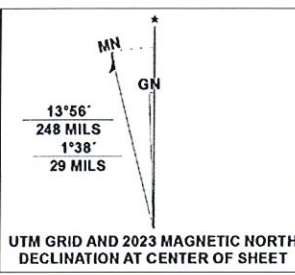
EROSION CONTROL NOTES:
EROSION CONTROL PROGRAM
 PRIOR TO START OF CONSTRUCTION, HAYBALES, SILT FENCES & ALL OTHER SPECIFIED EROSION CONTROL FENCES SHALL BE IN PLACE. CRITICAL AREAS SUCH AS WETLAND AREAS, SLOPES & STREAMS SHALL BE PROTECTED AS PER PLAN AND, IN THE PRESENCE OF WETLANDS, THE CONDITIONS OF THE ASSENT ORDER SHALL BE ADHERED TO. THE CONTRACTOR SHALL BE REQUIRED TO ESTABLISH AND FULLY MAINTAIN ALL REQUIRED EROSION AND SEDIMENTATION CONTROLS.
SEDIMENTATION CONTROL PROGRAM
 ALL EXPOSED SLOPES, INCLUDING STOCKPILES OF MATERIAL SHALL RECEIVE TEMPORARY SEDIMENTATION & EROSION CONTROLS. THIS WILL INCLUDE LOAMING & SEEDING, MULCHING, HAYMATS, ETC TO STABILIZE THE AREA. ALL DRAINAGE STRUCTURES SHALL BE SURROUNDED BY HAYBALES TO PREVENT INFILTRATION OF SEDIMENTS.
 SHOULD SEDIMENTS ENTER A CRITICAL AREA (WETLAND, BUFFER ZONE, ABUTTING PROPERTY) THE CONTRACTOR SHALL IMMEDIATELY CLEAN & RESTORE THE EFFECTED AREA.
GENERAL NOTES:
 1. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO OBTAIN ANY & ALL PERMITS REQUIRED BY THE STATE & THE MUNICIPALITY IN WHICH WORK IS BEING PERFORMED PRIOR TO START OF ANY WORK.
 2. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO DOCUMENT EXISTING CONDITIONS OF SURROUNDING PROPERTIES & TO MAINTAIN THE INTEGRITY OF SAME. ANY DAMAGE TO & THE COST OF REPAIRS OF UTILITIES, ROADWAYS, STRUCTURES & SURROUNDING PROPERTY SHALL BE FULLY BORNE BY THE CONTRACTOR.
 3. ALL WORKMANSHIP & MATERIALS SHALL MEET OR EXCEED THE LATEST STANDARDS OF THE MUNICIPALITY, AND THE LATEST STATE STANDARDS & SPECIFICATION PUBLISHED FOR ROAD & BRIDGE CONSTRUCTION.
 4. CONTACT DIG-SAFE & UTILITY COMPANIES FOR EXACT ON-SITE LOCATION OF EXISTING UNDERGROUND UTILITIES AT LEAST FORTY-EIGHT (48) HOURS PRIOR TO START OF CONSTRUCTION.
 5. CONTRACTOR SHALL OBTAIN REQUIRED INSPECTION SCHEDULE OF THE MUNICIPALITY. UTILITY COMPANIES & ALL OTHER REQUIRED PARTIES & SHALL STRICTLY ADHERE TO THOSE REQUIREMENTS.
 6. ALL CONTRACTORS SHALL ADHERE TO ALL CONDITIONS OF CONSTRUCTION APPROVALS & SHALL KEEP A COPY OF ALL APPROVALS ON-SITE DURING CONSTRUCTION. CONTRACTOR SHALL READ ALL APPROVALS PRIOR TO START OF CONSTRUCTION & SHALL CLARIFY ANY QUESTIONS BEFOREHAND.
 7. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING FINISH GRADING AND DRAINAGE AROUND THE BUILDING TO ENSURE SURFACE WATER AND/OR GROUND WATER ARE DIRECTED AWAY FROM THE STRUCTURE. THIS PLAN SHOWS GENERAL GRADING ONLY AND ADDITIONAL DETAIL IS LIKELY TO BE REQUIRED AROUND THE BUILDING.

UTILITY NOTE:
 ANY UTILITIES SHOWN ON THIS PLAN HAVE BEEN LOCATED FROM FIELD SURVEY AND EXISTING PLANS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL SUCH OR ABANDONED. THE SURVEYOR DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION PROVIDED. CONTACT ALL LOCAL UTILITY COMPANIES AND DIG SAFE (1-800-DIG-SAFE) PRIOR TO ANY CONSTRUCTION.

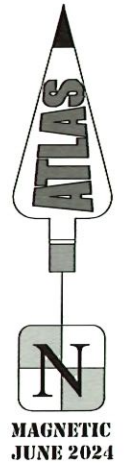
GENERAL NOTES:
 ANY USE, APPROPRIATION, COPYING, DUPLICATION, ADAPTATION, OR MODIFICATION OF THIS PLAN WITHOUT THE PRIOR WRITTEN CONSENT OF ATLAS LAND SURVEYING, LLC IS STRICTLY PROHIBITED, AND THE SAME SHALL CONSTITUTE A COPYRIGHT INFRINGEMENT. THIS PLAN HAS BEEN PREPARED FOR EXCLUSIVE USE BY THIS CLIENT AND FOR A SINGLE USE AND A SINGLE PURPOSE ONLY. BY ACCEPTING THIS PLAN, THE CLIENT AGREES TO THE ABOVE TERMS.
 UNDERGROUND UTILITY LOCATIONS AS SHOWN HEREON ARE TAKEN FROM AVAILABLE RECORD AND FIELD INFORMATION AND ARE APPROXIMATE ONLY. NO ONE SHOULD RELY ON THE UTILITY LOCATIONS SHOWN FOR CONSTRUCTION AND DIG SAFE SHOULD BE NOTIFIED PRIOR TO ANY WORK BEING STARTED. STORMWATER MUST BE CONTROLLED ON THE SITE TO THE EXTENT POSSIBLE. STORMWATER RUNOFF MAY NOT BE TIED INTO THE SANITARY SEWER CONNECTION.
 ALL CONSTRUCTION IN THE PUBLIC ROW MUST BE IN ACCORDANCE WITH THE CITY'S DETAILS AT WWW.PROVIDENCER.I.GOV/UP-CONTENT/UPLOADS/2019/06/PROVIDENCE-DPW-STANDARD-DETAILS.PDF
 REPLACE AND REPAIR CONCRETE SIDEWALK AS NEEDED.
 SEE ARCHITECTURAL PLANS FOR FOUNDATION ELEVATION.
 PROPOSED UTILITY CONNECTIONS ARE GRAPHICALLY SHOWN AND MAY BE REVISED PER THE ADVICE OF A PROFESSIONAL AND SITE CONDITIONS.

FLOOD ZONE NOTE:
 THIS LOT LIES WITH ZONE "X" ON MAP 44007C030BJ PLAN EFFECTIVE DATE: 10/2/2015

DATUM NOTE:
 ELEVATIONS ARE BASED ON PLAN REFERENCE #4
STREET INDEX:
 PER R.I.G.L. 34-13-1
 GARFIELD AVENUE



MARCUS CHANNELL
 No. 1971
 10/2/2024
 PROFESSIONAL LAND SURVEYOR



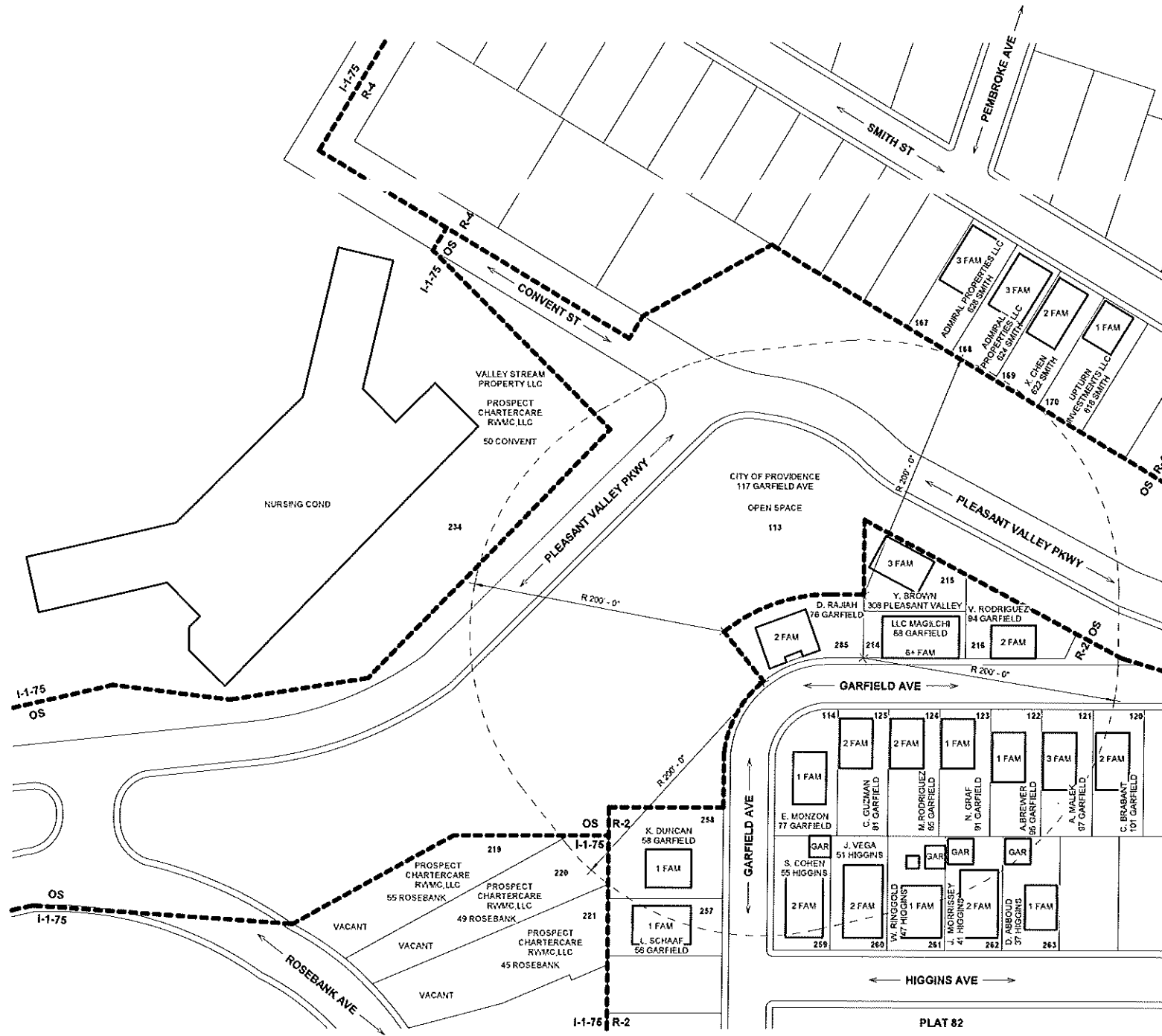
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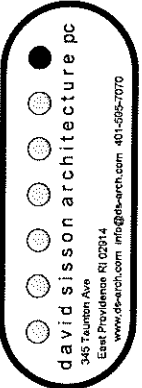
B

C

D



200 FT RADIUS MAP
1" = 50'-0"



REV. #	DATE	ISSUED FOR
1	2024-10-01	VARIANCE

76 Garfield Ave
Providence, RI 02908
PROJECT NUMBER: 20081

200 FT RADIUS MAP



A0.3

1. GENERAL REQUIREMENTS

- 1. THESE DRAWINGS ARE DIAGRAMMATIC AND SHALL NOT BE SCALED, WHERE LACK OF INFORMATION OR ANY DISCREPANCY SHOULD APPEAR IN THE DRAWINGS OR SPECIFICATIONS, REQUEST WRITTEN INTERPRETATION FROM THE ARCHITECT BEFORE PROCEEDING WITH THAT PORTION OF THE WORK.
2. NO CHANGES, MODIFICATIONS OR DEVIATIONS SHALL BE MADE FROM THE DRAWINGS OR SPECIFICATIONS WITHOUT FIRST SECURING WRITTEN PERMISSION FROM THE ARCHITECT.
3. ALL MATERIALS USED SHALL BE EQUAL TO OR EXCEED ALL APPLICABLE STATE OR LOCAL CODES AND REQUIREMENTS.
4. CONTRACTOR SHALL REMOVE PROMPTLY AND LEGALLY ALL ACCUMULATED DEBRIS, PROTECT ALL EXPOSED PORTIONS OF WORK FROM ELEMENTS, AVOID OVER-LOADING STRUCTURE, AND SECURELY STORE ALL ITEMS TO BE USED FOR CONSTRUCTION.
5. ALL EXISTING UTILITIES AND CITY SERVICES ARE TO BE MAINTAINED, KEPT IN SERVICE, AND PROTECTED AGAINST DAMAGE DURING CONSTRUCTION. CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO EXCAVATION.
6. ALL EXITS TO BE OPERABLE FROM THE INSIDE WITHOUT USE OF A KEY OR SPECIAL KNOWLEDGE. ALL WORK AS OUTLINED IN THESE DOCUMENTS, SHALL STRICTLY CONFORM TO ALL APPLICABLE CODES AND ORDINANCES, THE EVENT OF A CONFLICT, THE MORE STRINGENT REQUIREMENT SHALL GOVERN AND BE MET.
7. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL FEES, PERMITS, LICENSES, ETC., NECESSARY FOR PROPER COMPLETION OF THE WORK. ALL PERMITS, LICENSES, ETC. SHALL BE OBTAINED BEFORE WORK IS BEGUN.
8. THE CONTRACTOR SHALL GUARANTEE ALL WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION OR AS OTHERWISE REQUIRED IN THE SPECIFICATIONS.
9. PROVIDE ADEQUATE CONCEALED BLOCKING AND ANCHORING FOR ALL CEILING AND WALL MOUNTED EQUIPMENT, HARDWARE AND ACCESSORIES.
10. WHEN A SYSTEM OR ASSEMBLY IS CALLED OUT FOR, ALL NECESSARY PARTS AND MATERIALS REQUIRED FOR A COMPLETE INSTALLATION SYSTEM SHALL BE AND INSTALLED ACCORDING TO THE MANUFACTURER'S INSTRUCTIONS.
11. ANY CHANGES IN THE WALL PLANE.
12. COORDINATE WITH ALL TRADES THE LOCATIONS OF SLEEVES OR OTHER PRESET ACCESSORIES INVOLVING OTHER TRADES.
13. IT IS THE INTENT OF THESE CONTRACT DOCUMENTS TO DEFINE A COMPLETE FINISHED FACILITY. ANY MATERIAL, SYSTEM, EQUIPMENT OR ASSEMBLY WHICH NORMALLY WOULD BE REQUIRED SHALL BE PROVIDED AS IF SPECIFICALLY NOTED.
14. WHEN WORK IS NOT CALLED OUT AS REQUIRED TO COMPLETE THE PROJECT, IT SHALL BE PROVIDED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER AND BE OF THE BEST MATERIALS AND WORKMANSHIP.
15. BEFORE FINAL DRAWINGS AND SPECIFICATIONS ARE ISSUED FOR CONSTRUCTION, THEY SHALL BE SUBMITTED TO ALL GOVERNING AGENCIES TO INSURE THEIR COMPLIANCE WITH ALL APPLICABLE LOCAL AND NATIONAL CODES. IF CODE DISCREPANCIES IN DRAWINGS AND/OR SPECIFICATIONS APPEAR, THE ARCHITECT SHALL BE NOTIFIED OF SUCH DISCREPANCIES IN WRITING BY THE CONTRACTOR OR BUILDING OFFICIAL, AND ALLOWED TO ALTER THE DRAWINGS AND SPECIFICATIONS SO AS TO COMPLY WITH GOVERNING CODES BEFORE CONSTRUCTION BEGINS.
16. UPON WRITTEN RECEIPT OF APPROVAL FROM THE GOVERNING OFFICIAL, APPROVED FINAL DRAWINGS AND SPECIFICATIONS SHALL BE SUBMITTED TO THE ARCHITECT BY THE CONTRACTOR IF CODE DISCREPANCIES ARE DISCOVERED DURING THE CONSTRUCTION PROCESS, THE ARCHITECT SHALL BE NOTIFIED AND ALLOWED AMPLE TIME TO REMEDY SAID DISCREPANCIES. ALL WORK PERFORMED SHALL COMPLY WITH ALL APPLICABLE LOCAL, STATE AND NATIONAL BUILDING CODES, ORDINANCES AND REGULATIONS, AND ALL OTHER AUTHORITIES HAVING JURISDICTION.
17. ALL CONTRACTORS, SUPPLIERS, AND FABRICATORS SHALL BE RESPONSIBLE FOR THE CONTENT OF THE DRAWINGS, AND FOR THE SUPPLY AND DESIGN OF APPROPRIATE MATERIALS AND WORK PERFORMANCE.
18. ALL MANUFACTURED ARTICLES, MATERIALS, AND EQUIPMENT SHALL BE HANDLED, APPLIED, INSTALLED, ERECTED, USED, CLEANED, AND CONDITIONED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S REQUIREMENTS.
19. ALL ALTERNATES ARE AT THE OPTION OF THE OWNER AND SHALL BE AT THE OWNER'S REQUEST, CONSTRUCTED IN ADDITION TO OR IN LIEU OF THE TYPICAL CONSTRUCTION, AS INDICATED ON THE DRAWINGS.

