

Project Narrative

For

Waterman Street Development

A Proposed Mixed-Use Building Consisting of a
Commercial Unit & 25 Residential Units

116 Waterman Street & 232 Brook Street
Providence, RI
AP 12, Lots 180 & 260

Prepared for:
Walter Bronhard Realty
c/o Mr. Walter Bronhard, Manager
972 Highland Avenue
Fall River, MA 02720

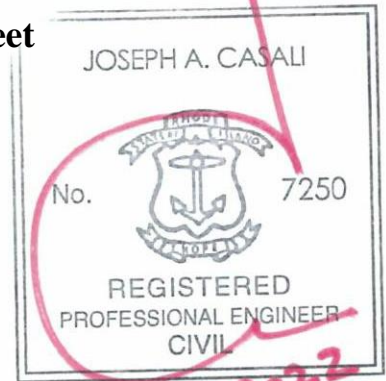


Image Courtesy of Aharonian & Associates, Inc.

Submission Date:
May 2022

Submitted by:

JCE

JOE CASALI ENGINEERING, INC.
CIVIL · SITE DEVELOPMENT · TRANSPORTATION
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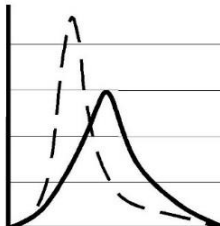


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- Appendix A: Floor Plans and Renderings, prepared by Aharonian and Associates, Inc.
Appendix B: Site Plans, prepared by Joe Casali Engineering, Inc.

1 INTRODUCTION

On behalf of Walter Bronhard Realty, LLC, Joe Casali Engineering, Inc. (JCE) has prepared the following Project Narrative to identify existing and proposed site conditions related to a proposed Major Land Development Project consisting of a new 5,680 sq. ft. (footprint), five-story, mixed-use building. The subject property, known as Tax Assessor's Plat (AP) 12, Lots 180 & 260, has frontage on Waterman Street, Brook Street and Fones Alley in the City of Providence.

The project consists of development of a 5,477 sq. ft. (footprint), five-story, mixed-use building, consisting of one (1) commercial unit and 25 residential units on the subject property. Other improvements include sidewalks and utility connections. The five-story building is proposed to consist of five floors and a basement totaling approximately 31,835 gross square feet, with approximately 1,070 sq. ft. dedicated to the commercial unit. The existing structure located at 116 Waterman Street is a three-story 6+ apartments, mixed use building. The existing structure located at 382 Brook Street is a three-story four-family mixed use building. All existing structures will be razed. The following report has been prepared to discuss existing conditions, proposed conditions, and the permitting path for the proposed project.

2 SITE LOCATION AND PHYSICAL DESCRIPTION

The subject properties have a physical address of 116 Waterman Street and 383 Brook Street in Providence, Rhode Island and is identified as Tax Assessor’s Plat (AP) 13, Lots 180 and 260. Based on an August 2020 Class I Comprehensive Boundary Survey performed by Waterman Engineering Company, the site contains a total of 6,070 square feet (0.139 acres) and has frontage on Waterman Street, Brook Street and Fones Alley. The site is bound by Fones Alley to the north, Brook Street to the east, Waterman Street to the south and AP 12, Lot 181 (mixed use building including “Subway” restaurant) to the west, as shown below in Figure 1 – Locus Map.