DESIGN LOADS:

Table with 2 columns: Category (ROOF, FLOOR, BALCONIES AND DECKS, SOIL PRESSURE) and Design Load (DEAD LOAD, SNOW LOAD, LIVE LOAD, WIND LOAD, etc.)

PRIOR TO START OF CONSTRUCTION, VERIFY DESIGN LOADS WITH GOVERNING CODES AND SITE CONDITIONS. CHECK WITH LOCAL BUILDING AGENCIES FOR WIND, SEISMIC, SHOW AND OTHER SPECIAL LOADING CONDITIONS. IF DISCREPANCIES ARE DISCOVERED, ARCHITECT SHALL BE NOTIFIED.

BASIC WIND SPEED = 110 MPH PER TABLE R301.2(4)
TOPOGRAPHIC EFFECTS = NO
WEATHERING = SEVERE
FROST LINE DEPTH = 40"
TERMITES = MODERATE TO HEAVY PER FIGURE R301.2(6)
ICE SHIELD UNDERLAYMENT REQUIRED = YES
WIND EXPOSURE CATEGORY = SURFACE ROUGHNESS B, EXPOSURE B (PER R301.2.1.4)
CLIMATE ZONE = SA

WIND-BORNE DEBRIS REGION = YES PER R202 (WIND ZONE 2)
HURRICANE-PRONE REGIONS = YES PER R202
PROTECTION OF OPENINGS = NO PER R301.2.1.2 (ONLY REQ'D IN WIND ZONE 3)

HEADERS NOT SHOWN ON DRAWINGS PER "HEADER SCHEDULE" THIS SHEET

2. SITE WORK

- A. PERFORM EXCAVATION, ACCORDING TO GOOD COMMON CONSTRUCTION PRACTICES, TO THE LINES, GRADES, AND ELEVATIONS INDICATED ON THE DRAWINGS.
B. PROVIDE CONSISTENT COMPACTION OF THE TOP 8" OF SUB-GRADE, FILL, AND BACKFILL MATERIAL BENEATH STRUCTURES, WALKS, AND PAVEMENTS TO MEET THE STATED SOIL PRESSURE.
C. PROVIDE SOIL POISONING TO CONTROL TERMITES AS REQUIRED BY GOVERNING CODES.
D. PROVIDE AND INSTALL VENTRATION FOR RADON GAS AS REQUIRED BY LOCAL BUILDING AGENCIES AND GOVERNING CODES.
E. TOP OF FOUNDATION ELEVATION IS ASSUMED TO BE 6" ABOVE THE FINAL GRADE AT THE OVERHEAD GARAGE DOOR OPENING. CHANGES IN THE FOUNDATION WALL ELEVATION RELATIVE TO THE FINAL GRADE WILL RESULT IN CHANGES TO THE FOUNDATION DRAWINGS AS WELL AS CHANGES TO THE GARAGEHOUSE ENTRY STAIR.

3. CONCRETE

- A. PROVIDE CONCRETE COMPLYING WITH ASTM C94. UNLESS OTHERWISE NOTED, CONCRETE SHALL HAVE THE FOLLOWING 28 DAY COMPRESSIVE STRENGTHS AS MINIMUMS:
1. CONCRETE FOOTINGS AND FOUNDATIONS: 3000 PSI
2. CONCRETE FLOOR SLABS, WALKS, DRIVES, AND PATIOS: 3500PSI
3. PROVIDE CONSTRUCTION JOINTS SO PANEL SIZE DOES NOT EXCEED 400SF.
B. PROVIDE REINFORCEMENT OF THE SIZE AND SPACING INDICATED ON DRAWINGS. REINFORCING SHALL COMPLY WITH THE FOLLOWING MINIMUMS:
1. BARS: ASTM A615, GRADE 40, DEFORMED BARS.
2. WELDED WIRE FABRIC: ASTM A185.
C. UNLESS NOTED OTHERWISE, ALL SLABS ON GRADE SHALL BE 4" THICK, REINFORCED WITH 6/6 W/1'x1'x4 W/M, AND PLACED OVER 4" MINIMUM COMPACTED SAND OR GRAVEL FILL. INTERIOR SLABS SHALL BE PLACED OVER 6 MIL. STABILIZED POLYETHYLENE VAPOR BARRIER, COORDINATE WITH RADON REMOVAL PROCEDURES.
D. FOOTING SIZES SHOWN ARE TYPICAL ONLY FOR STATED SOIL PRESSURE AND CONSISTENT COMPACTION. CONTRACTOR SHALL BE RESPONSIBLE FOR FOOTINGS COMPLYING WITH THE DESIGN REQUIREMENTS OF SPECIFIC SOIL CONDITIONS.
E. PRECAST CONCRETE LINTELS SHALL BE INSTALLED AND REINFORCED AS PER MANUFACTURERS' SPECIFICATIONS. ARCHITECT SHALL NOT BE RESPONSIBLE FOR DESIGN OF PRECAST CONCRETE LINTELS.

4. MASONRY

- A. PROVIDE STANDARD WEIGHT HOLLOW LOAD-BEARING CONCRETE MASONRY UNITS (CMU) COMPLYING WITH ASTM C90, GRADE N, TYPE 1.
B. REINFORCEMENT SHALL COMPLY WITH THE FOLLOWING AS MINIMUMS:
1. BARS: ASTM A615, GRADE 40, FORWED BARS.
2. WIRE JOINT REINFORCEMENT ASTM A62, GALVANIZED.
C. PROVIDE MORTAR TYPE 'S' IN ACCORDANCE WITH ASTM C270.
D. PROVIDE GROUT IN ACCORDANCE WITH ASTM C476. MINIMUM COMPRESSIVE STRENGTH SHALL BE 3000 PSI UNLESS NOTED OTHERWISE.
E. PROVIDE REINFORCEMENT IN VERTICAL CELLS OR CONCRETE MASONRY UNITS (FULLY EMBEDDED IN GROUT) AS FOLLOWS:
1. TYPICAL REINFORCEMENT SHALL BE ONE #5 AT EACH CORNER, AT BOTH SIDES OF OPENINGS AND AT MAXIMUM SPACING OF 48" O.C.
2. REINFORCE ALL VERTICAL CELLS OF CONCRETE MASONRY UNITS SUPPORTING CONCENTRATED LOAD (BEAMS, STRUCTURAL COLUMNS, ETC.) AT 8" CMU, REINFORCE EACH VERTICAL CELL WITH ONE #5 AND SOLIDIFY FILL WITH GROUT.
F. BEAM POCKETS SHALL BE PROVIDED FOR ALL BEAMS SUPPORTED BY CONCRETE AND/OR MASONRY, UNLESS NOTED OTHERWISE, AND SHALL COMPLY WITH THE FOLLOWING:
1. MINIMUM OF 4" BEARING.
2. HEIGHT AND WIDTH AS REQUIRED BY BEAM.
3. TREATED LUMBER BENEATH ALL WOOD BEAMS.
4. PROVIDE VERTICAL REINFORCING.

5. METALS

- A. ALL STRUCTURAL STEEL SHALL COMPLY WITH APPROPRIATE ASTM SPECIFICATIONS AS FOLLOWS:
B. ALL STEEL CONNECTIONS SHALL BE DESIGNED ACCORDING TO THE MANUAL OF STEEL CONSTRUCTION AND SHALL BE DETAILED BY A QUALIFIED STRUCTURAL STEEL DETAILER & STAMPED BY A LICENSED STRUCTURAL ENGINEER. CONTRACTOR TO SUBMIT STEEL SHOP DRAWINGS TO ARCHITECT PRIOR TO STEEL ERECTION.
C. RETRACTABLE STAIRS, ATTIC LADDERS SHALL BE 'LIST' AS MANUFACTURED BY FAKRO

6. WOOD AND PLASTICS

- A. LUMBER SHALL, IN ADDITION TO COMPLYING WITH GOVERNING CODES, COMPLY WITH:
1. "PRODUCT USE MANUAL" OF THE WESTERN WOOD PRESERVATION ASSOCIATION FOR SELECTION AND USE OF PRODUCTS INCLUDED IN THAT MANUAL.
2. "PLYWOOD SPECIFICATION AND GRADE GUIDE" OF THE AMERICAN PLYWOOD ASSOCIATION.
3. "STANDARD SPECIFICATIONS FOR GRADES OF CALIFORNIA REDWOOD LUMBER" OF THE REDWOOD INSPECTION BUREAU FOR REDWOOD.
4. AMERICAN WOOD PRESERVERS ASSOCIATION STANDARDS AND RECOMMENDATIONS FOR FIRE-RETARDANT AND PRESERVATIVE TREATED LUMBER AND PLYWOOD.
5. WESTERN RED CEDAR LUMBER ASSOCIATION STANDARDS AND RECOMMENDATIONS FOR CEDAR.
B. PROVIDE LUMBER AND MATERIALS MEETING OR EXCEEDING THE FOLLOWING STANDARDS OF QUALITY:
1. FRAMING MEMBERS:
A. ALL INTERIOR OR OTHERWISE PROTECTED DIMENSION LUMBER SHALL BE SPRUCE-PINE-FIR (SPF) GRADE NO. 2 OR BETTER FOR RAFTERS, JOISTS, HEADERS, AND STUDS, UNLESS NOTED OTHERWISE.
2. ALL HEADERS AND BEAMS SHALL BE FREE FROM SPLITS, CHECKS, AND SHAKES.
3. SHEATHING:
A. ALL ROOF, FLOOR, AND WALL PANELS SHALL BE APA RATED EXPOSURE 1 SHEATHING COMPLYING WITH DOC PS 1 AND PS 2. FULL 4X8 PANELS SHALL BE USED TO THE MAXIMUM EXTENT PRACTICABLE.
B. FLOOR SHEATHING:
1. MINIMUM SPAN RATING: 32/16
2. MINIMUM THICKNESS: 23/32"
3. GLUED AND NAILED WITH TONGUE AND GROOVE JOINTS
4. FASTENERS: 6D COMMON AT 6" OC ALONG SUPPORTED EDGES AND 12" OC INTERMEDIATE, WITHIN 4 FT OF GABLE END WALLS. 4" OC
5. NOTE: USE APA RATED STURD—FLOOR OR ADVANTECH
C. ROOF SHEATHING:
1. MINIMUM SPAN RATING: 32/16
2. MINIMUM THICKNESS: 5/8" T&G
3. GLUED AND NAILED WITH TONGUE AND GROOVE JOINTS
4. FASTENERS: 6D COMMON
5. FASTENER SPACING GENERAL: 6" OC ALONG SUPPORTED EDGES AND 6" OC INTERMEDIATE, WITHIN 4 FT OF GABLE END WALLS. 4" OC
D. WALL SHEATHING:
1. ALL EXTERIOR WALL SHEATHING (1/2" THICK PLYWOOD OR OSB SHEATHING PANELS) IS TO BE CLEANED FREE OF DEBRIS AND THEN NAILED TO THE FRAMING MEMBERS WITH 10D NAILS ON A 6" O.C. (EDGES) & 5" O.C. (FIELD) NAILING PATTERN, UNLESS OTHERWISE NOTED. SOLID BLOCK ALL JOINTS TYPICAL. LAY OUT SHEATHING SUCH THAT THERE IS A MINIMUM OF 1/8" EXTENDING IN EACH DIRECTION BEYOND THE FLOOR FRAMING. IF THIS CANNOT BE ACHIEVED THEN STRAPPING MUST BE USED. CONTACT ARCHITECT FOR STRAPPING SPACING AND DEVELOPMENT LENGTH BEFORE INSTALLATION.
E. UNDER LAYMENT: 1/8" LUAM-UNDERLAYMENT GRADE. (AT VINYL ONLY)
F. PROPER ORIENTED STRAND BOARD MAY BE SUBSTITUTED FOR PLYWOOD.

- C. HOLD-DOWNS AND FRAMING CONNECTORS
1. ALL STRUCTURAL FRAMING CONNECTIONS, UNLESS SPECIFICALLY NOTED OTHERWISE, SHALL BE "STRONG TIE" AS MANUFACTURED BY THE SIMPSON CO. IN ACCORDANCE WITH "WOOD CONSTRUCTION CONNECTORS" CATALOG C-2009. ALL FASTENERS (TYPE, SIZE, AND QUANTITY) SPECIFIED IN SIMPSON'S CONNECTOR SCHEDULE SHALL BE INSTALLED. THE ABBREVIATION "SST" ON THE DRAWINGS INDICATE FASTENERS/CONNECTORS AS MANUFACTURED BY SIMPSON STRONG TIE.
2. ALL CONNECTORS AND FASTENERS FOR PRESERVATIVE TREATED WOOD SHALL BE SHOCK-COATED AND/OR STAINLESS STEEL TO SUIT THE SPECIFIC EXPOSURE(S) AND WOOD PRESERVATIVE(S) IN ACCORDANCE WITH SIMPSON STRONG-TIE RECOMMENDATIONS. THE CONTRACTOR SHALL REVIEW DOCUMENTATION CONTAINED IN THE SIMPSON STRONG-TIE CATALOG AND PROVIDE CONNECTORS AND FASTENERS THAT ARE ACCEPTABLE FOR THE EXPOSURE AND CHEMICAL PRESERVATIVES USED ON THE PROJECT. THE REVIEW SHALL CONSIDER THE TYPE OF PRESERVATIVE(S), PRESERVATIVE RETENTION LEVEL(S), AND EXPOSURE ENVIRONMENT(S).
3. ALL CONNECTORS AND FASTENERS FOR EXPOSED PORCH AND DECK FRAMING IN COASTAL ENVIRONMENTS SHALL BE STAINLESS STEEL.
4. INSTALL JOIST AND BEAM HANGERS CAPABLE OF SUPPORTING THE MAXIMUM ALLOWABLE LOAD OF JOIST OR BEAM BEING SUPPORTED.
D. LAMINATED VENEER LUMBER (LVL)
1. LAMINATED VENEER LUMBER SHALL BE 1.5E T1 MICROLAM LVL BY TRUS JOIST, OR APPROVED EQUAL, UNLESS OTHERWISE INDICATED.
2. PARALLEL STRAND LUMBER (PSL) PARALLEL STRAND LUMBER SHALL BE 1.5E PARALLAM PSL BY TRUS JOIST, OR APPROVED EQUAL, UNLESS OTHERWISE INDICATED.
3. ENGINEERED WOOD JOISTS, JOISTS AND ACCESSORIES INCLUDING RIM JOISTS SHALL BE THE PRODUCTS OF TRUS JOIST, OR APPROVED EQUAL.
4. USE EXTERIOR GRADE MICRO LAM IN ALL AREAS SUBJECT TO MOISTURE.