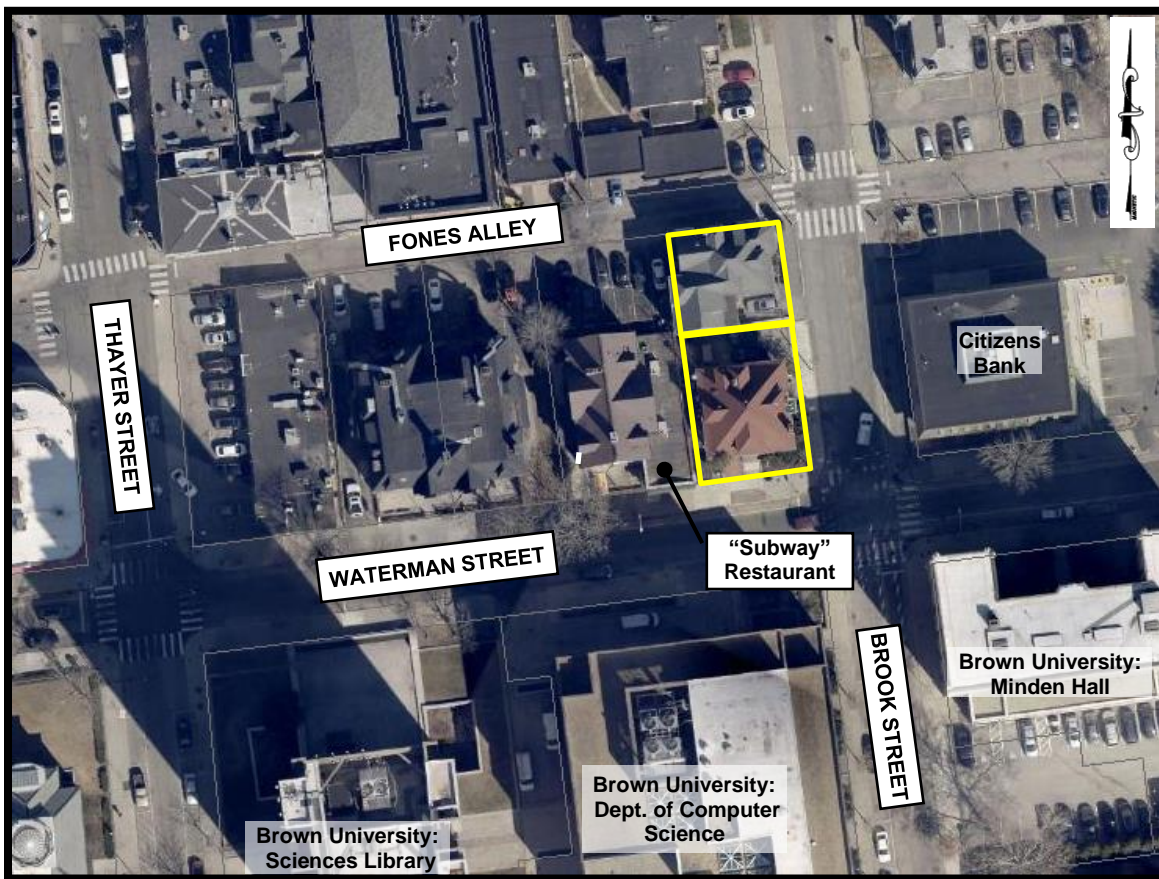


Figure 1 – Locus Map

NOT TO SCALE

The site is currently occupied by two (2) existing structures consisting of three-stories multi-unit mixed use buildings.

2.1 Soil Classification

According to the *Web Soil Survey (WSS)* operated by the US Department of Agriculture Natural Resources Conservation Service (NRCS), produced by the National Cooperative Soil Survey, the soils on-site consist entirely of Paxton-Urban land complex, 3-15% slopes (PD). PD soils consist of coarse-loamy lodgment till derived from gneiss, granite, and/or schist. These soils have a medium runoff class and are well drained. These soils have been assigned to the Hydrologic Soil Group 'C'.