- E. PLATE CONNECTED WOOD TRUSSES
1. DESIGN AND FABRICATION OF TRUSSES SHALL BE SUBJECT TO THIRD PARTY INSPECTION TRUSSES SHALL BE DESIGNED FOR ALL COMBINATIONS OF DEAD, LIVE, WIND, AND SNOW LOADS AS REQUIRED UNDER THE REFERENCED CODES. SNOW LOADING SHALL INCLUDE UNIFORM, UNBALANCED, DRIFTING, AND/OR SLIDING TO SUIT EACH CONDITION.
2. THE TRUSS SUPPLIER SHALL DESIGN ALL REQUIRED TRUSS CONFIGURATIONS, INCLUDING BUT NOT LIMITED TO COMMON, GIRDER, JACK, HP, VALLEY, AND SPECIAL.
3. IF THE TRUSS SUPPLIER PROPOSES TO USE DIMENSION LUMBER OVERFRAMING TO SUIT VARIOUS CONDITIONS IN ADDITION TO ANY SUCH LOCATIONS SHOWN ON THE DRAWINGS, THAT WORK SHALL BE COORDINATED WITH THE GENERAL CONTRACTOR SUCH THAT ALL WORK IS INCLUDED UNDER THE CONTRACT.
4. TRUSSES SHALL BE DESIGNED SUCH THAT BUCKLING OF ANY INDIVIDUAL MEMBERS IS RESISTED INTERNALLY BY THE INDIVIDUAL TRUSS THROUGH SUITABLE MEANS, SUCH AS T-OR-L BRACING.
5. TRUSSES SHALL BE ERECTED IN ACCORDANCE WITH TPI AND TRUSS MANUFACTURER PUBLICATIONS, PROVIDE ALL TEMPORARY BRACING AS SHOWN ON SUBMITTALS AND IN APPLICABLE PUBLICATIONS.
6. PROVIDE WOOD TRUSSES ABLE TO SUSTAIN THE STATED LOADS FOR THE SPANS, PROFILES, AND ARRANGEMENT SHOWN ON THE DRAWINGS. TRUSS LAYOUT IS SCHEMATIC ONLY. TRUSS MANUFACTURER AND/OR ENGINEER SHALL BE RESPONSIBLE FOR THE DESIGN AND SPACING OF ALL TRUSSES. CONTRACTOR TO SUBMIT TRUSS DRAWINGS AND/OR ROOF FRAMING DRAWINGS TO ARCHITECT FOR REVIEW PRIOR TO CONSTRUCTION.
7. PROVIDE HURRICANE CLIPS, HOLD DOWNS, STRAPS AND OTHER CONNECTORS AS REQUIRED BY TRUSS MANUFACTURER. DESIGN OF ALL CONNECTORS BY TRUSS MANUFACTURER.

- F. PRESSURE TREATED LUMBER
A. DIMENSION LUMBER FOR THE FOLLOWING LOCATIONS SHALL BE PRESERVATIVE—TREATED (PT) SOUTHERN PINE #2 OR BETTER
• PORCHES, DECKS, AND OTHER FRAMING EXPOSED TO THE WEATHER
• INTERIOR WOOD JOISTS WITHIN 16" OF EXPOSED GROUND
• INTERIOR WOOD OR BUILT-UP BEAMS WITHIN 12" OF EXPOSED GROUND
• SILL PLATES
• ALL WALL FRAMING AND SHEATHING LESS THAN 6" FROM EXPOSED GROUND
ALL PT LUMBER TO BE TREATED WITH A PENETRATING WATER REDUCER (SUCH AS BOILED LINSEED OIL) IN ORDER TO INCREASE THE LIFE OF THE STRUCTURE. ALL PT LUMBER IS TO HAVE ANY CUT ENDS FIELD TREATED WITH VOLMAN'S WOODLIFE COPPERCOT.
B. WOOD INSTALLATION
A. UNLESS NOTED OTHERWISE, PROVIDE:
1. DOUBLE JOISTS AND TRIMMERS AT ALL FLOOR OPENINGS.
2. DOUBLE JOISTS UNDER ALL PARTITIONS PARALLEL TO JOISTS.
3. DOUBLE JOISTS OR JOISTS AT 12" O.C. AT ALL KITCHENS AND BATHS.
4. PROVIDE HEADERS PER "HEADER SCHEDULE" OR AS INDICATED ON THE DRAWINGS.
5. ONE ROW OF 1X3 CROSS-BRIDGE OR METAL BRIDGING FOR EACH 8'-0" OF JOIST SPAN.
6. STUD SPACING AT ALL EXTERIOR AND BEARING WALLS SHALL BE 16" O.C. MINIMUM.
C. STUD WALLS SHALL NOT EXCEED THE FOLLOWING HEIGHTS WITHOUT CONTINUOUS LATERAL SUPPORT PERPENDICULAR TO THE PLANE OF THE WALL AT THE STATED HEIGHT OR LESS. STUDS SHALL BE CONTINUOUS BETWEEN POINTS OF LATERAL SUPPORT.
1. BEARING WALLS:
A. 2X4: 10'-0"
B. 2X6: 12'-0"
2. NON-BEARING WALLS:
A. 2X4: 14'-0"
B. 2X6: 20'-0"
D. UNLESS NOTED OTHERWISE, RAFTERS, CEILING JOISTS, COLLAR TIES, AND PURLINS SHALL BE SIZED AND SPACED IN ACCORDANCE WITH FHA REQUIREMENTS OR GOVERNING CODES.

- G. 3/4" THICK RISERS OR, SHALL BE FABRICATED BY COMPONENT MANUFACTURER. ALL WOOD PLATES BEARING ON CONCRETE OR MASONRY SHALL BE PRESERVATIVE TREATED. AT EXTERIOR WALLS INSTALL PLATES OVER FOAM SILL SEALER GASKET.
F. PROVIDE 2" NOMINAL PRESERVATIVE TREATED LUMBER OVER 6 MIL. STABILIZED POLYETHYLENE BENEATH FULL BEARING OF WOOD BEAMS BEARING ON CONCRETE OR MASONRY.
H. PROVIDE SHIPPON STRONG WALL GARAGE PORTAL SYSTEM AROUND ALL OVERHEAD DOORWAYS EXCEPT THOSE WITH 8" INSTALL GARAGE PORTAL SYSTEM PER MANUFACTURER'S RECOMMENDED GUIDELINES.
I. ALL FRAMING SHALL BE ERECTED TRUE TO LINE, PLUMB AND LEVEL, AND SHALL BE FASTENED TO DEVELOP THE FULL STRENGTH OF THE ASSEMBLY IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
J. DIMENSION LUMBER BEAMS FRAMING INTO FLUSH STEEL AND LVL BEAMS SHALL BE SET 1/4" ABOVE THE TOP OF BEAM TO ACCOMMODATE BRACKAGE.
K. ALL CONTINUOUS POSTS SHALL BE LATERALLY BRACED IN BOTH DIRECTIONS AT EACH FLOOR AND CEILING LEVEL.
L. ALL ENGINEERED PRODUCTS SHALL BE STORED AND INSTALLED IN ACCORDANCE WITH PRODUCT MANUFACTURER'S SPECIFICATIONS AND INSTALLATION DETAILS. WITH THE EXCEPTION OF MANUFACTURER-PROVIDED KNOCKOUTS, NO HOLES SHALL BE FIELD-DRLLED IN MEMBERS. IF HOLES ARE REQUIRED, NOTIFY THE ARCHITECT PRIOR TO ORDERING THE PRODUCTS.
M. FLOOR SHEATHING SHALL BE GLUED AND NAILED.
N. PROVIDE 2X WOOD BLOCKING OR RIM JOIST AT ALL SAWN LUMBER FLOOR JOIST SUPPORT POINTS.
O. PROVIDE BLOCKING OR RIM BOARD AT ALL ENGINEERED FLOOR JOIST SUPPORT POINTS. USE JOIST MANUFACTURER'S PRODUCTS AND COMPLY WITH JOIST MANUFACTURER'S INSTALLATION DETAILS.
P. PROVIDE 2X SOLID BLOCKING AT ALL RAFTER TAILS.
Q. SIZES OF DIMENSION LUMBER ARE NOMINAL. ALL LUMBER SHALL BE SURFACED FOUR SIDES UNLESS NOTED OTHERWISE.
R. STRUCTURAL MEMBERS SHALL NOT BE IMPAIRED OR UNDERMINED BY IMPROPER CUTTING OR DRILLING.
S. ALL BUILT-UP LVL BEAMS SHALL BE ASSEMBLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.

7. THERMAL AND MOISTURE PROTECTION

- A. PROVIDE THERMAL BUILDING INSULATION AT ASSEMBLIES ADJACENT TO EXTERIOR OR UNHEATED SPACES MEETING THE REQUIREMENTS OF GOVERNING CODES AND, UNLESS NOTED OTHERWISE, MEETING THE FOLLOWING MINIMUM REQUIREMENTS:
a. FOUNDATIONS: 2" EXTRUDED POLYSTYRENE (R-10)
b. BASEMENT WALLS: R-10 continuous insulated sheathing on the interior or exterior of the home or R-13 cavity insulation at the interior of the basement wall.
c. WALLS: GLASS FIBER BATT (R-50) U/I/O.
d. FLOORS: GLASS FIBER BATT (R-30)
e. CEILINGS: GLASS FIBER BATT (R-38)
f. CATHEDRAL CEILINGS: CLOSED CELL SPRAY FOAM (R-38)
g. INSTALL CONTINUOUS BLANKETS WITHOUT HOLES FOR ELECTRICAL BOXES, LIGHTING FIXTURES, OR HEATING DUCTWORK.
B. INSTALL 6 MIL. STABILIZED POLYETHYLENE VAPOR BARRIER AGAINST INTERIOR FACE OF ALL THERMAL INSULATION.
C. WATERPROOF FOUNDATION WALLS AT EXCAVATED AREAS FROM FOOTING TO FINISHED GRADE WITH TWO COATS OF ASPHALT BASED WATERPROOFING COMPOUND. PROVIDE DRAINAGE MAT AND THE INTO FOUNDATION DRAINS.
D. ROOFING SHALL BE 240 LB. (MINIMUM) COMPOSITION SHINGLES INSTALLED OVER 30 LB. ROOF FELT ON ROOF SHEATHING. MINIMUM SLOPE, FASTENERS, UNDER LAYMENT, AND EXPOSURE ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
E. PROVIDE FLASHING AND SHEET METAL REQUIRED TO PREVENT PENETRATION OF WATER THROUGH THE EXTERIOR SHELL OF THE BUILDING. IN ADDITION TO COMPLYING WITH GOVERNING CODES, COMPLY WITH PERTINENT RECOMMENDATIONS CONTAINED IN THE CURRENT EDITION OF "ARCHITECTURAL SHEET METAL FLASHING" PUBLISHED BY SIMPSON STRONG-TIE. FLASHING SHALL BE HOT-DIPPED GALVANIZED COMPLYING WITH ASTM A93.
F. PROVIDE GUTTERS AND DOWNSPOUTS TO PROVIDE POSITIVE ROOF AND SITE DRAINAGE.
G. PROVIDE ATTIC AND ROOF VENTILATION AS REQUIRED BY GOVERNING CODES AND AS SHOWN ON THE DRAWINGS. PROVIDE APPROPRIATE GIFFIT AND ROOF VENTS.
H. SKYLIGHTS SHALL BE SELECTED BY THE CONTRACTOR AND APPROVED BY THE OWNER. INSTALL SKYLIGHTS ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.
I. INSTALL WATER AND ICE BARRIER (BUTHENE OR EQUAL) OVER ROOF SHEATHING AT ALL LEAVES AND VALLEYS. INSTALL PER CODE AND PER MANUFACTURER'S RECOMMENDATIONS.

8. DOORS AND WINDOWS

- A. EXTERIOR DOORS SHALL BE SELECTED BY THE OWNER.
B. HOUSE-TO-GARAGE DOORS SHALL BE FIRE RATED DOORS APPROVED BY GOVERNING CODES. FACE DESIGN TO BE SELECTED BY THE OWNER.
C. INTERIOR DOORS SHALL BE SELECTED BY THE OWNER.
D. EXTERIOR WINDOWS SHALL BE ALUMINUM OR VINYL CLAD WOOD WINDOWS MANUFACTURED BY PELLA CORP.
E. GLAZING IN ALL DOORS AND WINDOWS SHALL COMPLY WITH GOVERNING CODES.
F. INSTALL EGRESS WINDOWS AND PARTS IN ACCORDANCE WITH GOVERNING CODES.
G. DOOR AND WINDOW SIZES INDICATED OR DRAWINGS ARE AS FOLLOWS: 55-30" REPRESENTS A DOOR OR WINDOW 5'-0" WIDE X 6'-4" HIGH. JAMB DEPTH TO BE COORDINATED BY THE CONTRACTOR.
H. FINISH HARDWARE SHALL BE SELECTED BY THE OWNER. INSTALL HARDWARE IN ACCORDANCE WITH GOVERNING CODES.

9. FINISHES

- A. GYPSUM WALLBOARD, UNLESS NOTED OTHERWISE, SHALL BE PROVIDED AS FOLLOWS:
1. EXTERIOR WALLS: ONE LAYER 1/2" REGULAR WALLBOARD TO INTERIOR FACE.
2. INTERIOR WALLS: ONE LAYER 1/2" REGULAR WALLBOARD EACH FACE.
3. CEILING: ONE LAYER 5/8" TYPE "X" FIRE RATED WALLBOARD AT 16" O.C.
4. GARAGEHOUSE COMMON WALLS / CEILINGS: ONE LAYER 5/8" TYPE "X" (FIRE RATED) WALLBOARD EACH FACE.
5. AT MULTIFAMILY RESIDENCES (2 OR MORE FAMILIES) ALL WALL AND CEILING BOARD TO BE ONE LAYER 5/8" TYPE "X" (FIRE RATED) WALLBOARD EACH FACE.
6. BATHS: MOISTURE AND MOLD RESISTANT WALLBOARD AT WALLS AND CEILINGS. PROVIDE TYPE X IN MULTIFAMILY RESIDENCES. PROVIDE CEMENT BOARD AS SUBSTRATE FOR CERAMIC TILE.
B. PROVIDE METAL CORNER BEAD AND TRIM AT ALL LOCATIONS RECOMMENDED BY THE GYPSUM WALLBOARD MANUFACTURER.
C. TAPE, FLOAT, AND SAND JOINTS AND FASTENERS OF GYPSUM WALLBOARD WITH THREE COATS OF JOINT COMPOUND AS REQUIRED TO OBTAIN A UNIFORMLY SMOOTH SURFACE.
D. FINISHES SHALL BE SELECTED BY THE OWNER.

10. PLUMBING, MECHANICAL AND ELECTRICAL

- A. PLUMBING, MECHANICAL, AND ELECTRICAL INFORMATION AND LAYOUTS SHOWN ON THE DRAWINGS IS SCHEMATIC IN DESIGN, AND SHALL BE REVIEWED BY SUB-CONTRACTORS, SUPPLIERS, AND BUILDING OFFICIALS FOR COMPLIANCE WITH GOVERNING CODES AND GOOD COMMON CONSTRUCTION PRACTICES. THE ARCHITECT SHALL BE NOTIFIED BY THE CONTRACTOR OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
B. PLUMBING, MECHANICAL AND ELECTRICAL EQUIPMENT SHALL BE SELECTED BY THE OWNER.
C. DESIGN AND INSTALLATION OF PLUMBING, MECHANICAL, AND ELECTRICAL EQUIPMENT SHALL BE THE RESPONSIBILITY OF THE APPROPRIATE LICENSED CONTRACTORS AND SUB-CONTRACTORS. DESIGN SHALL BE SUBMITTED FOR OWNER'S REVIEW PRIOR TO ORDERING AND INSTALLATION OF EQUIPMENT.
D. SERVICE PANELS SHALL BE SELECTED BY THE ELECTRICAL SUB-CONTRACTOR.
E. ALL HVAC EQUIPMENT SHALL BE INDIVIDUALLY SWITCHED.
F. ALL OUTDOOR, BATH, AND GARAGE AND SPA WALL RECEPTACLES SHALL BE PROVIDED WITH GROUND FAULT CIRCUIT PROTECTION IN ACCORDANCE WITH GOVERNING CODES.
G. DRYER AND RANGE HOOD VENTS SHALL BE EXTENDED TO THE EXTERIOR.
H. PROVIDE PLUMBING VENTS IN ACCORDANCE WITH GOVERNING CODES. MINIMIZE NUMBER AND LOCATE FOR VISUAL VISUAL IMPACT.
I. INSTALL TYPE AND NUMBER OF SMOKE DETECTORS IN ACCORDANCE WITH GOVERNING CODES & UL217. PROVIDE HARDWIRED AND INTERCONNECTED SMOKE AND CO DETECTORS WITH BATTERY BACKUP PER CODE REQUIREMENTS & AS DIRECTED BY THE LOCAL BUILDING DEPT.
J. CONNECT WATER, GAS, AND ELECTRIC SERVICES IN ACCORDANCE WITH GOVERNING CODES. ELECTRICAL SYSTEM TO BE DESIGNED BY ELECTRICAL CONTRACTOR. ALL ELECTRICAL CALCULATIONS AND WIRE SIZE TO BE PROVIDED BY A LICENSED ELECTRICAL CONTRACTOR. CONTRACTOR TO VERIFY LOCATION, FIXTURE TYPES AND EQUIPMENT WITH OWNER PRIOR TO PURCHASE AND INSTALLATION. PROVIDE POWER FOR ALL APPLIANCES. LOCATE NEW ELECTRICAL DEVICES PER REC REQUIREMENTS & OWNER'S REQUIREMENTS. RECONNECT EXISTING FEATURES TO NEW SWITCH LOCATIONS AS REQUIRED IN THE FIELD. PROVIDE DIMMERS AS DIRECTED BY OWNER. AV, CATV, TELEPHONE AND OTHER LOW VOLTAGE WIRING NOT SHOWN. SYSTEM TO BE DESIGN/BUILD. CONTACT OWNER FOR LOCATIONS OF ALL LOW VOLTAGE WIRING.
K. MECHANICAL SYSTEM TO BE DESIGN/BUILD BY MECHANICAL CONTRACTOR. MECHANICAL SYSTEM TO BE DESIGN/BUILD BY PLUMBING CONTRACTOR. PLUMBING SYSTEM TO BE INSTALLED BY A LICENSED PLUMBING CONTRACTOR.
L. ALL EXISTING UTILITIES AND CITY SERVICES ARE TO BE MAINTAINED, KEPT IN SERVICE, AND PROTECTED AGAINST DAMAGE DURING CONSTRUCTION.
M. UNLESS OTHERWISE NOTED, ELECTRICAL CONDUITS, PLUMBING LINES, ETC., SHALL BE RUN CONCEALED AND FRAMING SHALL BE ADEQUATE SIZE TO ACCOMPLISH RESULT WITHOUT CAUSING ANY CHANGES IN THE WALL PLANE.

11. MISCELLANEOUS

- A. THIS SET OF CONSTRUCTION DRAWINGS IS INTENDED FOR DESIGN INTENT ONLY. ALTHOUGH MANY JURISDICTIONS WILL ACCEPT THESE DRAWINGS AS SUFFICIENT FOR A CONSTRUCTION PERMIT, THESE DRAWINGS ARE NOT INTENDED, AND SHOULD NOT BE CONSTRUED, AS A COMPLETE SET OF CONSTRUCTION DRAWINGS. THESE DRAWINGS WILL HAVE TO BE ADAPTED TO MEET LOCAL ZONING AND/OR SITE CONDITIONS AND ADDITIONAL DETAILING WILL NEED TO BE COMPLETED ON SITE BY THE BUILDER.
B. INSTALL PREFABRICATED FIREPLACE UNITS AS SHOWN ON DRAWINGS.
1. FIREPLACE UNITS SHALL BE "HEAT-N-GLO" OR AS APPROVED BY OWNER.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER INSTALLATION AS RECOMMENDED BY THE MANUFACTURER'S SPECIFICATIONS AND AS REQUIRED BY GOVERNING CODES, INCLUDING MANTEL AND HEARTH DESIGN AND LOCATION.
3. HEARTH SHALL BE OF NON-COMBUSTIBLE MATERIAL.
C. ROOM SIZES SHOWN ON THE PLANS INDICATE ROOM DIMENSIONS PRIOR TO INSTALLATION OF GYPSUM WALL BOARD. GYPSUM WALL BOARD THICKNESS MUST BE SUBTRACTED FROM ROOM SIZES INDICATED FOR ACTUAL ROOM DIMENSIONS AND ARE SUBJECT TO CHANGE.

12. SUBMITTALS

- A. SUBMIT ROOF TRUSS AND/OR RAFTER LAYOUT PLAN AS COMPLETED BY THE MANUFACTURER FOR REVIEW PRIOR TO ORDERING ROOF TRUSSES AND/OR ROOF LUMBER PACKAGE. ALLOW ARCHITECT FIVE BUSINESS DAYS FOR COMPLETE REVIEW.
B. SUBMIT FLOOR TRUSS LAYOUTS SHOWING BEAM LOCATIONS, JOIST LAYOUT, LOCATIONS OF CONTINUOUS DUCT CHASES, AND MAXIMUM DUCT SIZE IN EACH CHASE. ALLOW ARCHITECT FIVE BUSINESS DAYS FOR COMPLETE REVIEW.
C. ARCHITECT WILL NOT BE RESPONSIBLE FOR ANY ERRORS IN THE ROOF AND/OR FLOOR FRAMING WITHOUT THE OPPORTUNITY TO REVIEW THE ROOF AND/OR FLOOR FRAMING LAYOUTS, FRAMING LAYOUTS, MEMBER SIZES, AND FLOOR/ROOF PENETRATIONS INDICATED ON THE DRAWINGS ARE FOR DESIGN INTENT ONLY. FINAL LAYOUTS SHALL BE THE RESPONSIBILITY OF BUILDER.

HEADER SCHEDULE (LONGER HEADER SPANS AS SHOWN ON DRAWINGS)

Table with 3 columns: Span, Header Size, Number of Jack Studs Each End. Rows include First Floor and Second Floor headers for various spans (UP TO 3'-4", UP TO 4'-2", etc.).

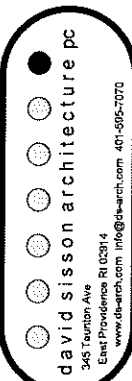


Table with 4 columns: REV. #, DATE, ISSUED FOR, VARIANCE. Contains revision information.

76 Garfield Ave
Providence, RI 02908
PROJECT NUMBER: 20081

GENERAL NOTES & SPECIFICATIONS

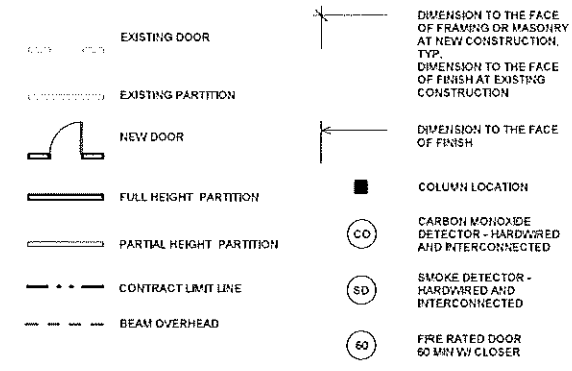


A1.0

A
KEYED NOTES

B

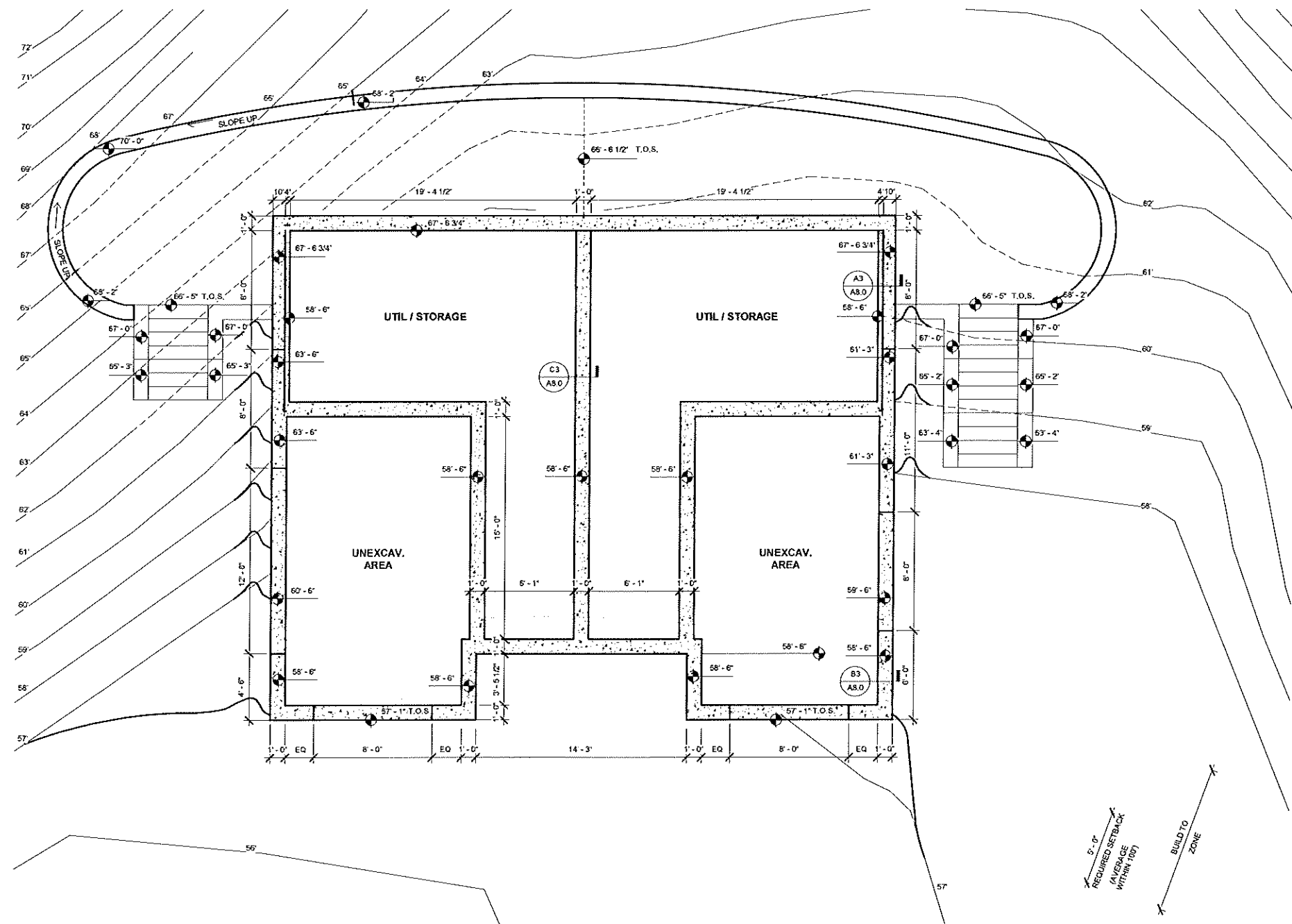
C
PLAN LEGEND



D
GENERAL NOTES

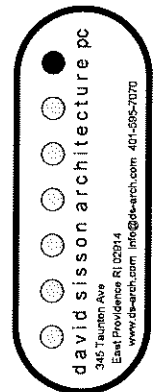
1. VERIFY ALL DIMENSIONS IN THE FIELD. DO NOT SCALE DRAWINGS.
2. ALL INTERIOR WALLS 2X4 AT 16" O.C. UNLESS NOTED OTHERWISE. PROVIDE DOUBLE TOP PLATES. SEE B450.0
3. ALL DOOR JAMBS 4" OFF WALL UNLESS NOTED OTHERWISE
4. CENTER DOORS IN WALL UNLESS NOTED OTHERWISE
5. PROVIDE HARDWARE AND INTERCONNECTED SMOKE AND CO DETECTORS WITH BATTERY BACKUP PER CODE REQUIREMENTS & AS DIRECTED BY THE LOCAL BUILDING DEPT.
6. PATCH AND REPAIR EXISTING WALLS LOCATED IN UNALTERED AREAS AFFECTED BY ALL NEW WORK, WHETHER SHOWN ON THE DRAWINGS OR NOT.
7. PATCH, PAINT AND REFINISH ALL EXISTING WALLS, FLOORS, CEILINGS & TRIM THROUGHOUT REPLACE MATERIALS IN-KIND WHEN DAMAGED PAST POINT OF REPAIR.
8. PLANS DO NOT FULLY REPRESENT ALL NEW WORK. THE CONSTRUCTION DOCUMENTS ARE INTENDED TO SERVE AS GENERAL GUIDELINES.
9. PATCH AND REPAIR EXISTING WALLS, FLOORS, CEILINGS & TRIM THROUGHOUT REPLACE MATERIALS IN-KIND WHEN DAMAGED PAST POINT OF REPAIR.
10. VERIFY ALL DIMENSIONS IN THE FIELD. DO NOT SCALE DRAWINGS.
11. PROVIDE ELECTRICAL PER STATE ELECTRICAL CODE REQUIREMENTS. PROVIDE POSER FOR ALL APPLIANCES. LOCATE NEW ELECTRICAL DEVICES PER NEC REQUIREMENTS & OWNER'S REQUIREMENTS.
12. PROVIDE PLUMBING PER STATE PLUMBING CODE REQUIREMENTS
13. HVAC SYSTEM TO BE DESIGN BUILD. PROVIDE PER STATE CODE REQUIREMENTS.
14. PROVIDE SOLID WOOD BLOCKING AS REQUIRED.
15. PROVIDE FIRE EXTINGUISHERS PER CODE AND PER REQUIREMENTS OF THE BUILDING OFFICIAL.
16. INSTALL BATT INSULATION FULL DEPTH AT ALL EXPOSED STUD CAVITIES (CLOSED CELL SPRAY FOAM AT ATTIC ROOF CAVITIES)
17. COVER ALL WALLS AND CEILINGS 1/2" THICK GYPSUM BOARD UNLESS NOTED OTHERWISE.
18. PROVIDE MOISTURE AND MOLD RESISTANT GYPSUM BOARD AT BATHROOMS UNLESS NOTED OTHERWISE.
19. ALL APPLIANCES PROVIDED BY OWNER, INSTALLED BY CONTRACTOR.
20. RECONNECT EXISTING FIXTURES TO NEW SWITCH LOCATIONS AS REQUIRED IN THE FIELD.
21. ALL EXISTING FIXTURES TO REMAIN UNLESS NOTED OTHERWISE.
22. ALL CATV, TELEPHONE AND OTHER LOW VOLTAGE WIRING NOT SHOWN. SYSTEM TO BE DESIGN BUILD. CONTACT OWNER FOR LOCATIONS OF ALL LOW VOLTAGE WIRING.