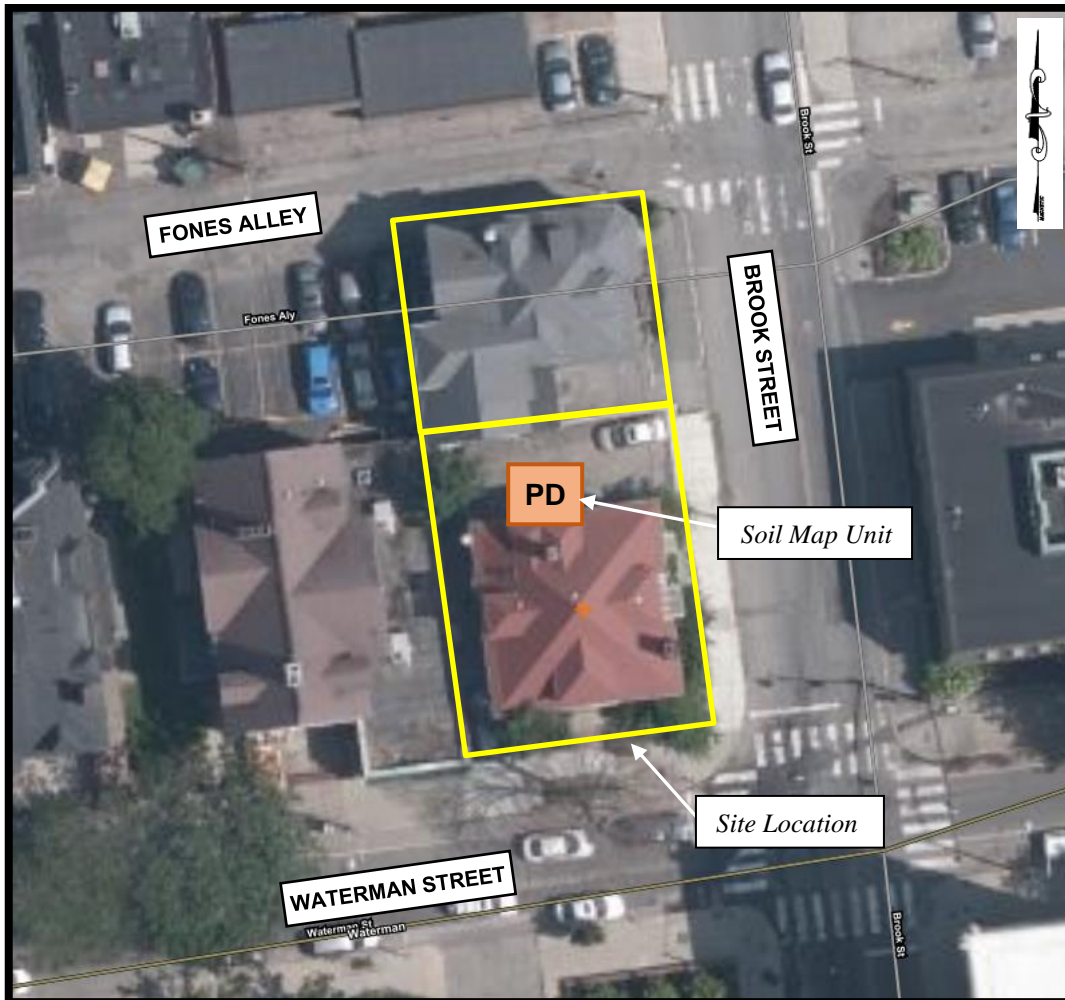


Figure 2 – Soils Map
NOT TO SCALE

2.2 Flood Zone Classification

The subject parcel is located on the Flood Insurance Rate Map (FIRM) for Providence County, Map Number 44007C0309K, effective October 2, 2015. Based on this FIRM, the site and all adjacent sites are identified as Zone X – areas determined to be outside of the 0.2% annual-chance flood hazard area.