1
2
3
4



A4 FLOOR PLAN - FOUNDATION
1/4" = 1'-0"

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REV. #	DATE	ISSUED FOR:	VARIANCE

76 Garfield Ave
Providence, RI 02908
PROJECT NUMBER: 20081

PLAN FOUNDATION



A4.0

A
KEYED NOTES

- 1 DROP FOUNDATION AT GARAGE DOOR
- 2 PROVIDE LEDGER ALONG THIS WALL. SEE DETAILS A1/A3.1, A2/A3.1 & A4/A3.1
- 3 4" THICK CONCRETE SLAB
- 4 STAIR - 9" TREAD, MAX 8 20" RISER, HANDRAIL ONE SIDE AT 36" ABOVE NOSINGS, RETURN TO WALL BOTH ENDS. SEE DETAILS B1/A3.1, B2/A3.1 & B3/A3.1
- 5 EGRESS WINDOW
- 6 EGRESS WINDOW WELL. SEE DETAIL C2/A3.1
- 7 TUB
- 8 TOILET
- 9 30" VANITY W/ SINK
- 10 DECK: TREX ON PRESSURE TREATED FRAMING
- 11 POST:
- 12 STAIR - 9" TREAD, MAX 8 20" RISER, HANDRAIL TWO SIDES AT 36" ABOVE NOSINGS, RETURN TO WALL BOTH ENDS. SEE DETAILS B1/A3.1, B2/A3.1 & B3/A3.1
- 13 CONCRETE STRIP FOOTING FOR BASE OF STAIR 12"x12", REINFORCE W/ (2) #4 REBAR CONT.

B

C
PLAN LEGEND

- EXISTING DOOR
- EXISTING PARTITION
- NEW DOOR
- FULL HEIGHT PARTITION
- PARTIAL HEIGHT PARTITION
- CONTRACT LIMIT LINE
- BEAM OVERHEAD
- DIMENSION TO THE FACE OF FRAMING OR MASONRY AT NEW CONSTRUCTION TYP.
- DIMENSION TO THE FACE OF FINISH AT EXISTING CONSTRUCTION
- COLUMN LOCATION
- CARBON MONOXIDE DETECTOR - HARDWIRED AND INTERCONNECTED
- SMOKE DETECTOR - HARDWIRED AND INTERCONNECTED
- FIRE RATED DOOR 60 MIN W/CLOSER

D
GENERAL NOTES

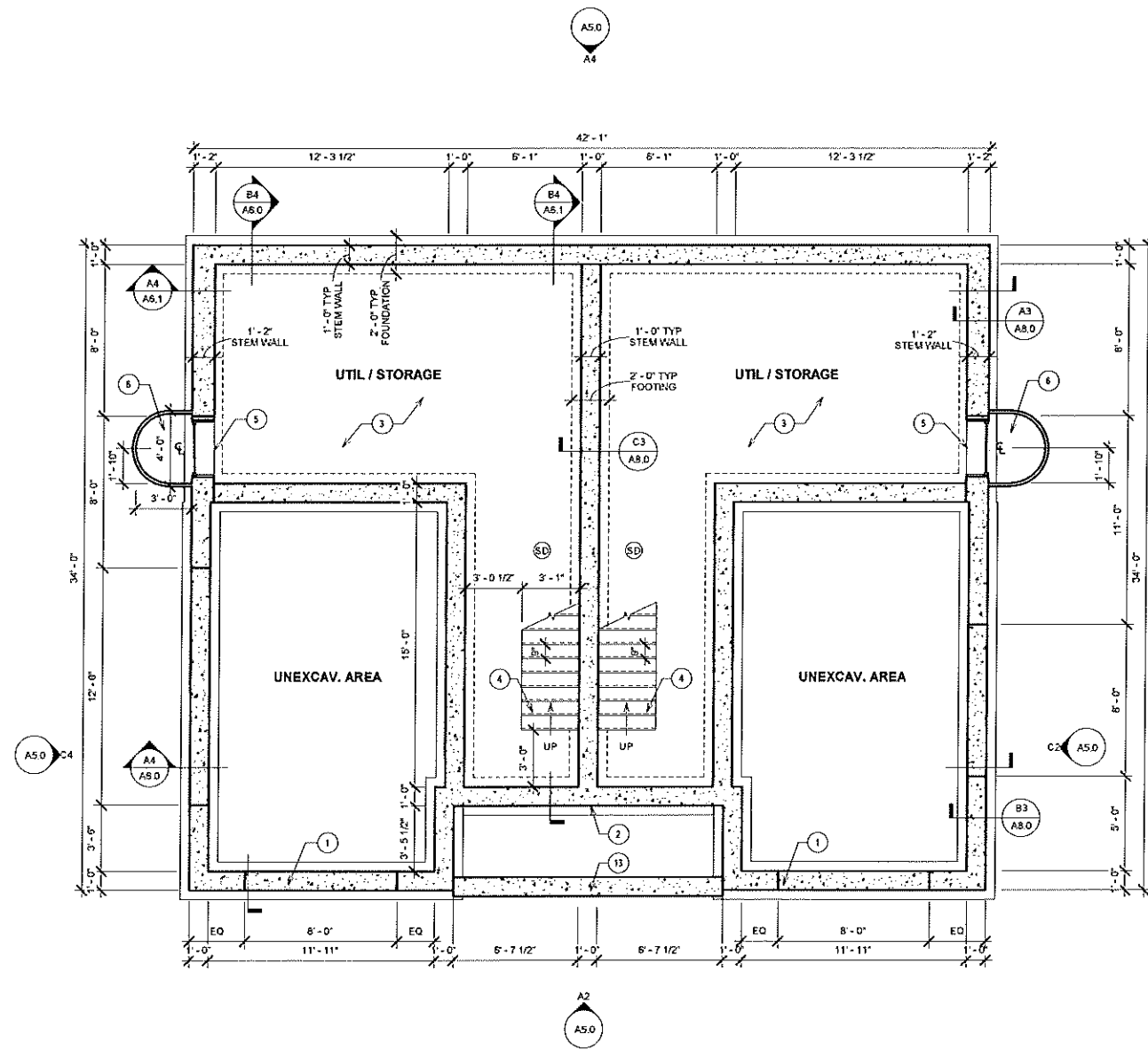
1. VERIFY ALL DIMENSIONS IN THE FIELD. DO NOT SCALE DRAWINGS.
2. ALL INTERIOR WALLS 2X4 AT 16" O.C. UNLESS NOTED OTHERWISE. PROVIDE DOUBLE TOP PLATES. SEE B4/A3.0
3. ALL DOOR JAMBS 4" OFF WALL UNLESS NOTED OTHERWISE
4. CENTER DOORS IN WALL UNLESS NOTED OTHERWISE
5. PROVIDE HARDWARE AND INTERCONNECTED SMOKE AND CO DETECTORS WITH BATTERY BACKUP PER CODE REQUIREMENTS & AS DIRECTED BY THE LOCAL BUILDING DEPT.
6. PATCH AND REPAIR EXISTING WALLS LOCATED IN UNALTERED AREAS AFFECTED BY ALL NEW WORK, WHETHER SHOWN ON THE DRAWINGS OR NOT.
7. PATCH, PAINT AND REFINISH ALL EXISTING WALLS, FLOORS, CEILINGS & TRIM THROUGHOUT REPLACE MATERIALS IN KIND WHEN DAMAGED PAST POINT OF REPAIR.
8. PLANS DO NOT FULLY REPRESENT ALL NEW WORK. THE CONSTRUCTION DOCUMENTS ARE INTENDED TO SERVE AS GENERAL GUIDELINES.
9. PATCH AND REPAIR EXISTING WALLS, FLOORS, CEILINGS & TRIM THROUGHOUT REPLACE MATERIALS IN KIND WHEN DAMAGED PAST POINT OF REPAIR.
10. PROVIDE ELECTRICAL PER STATE ELECTRICAL CODE REQUIREMENTS. PROVIDE POWER FOR ALL APPLIANCES. LOCATE NEW ELECTRICAL DEVICES PER NEC REQUIREMENTS & OWNER'S REQUIREMENTS.
11. PROVIDE PLUMBING PER STATE PLUMBING CODE REQUIREMENTS
12. HVAC SYSTEM TO BE DESIGN BUILD, PROVIDE PER STATE CODE REQUIREMENTS.
13. PROVIDE SOLID WOOD BLOCKING AS REQUIRED.
14. PROVIDE FIRE EXTINGUISHERS PER CODE AND PER REQUIREMENTS OF THE BUILDING OFFICIAL.
15. INSTALL BATT INSULATION FULL DEPTH AT ALL EXPOSED STUD CAVITIES (CLOSED CELL SPRAY FOAM AT ATTIC ROOF CAVITIES)
16. COVER ALL WALLS AND CEILINGS W/ 1/2" THICK GYPSUM BOARD UNLESS NOTED OTHERWISE.
17. PROVIDE MOISTURE AND MOLD RESISTANT GYPSUM BOARD AT BATHROOMS UNLESS NOTED OTHERWISE.
18. ALL APPLIANCES PROVIDED BY OWNER, INSTALLED BY CONTRACTOR.
19. RECONNECT EXISTING FIXTURES TO NEW SWITCH LOCATIONS AS REQUIRED IN THE FIELD.
20. ALL CATV, TELEPHONE AND OTHER LOW VOLTAGE WIRING NOT SHOWN. SYSTEM TO BE DESIGN/BUILD, CONTACT OWNER FOR LOCATIONS OF ALL LOW VOLTAGE WIRING.

1

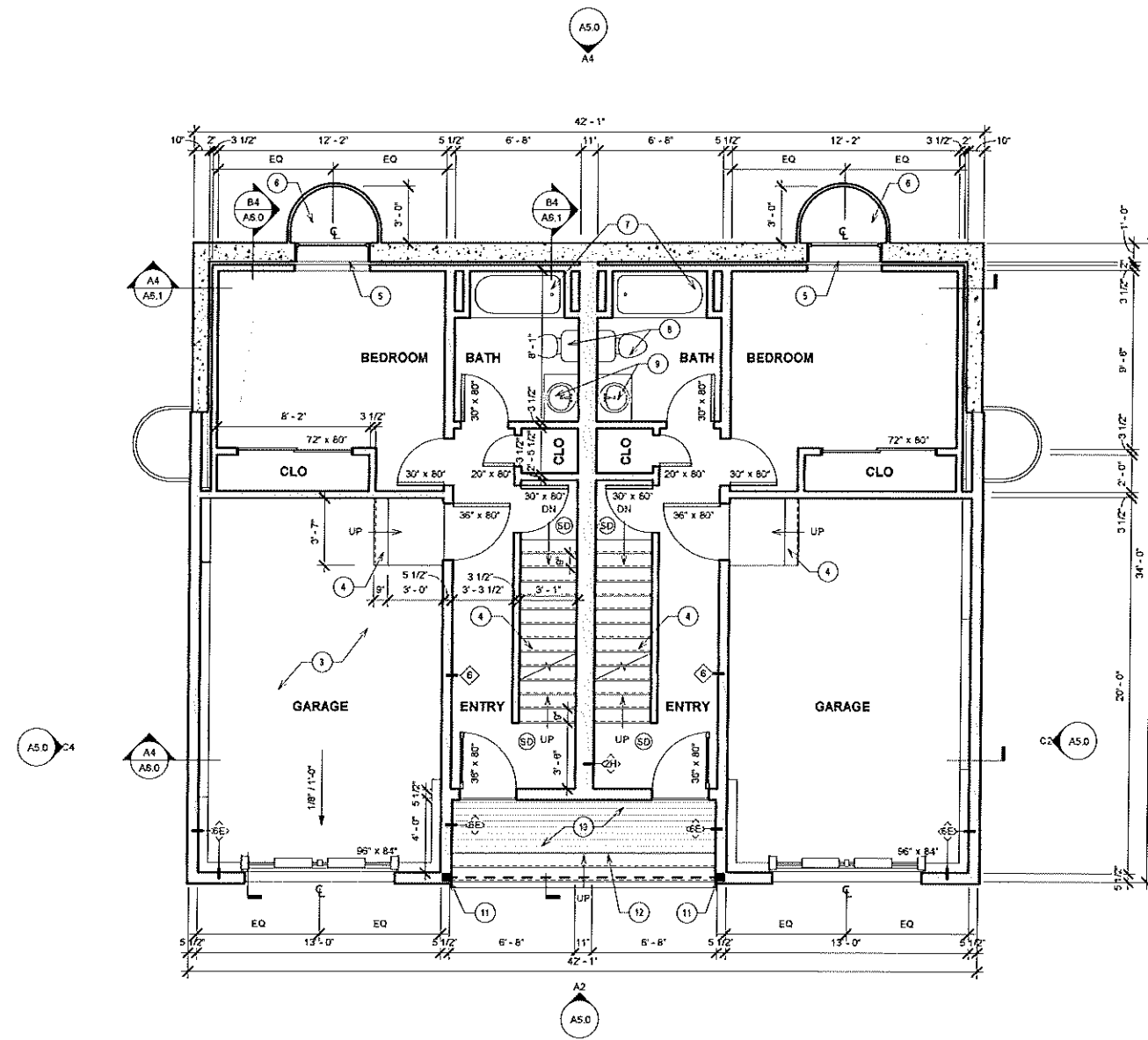
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3

4



A4 FLOOR PLAN - BASEMENT
1/4" = 1'-0"



A4 FLOOR PLAN - 1ST FL
1/4" = 1'-0"

REV. #	DATE	ISSUED FOR
		VARIANCE

A
KEYED NOTES

- 1 STAIR - 9" TREAD, MAX 8.25" RISER, HANDRAIL ONE SIDE AT 36" ABOVE NOSINGS, RETURN TO WALL BOTH ENDS, SEE DETAIL S B1/A3.1, B2/A3.1 & B3/A3.1
- 2 EGRESS WINDOW/WELL, SEE DETAIL C2/A3.1
- 3 RETAINING WALL TYP.
- 4 TOILET
- 5 36" VANTY W/ SINK
- 6 SLATTED OPEN WALL
- 7 COUNTERTOP, BASE CABINETS BELOW, UPPER CABINETS ABOVE, PROVIDE UNDERCABINET LIGHTS TYP.
- 8 SINK ON 36" SINK BASE
- 9 RANGE WITH HOOD, DUCT HOOD OUTSIDE.
- 10 KITCHEN ISLAND
- 11 5'-0" VANTY WOODBLE SINK
- 12 TUB
- 13 SHELF
- 14 STACKED WASHER AND DRYER, VENT DRYER OUTSIDE
- 15 STAIR - 11" TREAD, MAX 8.25" RISER, SET EXACT NUMBER OF TREADS AND RISERS IN THE FIELD, ADJUST DIMENSIONS AS REQ'D

B

PLAN LEGEND

- EXISTING DOOR
- EXISTING PARTITION
- NEW DOOR
- FULL HEIGHT PARTITION
- PARTIAL HEIGHT PARTITION
- CONTRACT LIMIT LINE
- BEAM OVERHEAD
- DIMENSION TO THE FACE OF FRAMING OR MASONRY AT NEW CONSTRUCTION, TYP. DIMENSION TO THE FACE OF FINISH AT EXISTING CONSTRUCTION
- DIMENSION TO THE FACE OF FINISH
- COLUMN LOCATION
- CARBON MONOXIDE DETECTOR - HARDWIRED AND INTERCONNECTED
- SMOKE DETECTOR - HARDWIRED AND INTERCONNECTED
- FIRE RATED DOOR 60 MIN W/ CLOSER

C

GENERAL NOTES

1. VERIFY ALL DIMENSIONS IN THE FIELD. DO NOT SCALE DRAWINGS.
2. ALL INTERIOR WALLS 2X4 AT 16" O.C. UNLESS NOTED OTHERWISE. PROVIDE DOUBLE TOP PLATES. SEE B4/A00
3. ALL DOOR JAMBS 4" OFF WALL UNLESS NOTED OTHERWISE
4. CENTER DOORS IN WALL UNLESS NOTED OTHERWISE
5. PROVIDE HARDWIRED AND INTERCONNECTED SMOKE AND CO DETECTORS WITH BATTERY BACKUP PER CODE REQUIREMENTS & AS DIRECTED BY THE LOCAL BUILDING DEPT.
6. PROTECT IN PLACE ALL EXISTING FIXTURES AND SURFACES SCHEDULED TO REMAIN.
7. PATCH AND REPAIR EXISTING WALLS LOCATED IN UNALTERED AREAS AFFECTED BY ALL NEW WORK, WHETHER SHOWN ON THE DRAWINGS OR NOT.
8. PATCH, PAINT AND REFINISH ALL EXISTING WALLS, FLOORS, CEILINGS & TRIM THROUGHOUT REPLACE MATERIALS IN-KIND WHEN DAMAGED PAST POINT OF REPAIR.
9. PLANS DO NOT FULLY REPRESENT ALL NEW WORK. THE CONSTRUCTION DOCUMENTS ARE INTENDED TO TO SERVE AS GENERAL GUIDELINES.
10. PROVIDE ELECTRICAL PER STATE ELECTRICAL CODE REQUIREMENTS. PROVIDE POWER FOR ALL APPLIANCES. LOCATE NEW ELECTRICAL DEVICES PER REC REQUIREMENTS & OWNER'S REQUIREMENTS.
11. PROVIDE PLUMBING PER STATE PLUMBING CODE REQUIREMENTS
12. HVAC SYSTEM TO BE DESIGN BUILD. PROVIDE PER STATE CODE REQUIREMENTS.
13. PROVIDE SOLID WOOD BLOCKING AS REQUIRED.
14. PROVIDE FIRE EXTINGUISHERS PER CODE AND PER REQUIREMENTS OF THE BUILDING OFFICIAL.
15. INSTALL BATT INSULATION FULL DEPTH AT ALL EXPOSED STUD CAVITIES (CLOSED CELL SPRAY FOAM AT ATTIC ROOF CAVITIES)
16. COVER ALL WALLS AND CEILINGS W/ 1/2" THICK GYPSUM BOARD UNLESS NOTED OTHERWISE.
17. PROVIDE MOISTURE AND MOLD RESISTANT GYPSUM BOARD AT BATHROOMS UNLESS NOTED OTHERWISE.
18. ALL APPLIANCES PROVIDED BY OWNER, INSTALLED BY CONTRACTOR.
19. RECONNECT EXISTING FIXTURES TO NEW SWITCH LOCATIONS AS REQUIRED IN THE FIELD.
20. RECONNECT EXISTING FIXTURES TO NEW SWITCH LOCATIONS AS REQUIRED IN THE FIELD.
21. AV, CATV, TELEPHONE AND OTHER LOW VOLTAGE WIRING NOT SHOWN. SYSTEM TO BE DESIGN BLD. CONTACT OWNER FOR LOCATIONS OF ALL LOW VOLTAGE WIRING.

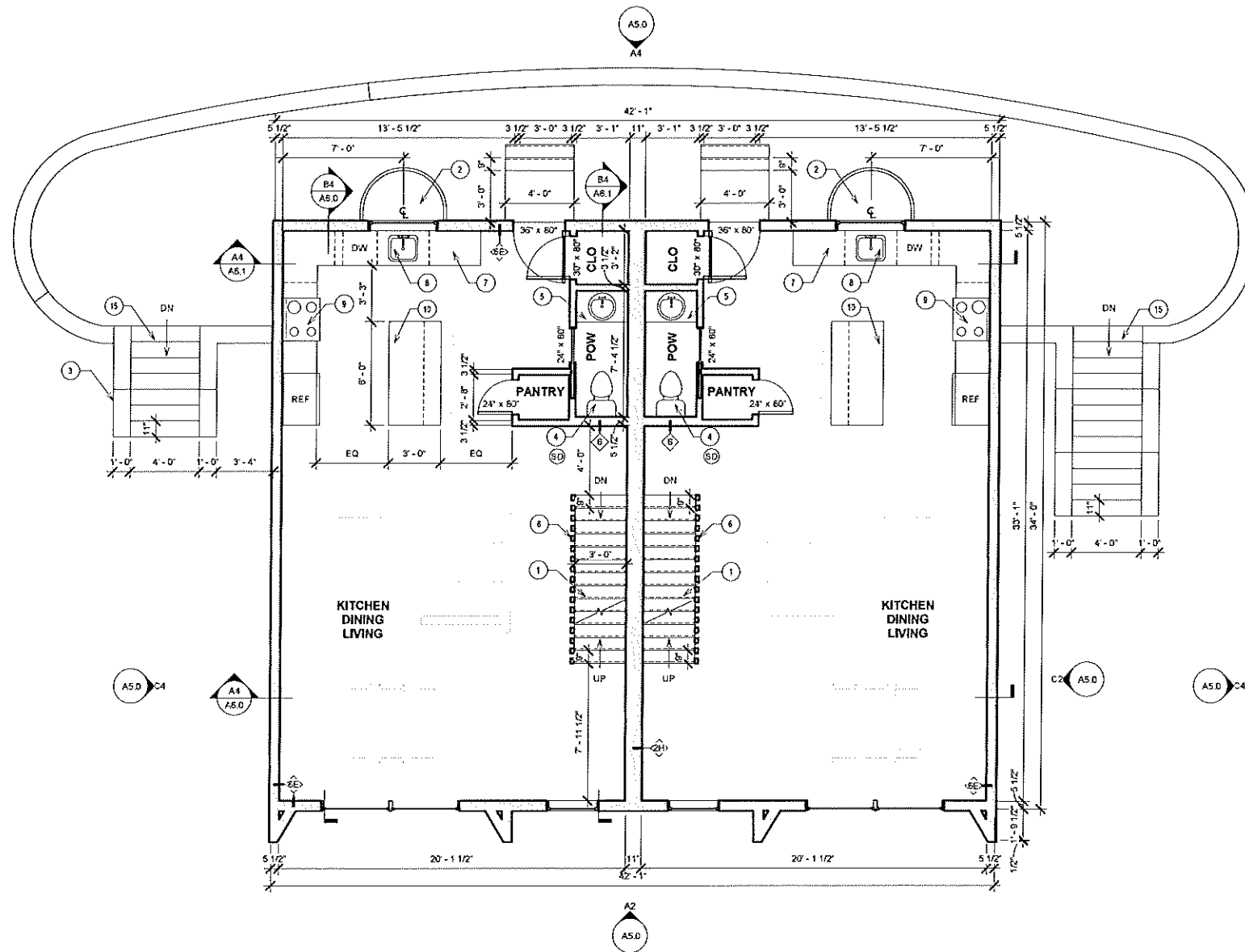
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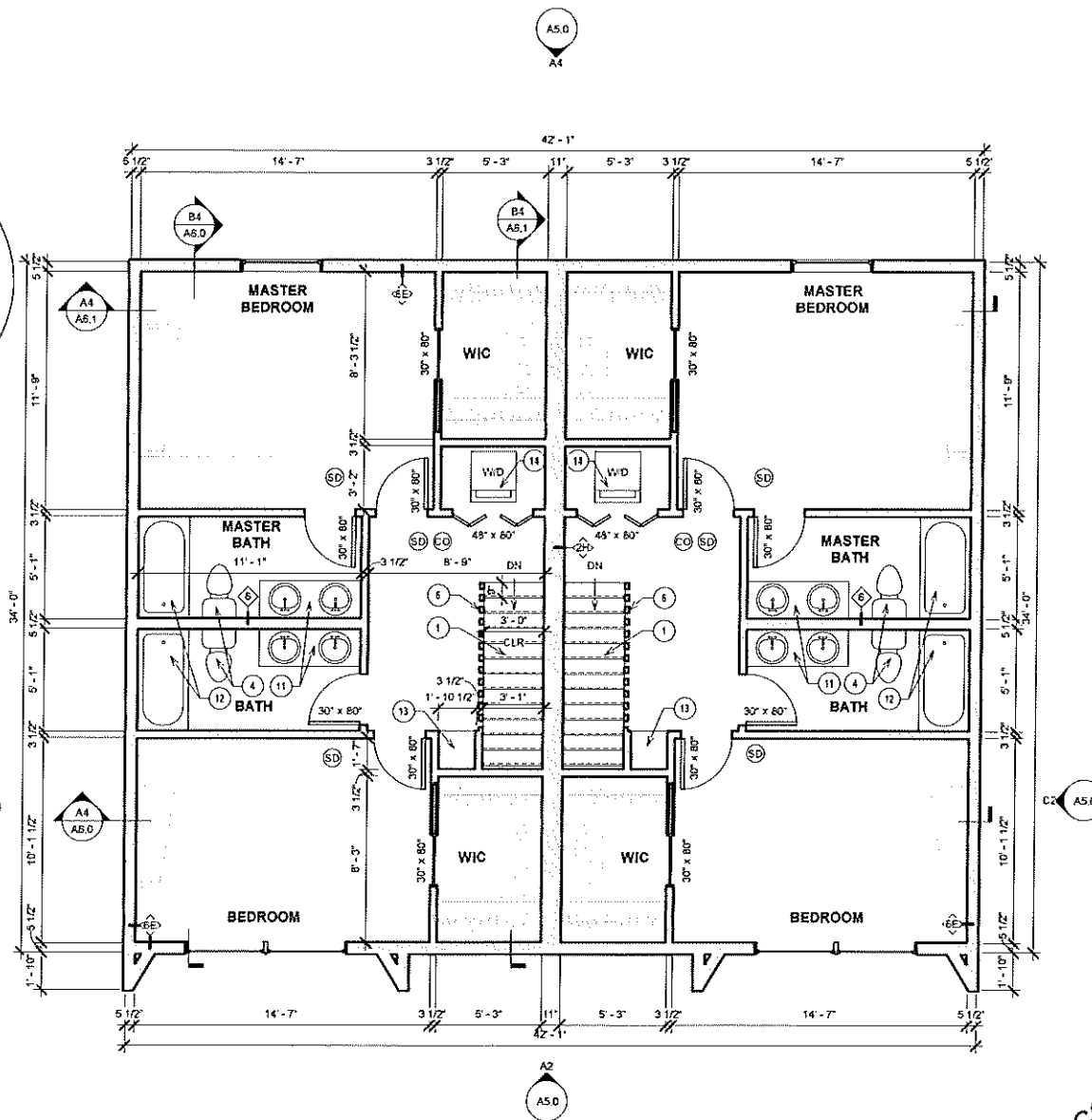
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A4 FLOOR PLAN - 2ND FL
1/4" = 1'-0"



C4 FLOOR PLAN - 3RD FL
1/4" = 1'-0"