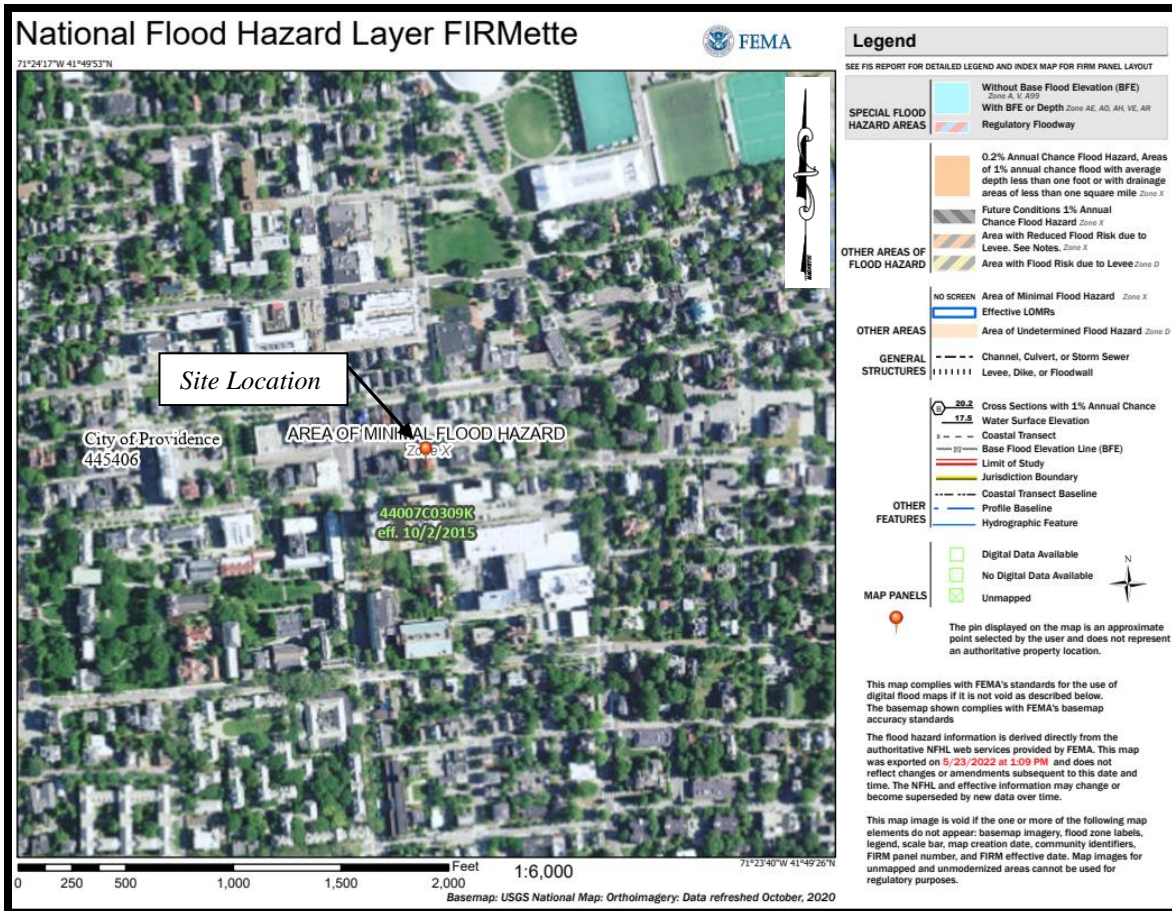


Figure 3 – Flood Map
 NOT TO SCALE

2.3 Natural Resource Inventory

According to the Rhode Island Department of Environmental Management (RIDEM) Environmental Resource Mapping, there are no wetland features within or adjacent to the subject parcels. In addition, the subject parcel is not located within any known historic planning district, land conservation area or natural heritage area.

The site is located within the Seekonk River – Providence River Watershed (#010900040902). Stormwater runoff from the site sheet flows to existing catch basins within Brook Street. Stormwater runoff from this area is routed through a series of pipes to discharge to the Providence River (RI0007020E-01B) which is included in the State of Rhode Island 2016 303(d) List, List of Impaired Waters (RIDEM, February 2020). Impairments include dissolved oxygen, total nitrogen, and fecal coliform. There are no total maximum daily loads (TMDL) established for these impairments.