REV. #	DATE	DESCRIPTION

A

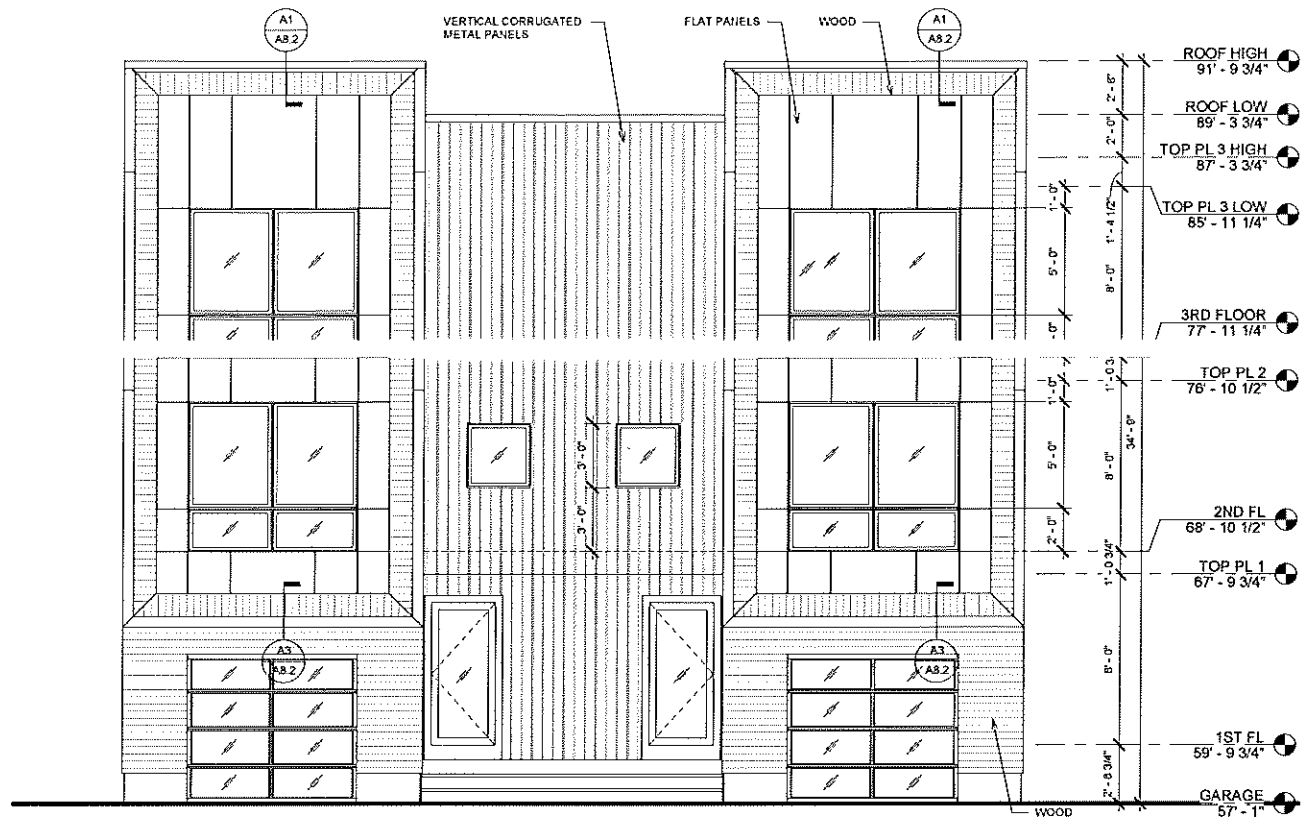
B

C

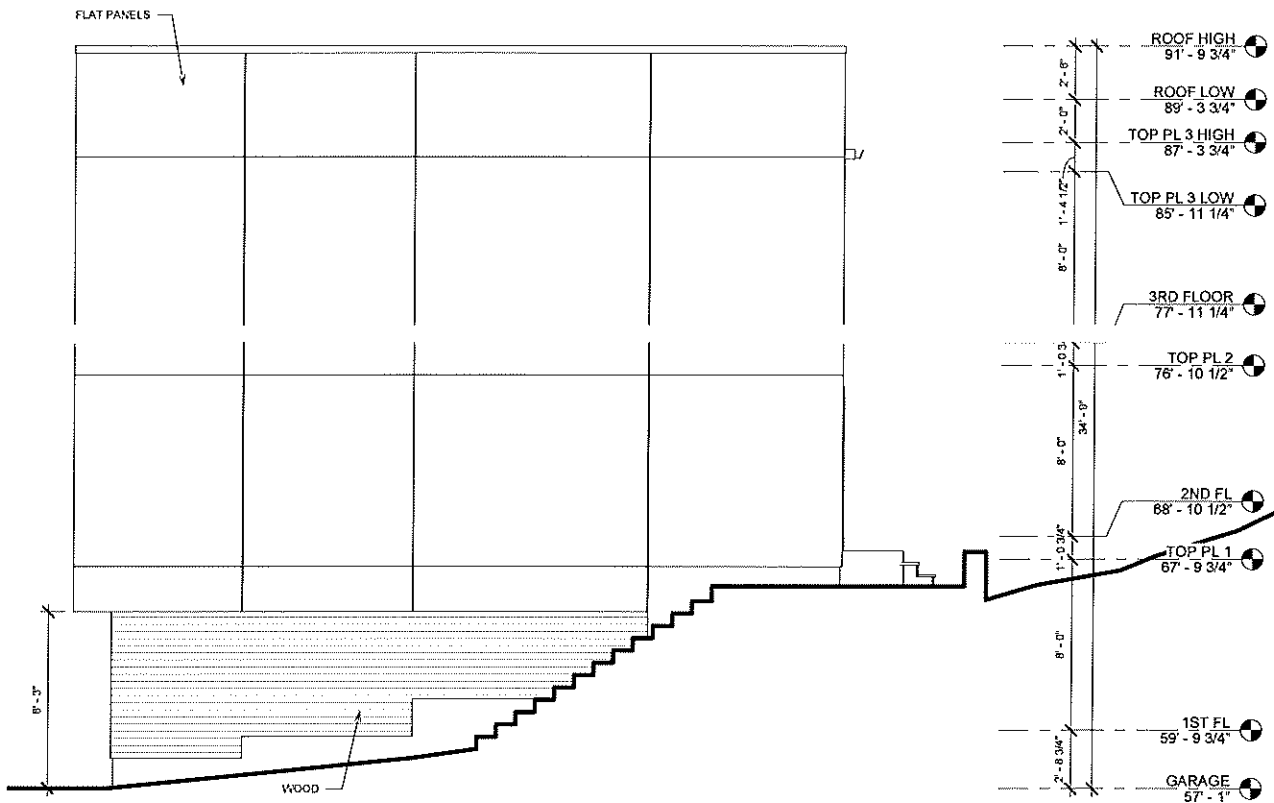
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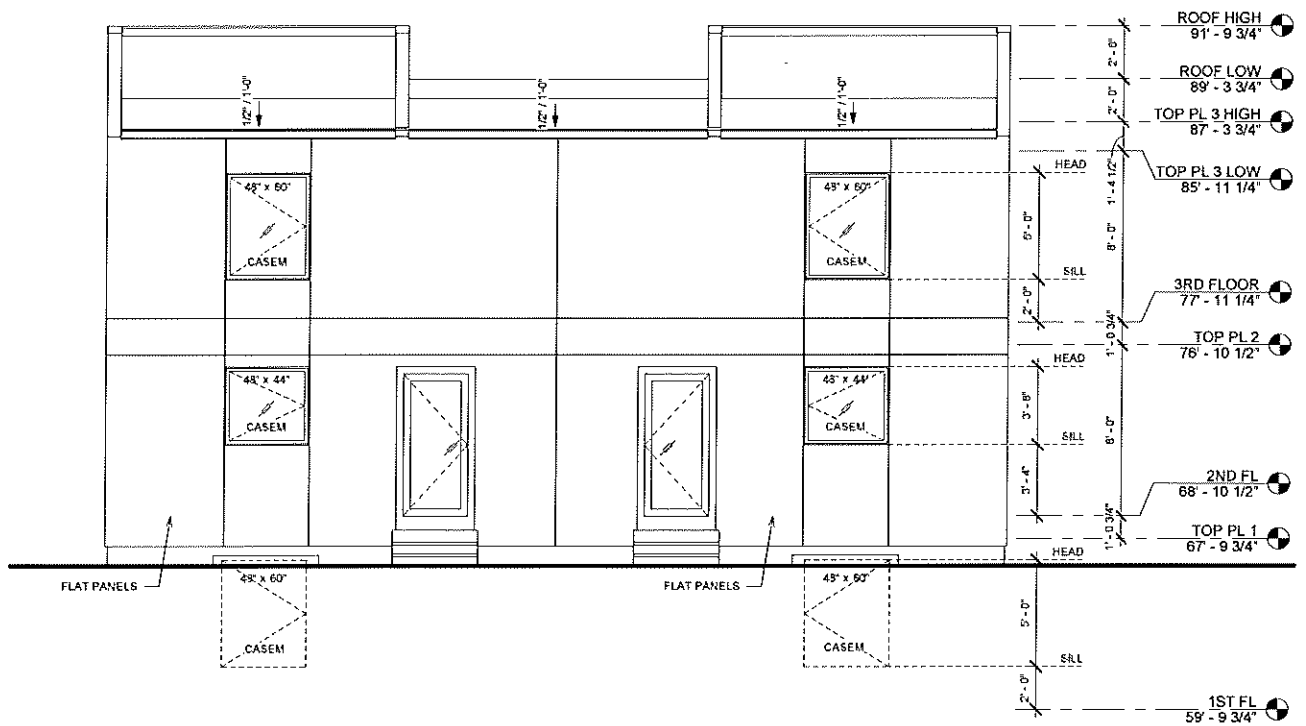
A2 SOUTH ELEVATION
1/4" = 1'-0"



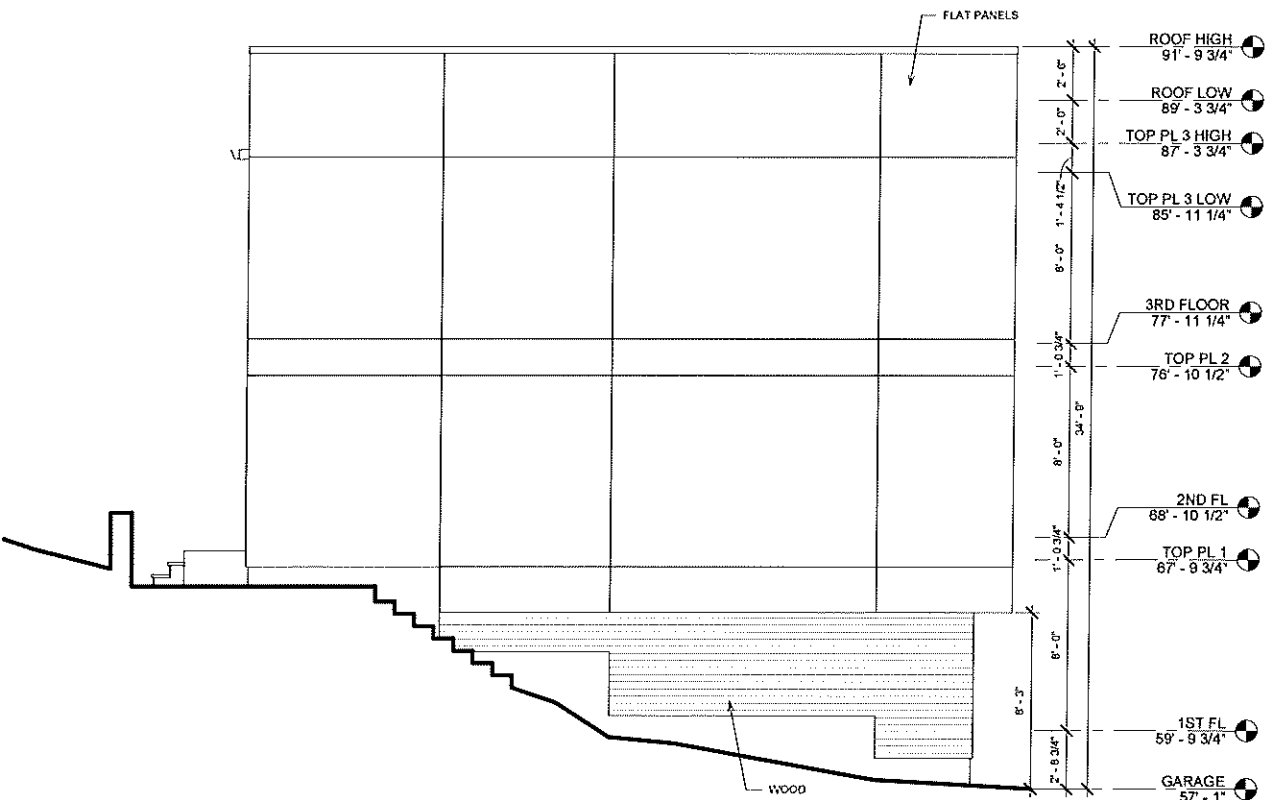
C2 EAST ELEVATION
1/4" = 1'-0"

3

4



A3 NORTH ELEVATION
1/4" = 1'-0"



C3 WEST ELEVATION
1/4" = 1'-0"

DAVID SISSON ARCHITECTURE PC - ALL RIGHTS RESERVED

david sisson architecture pc

 345 Taunton Ave

 East Providence RI 02914

 www.ds-arch.com info@ds-arch.com 401-952-0770

REV. #	DATE	ISSUED FOR
1	2024-10-01	VARIANCE

76 Garfield Ave

 Providence, RI 02908

 PROJECT NUMBER: 20081

ELEVATIONS

NOT FOR CONSTRUCTION

 DATE SIGNED: 2024-10-01

A5.0

1
2
3
4

A

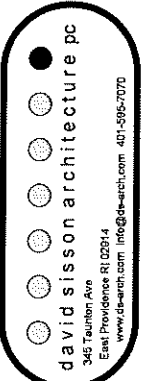
B

C

D

KEYED NOTES

- 1 4" THICK CONCRETE SLAB
- 2 PROVIDE CONTINUOUS ALUMINUM GUTTER & RAIN LEADERS
- 3 PROVIDE CONTINUOUS DRIP EDGE & ICE & WATER SHIELD TYP
- 4 2 HOUR FIRE RATED WALL W/CONTINUOUS (2) LAYERS OF 1" X 24" DENSGLOSS ULTRA SHAFTLINER TO UNDERSIDE OF ROOF SHEATHING. SEE DETAIL A1A0.0



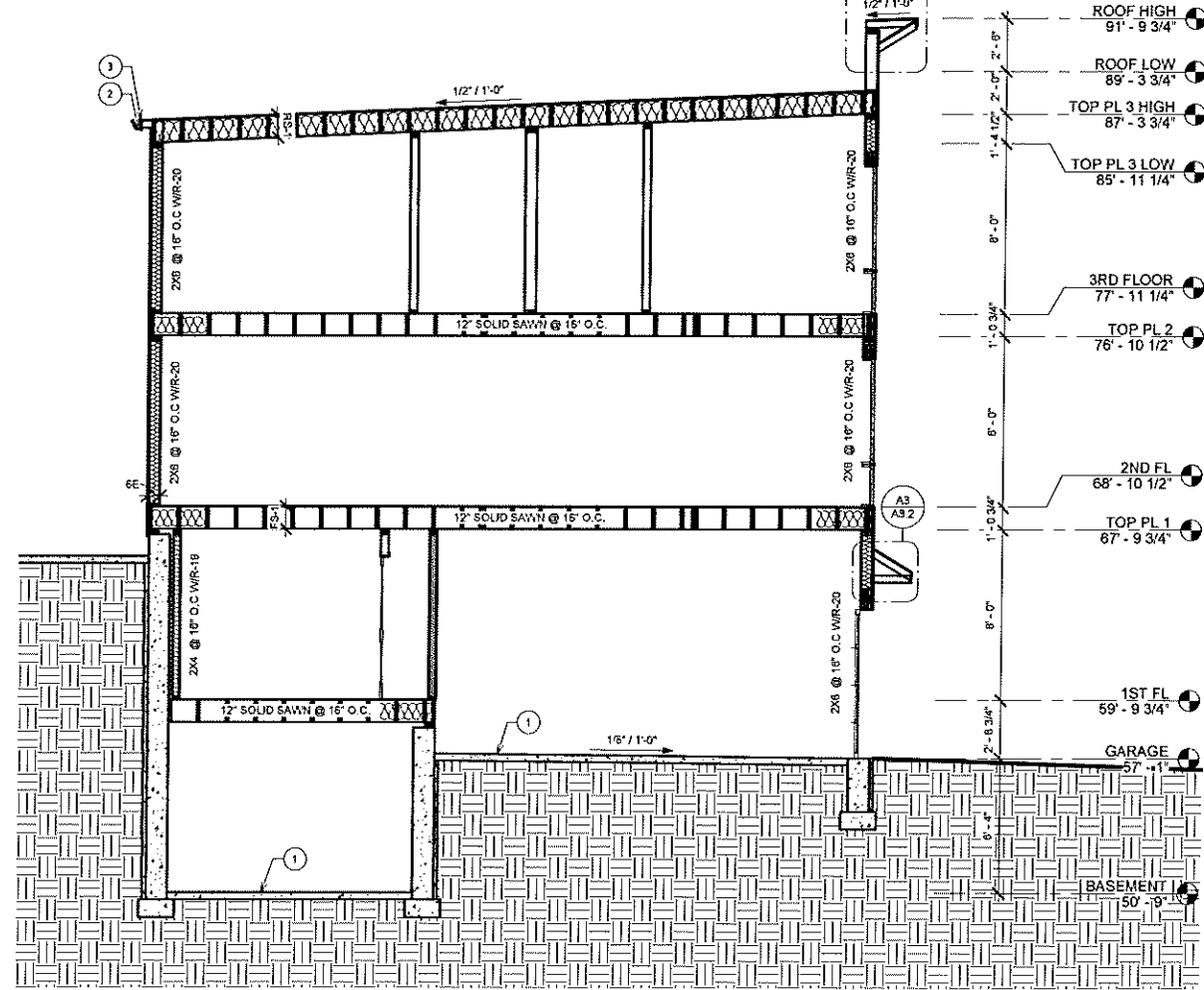
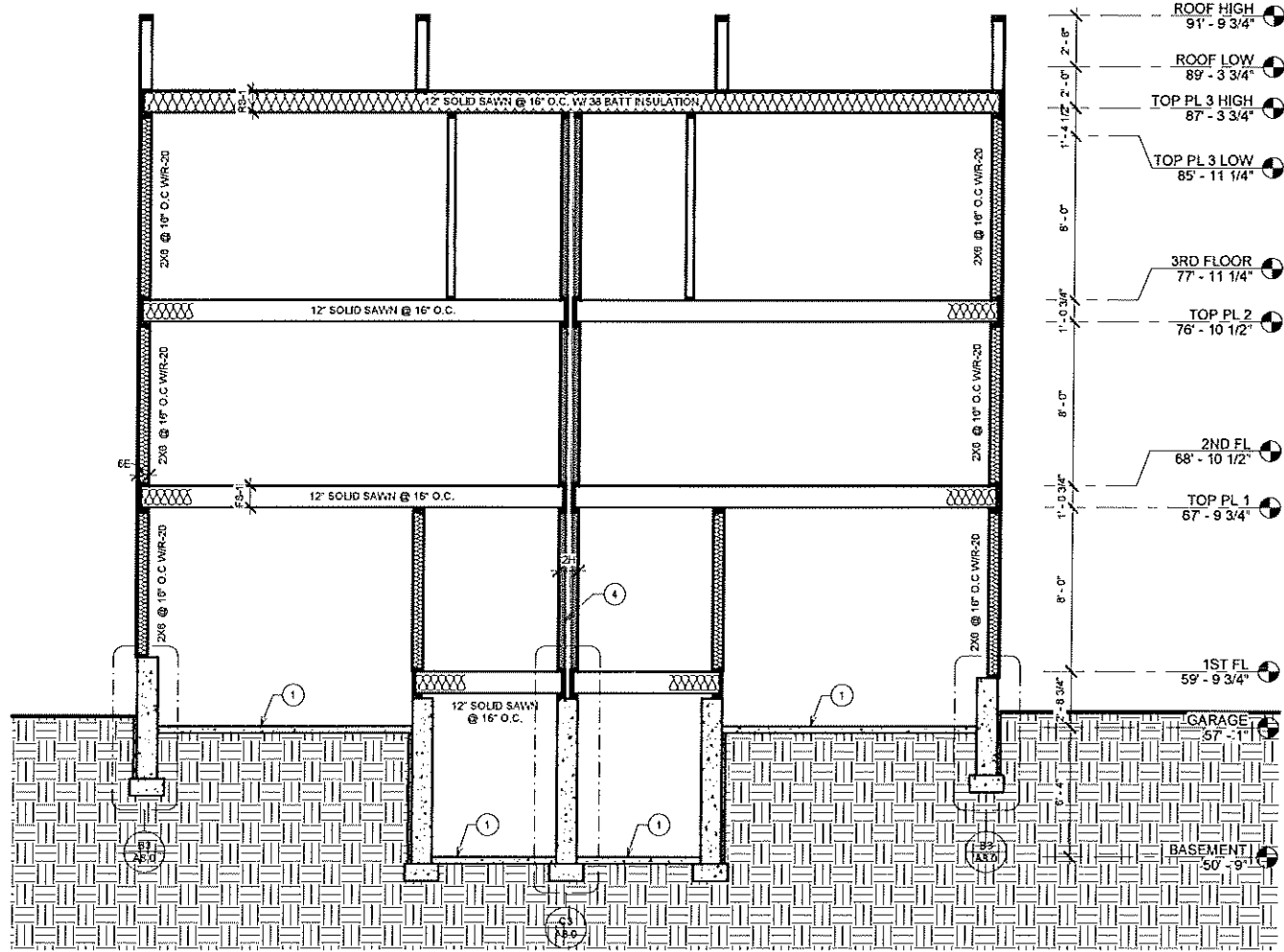
REV. #	DATE	ISSUED FOR

76 Garfield Ave
Providence, RI 02908
PROJECT NUMBER: 20081

SECTIONS

NOT FOR CONSTRUCTION
DATE SIGNED: 2024-10-01

A6.0



A

B

C

D

KEYED NOTES

- 1 4" THICK CONCRETE SLAB
- 2 PROVIDE CONTINUOUS ALUMINUM GUTTER & RAIN LEADERS
- 3 PROVIDE CONTINUOUS DRIP EDGE & ICE & WATER SHIELD TYP
- 4 STAIR - 9" TREAD, MAX 8.25" RISER, HANDRAIL, ONE SIDE AT 36" ABOVE NOSINGS, RETURN TO WALL BOTH ENDS, SEE DETAILS B1/A3.1, B2/A3.1 & B3/A3.1
- 5 DOUBLE JOISTS AROUND STAIR
- 6 2 HOUR FIRE RATED WALL W/CONTINUOUS (2) LAYERS OF 1" X 24" DENGLASS ULTRA SHAFTLINER TO UNDERSIDE OF ROOF SHEATHING. SEE DETAIL A1/A3.D

DAVID SISSON ARCHITECTURE PC
 345 Taunton Ave
 East Providence RI 02914
 www.ds-arch.com info@ds-arch.com 401-552-7970

REV. #	DATE	ISSUED FOR

76 Garfield Ave
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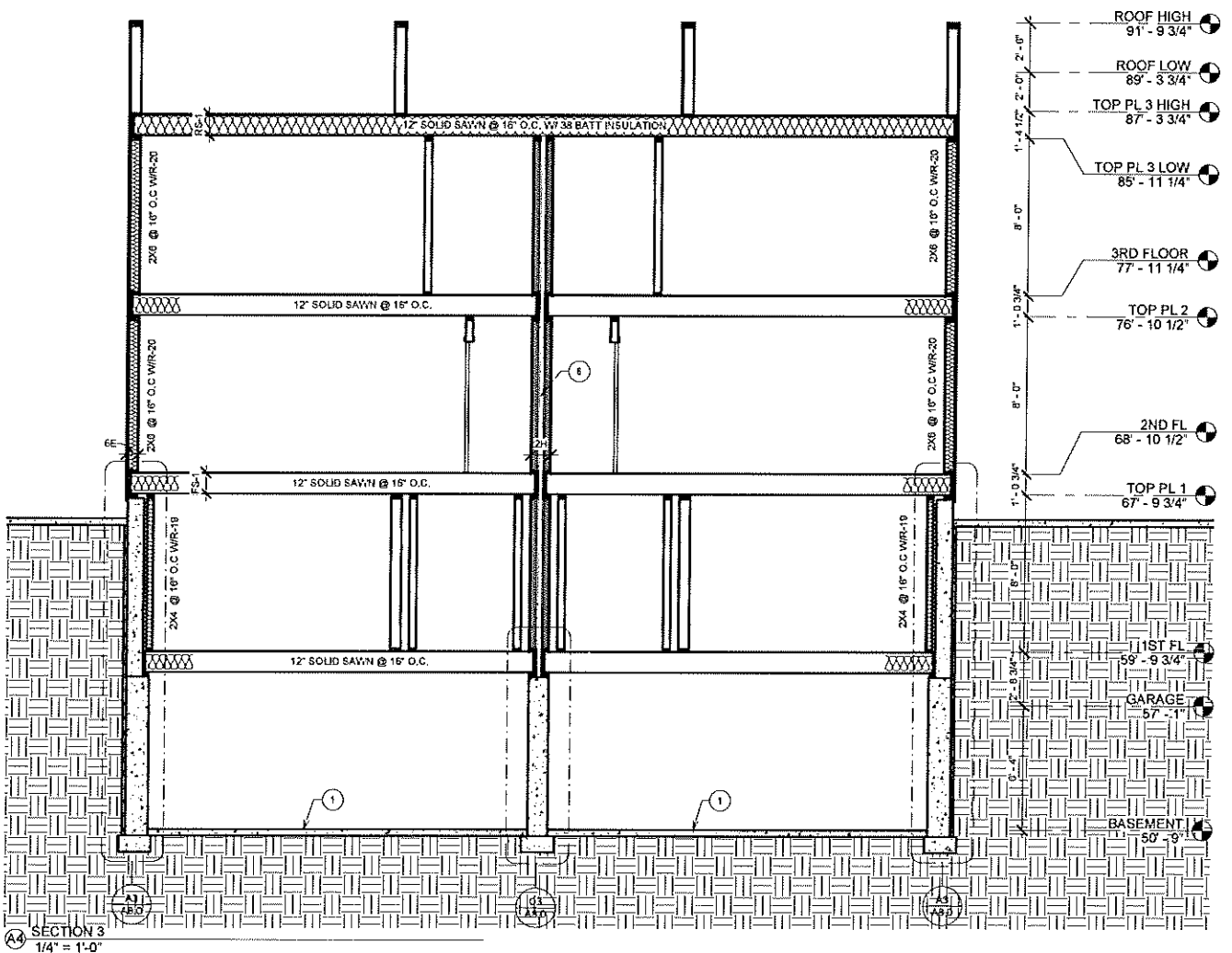
A6.1

1

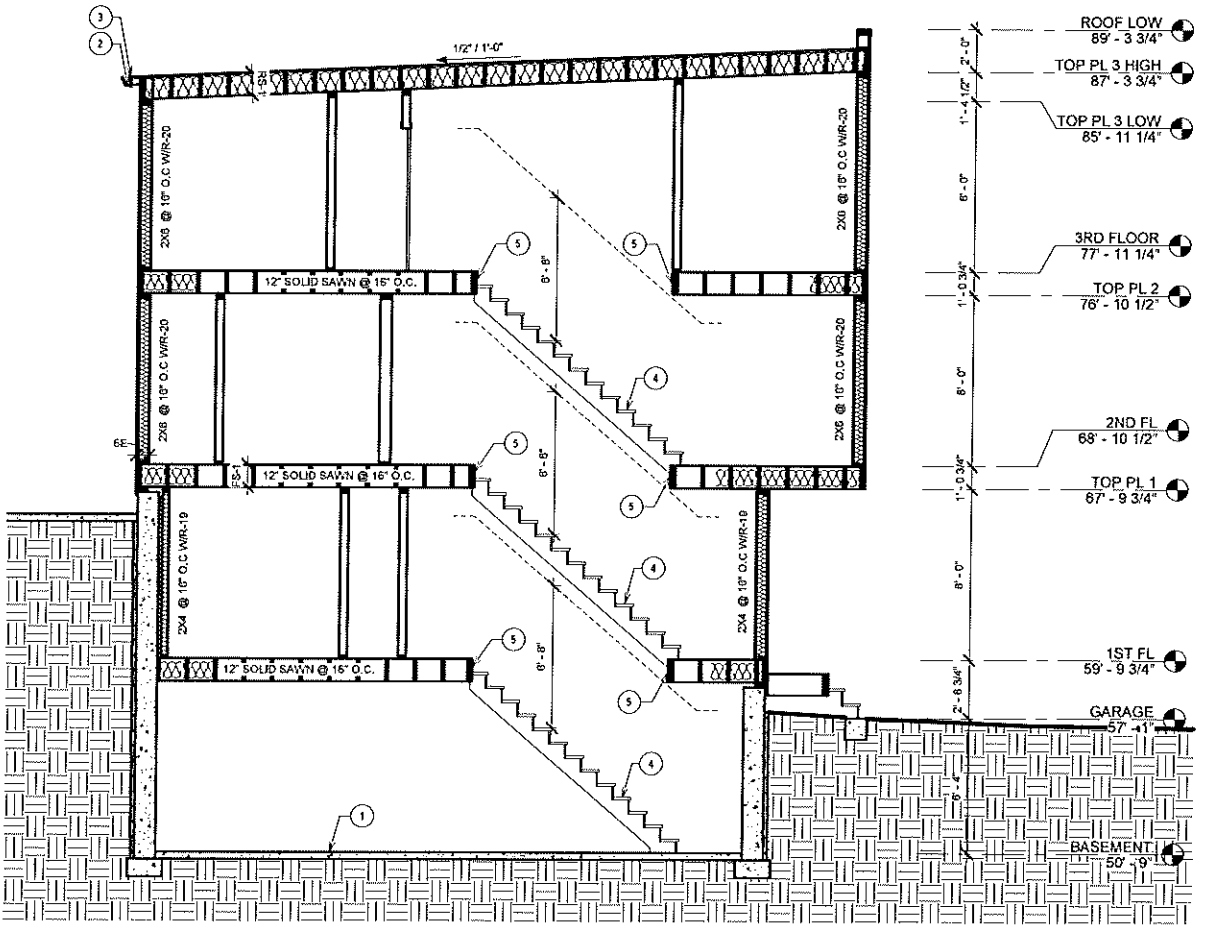
2

3

4



A4 SECTION 3
 1/4" = 1'-0"



B4 SECTION 4
 1/4" = 1'-0"

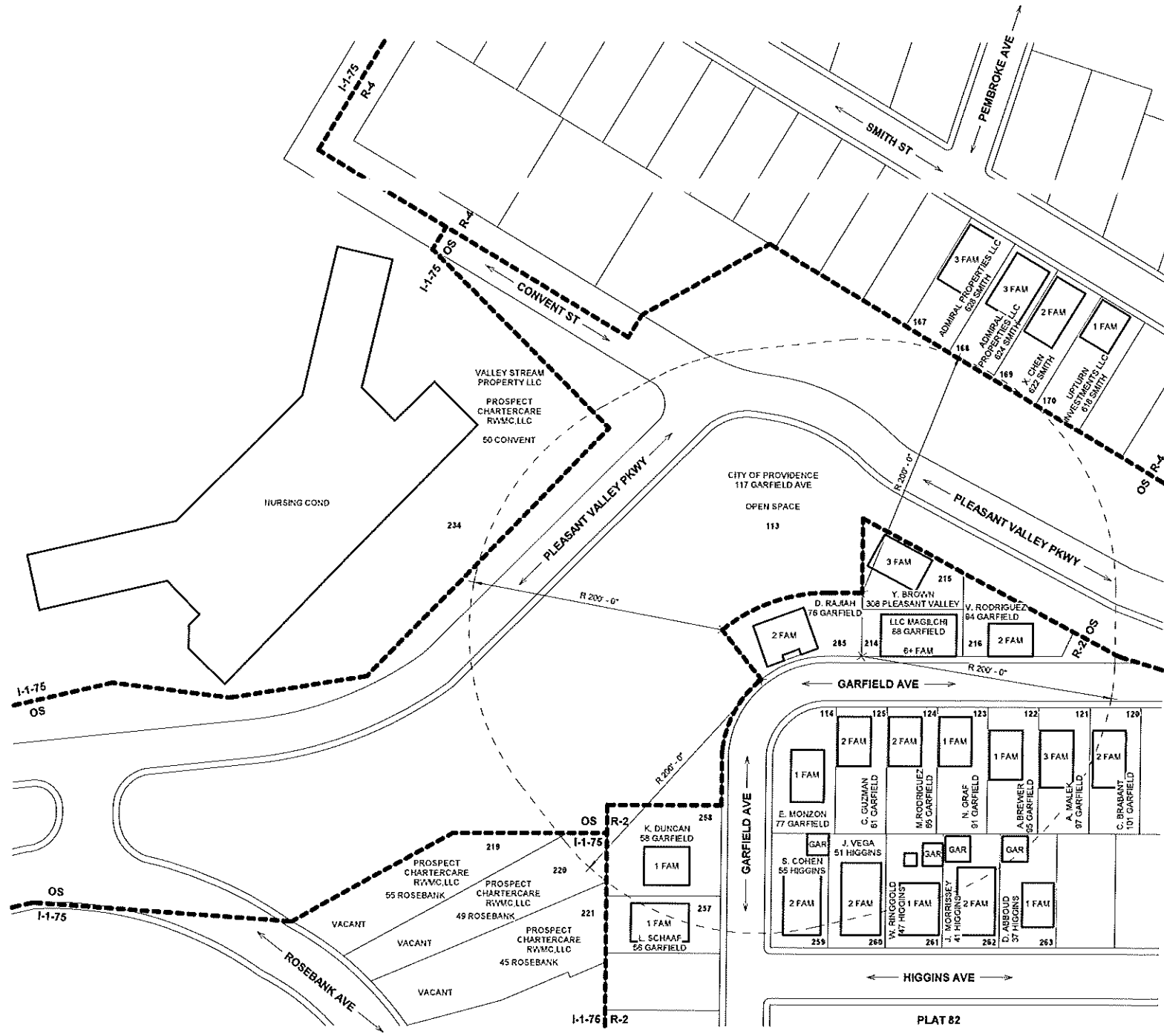
1
2
3
4

A

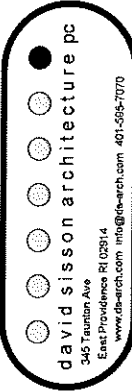
B

C

D



A4 200 FT RADIUS MAP
1" = 50'-0"



REV. #	DATE	ISSUED FOR
001	2024-05-05	VARIANCE

76 Garfield Ave
Providence, RI 02908
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200 FT RADIUS MAP

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2024-05-17

A0.3