2.4 Easements

Based on the August 2020 Class I Comprehensive Boundary Survey performed by Waterman Engineering Company, there are no existing easements on the subject parcels.

2.5 Zoning

According to the City of Providence Zoning Ordinance and Zoning Map, the subject property is currently located within the General Commercial District (C-2). This district is intended for more intensive commercial uses and key commercial nodes, including larger retail establishments. Structures with dwellings above ground floor non-residential uses are considered mixed-use development, which are considered a non-residential use for the purposes of the Ordinance. Residential and parking uses are prohibited on the ground floor of a building within 20 feet of Waterman Street and Brook Street. The proposed mixed-use development is permitted by right in the C-2 zone.

The following are the current dimensional requirements for the C-2 Zone:

Requirement	C-2 Zone Req'd
Minimum Lot Area	None
Minimum Building Height	16 ft.
Minimum First Story Height	9' Residential use 11' Non-Residential Use
Maximum Building Height	50 ft., not to exceed 4 stories
Maximum Building Coverage	None
Total Maximum Impervious Surface Coverage	None
Minimum Front Setback	Build-to-zone of 0' to 5' ¹
Minimum Side Setback	None; unless abutting residential district, then 10'
Minimum Rear Setback	None; unless abutting residential district, then 20'

Notes:

1. The required build-to percentage is 60% on the front lot line.

The subject property is also located within the Educational Institutional Overlay District (I-3E). The I-3E Educational Institutional Overlay District is intended to encourage development in Downtown and along the City's commercial corridors by permitting higher education institutional uses, student housing, and practicums in addition to a variety of commercial, entertainment, residential, public, and other uses in select areas.

Compatible and appropriate mixed-uses are encouraged to promote pedestrian activity at street levels while encouraging full and varied use on the upper floors. This district is intended to encourage the development of educational uses while preserving and fostering the economic vitality of the Downtown and the City's commercial corridors.

2.6 Existing Utilities

Water: An 8-inch cast iron water main exists within Brook Street and a 6-inch cast iron water main exists within Brook Street. There is an existing 5/8-inch water service currently servicing the existing building located on Waterman Street. A 1-inch water service is currently utilized by the existing building located on Brook Street. This water main is owned and maintained by the Providence Water Supply Board (PWSB).

The closest fire hydrant is located approximately 305 feet east of the subject property, on the same side of the street on Waterman Street.

Sewer: A 12-inch sewer main owned and maintained by the City of Providence exists within Waterman Street and a 30-inch sewer main exists within Brook Street. Effluent is ultimately routed to the Field's Point Wastewater Treatment Facility, owned, and operated by the Narragansett Bay Commission.

Drainage: A 20-inch drainage main exists within Brook Street. All stormwater discharge from the subject property sheet flows towards Brook Street and is conveyed to existing catch basins within the street. Ultimately stormwater runoff is discharged to the Providence River.

Gas: A 6-inch cast iron gas main exist within Thayer Street. A gas main also exists within Brook Street. These gas mains are owned and maintained by National Grid.

Electric/Communications: Electric and communications services are available to the subject site via overhead lines on the west side of Brook Street and the north side of Fomes Alley; owned and maintained by National Grid. Underground electric is available within Thayer Street.

3 PROPOSED SCOPE OF WORK

3.1 General

The proposed project consists of an approximately 5,477 sq. ft. (footprint), five-story, mixed-use building consisting of one (1) commercial unit and 25 residential units on the subject property. The residential units have been designed as two-bedroom units with two (2) bathrooms each. The five-story building is proposed to consist of five floors and a basement totaling approximately 31,835 gross square feet, with approximately 1,070 sq. ft. dedicated to a commercial unit. The basement will have a gym, a communal space, a trash room, a bike room, and utility rooms. Frontage and access to the development will be provided via Waterman Street for the commercial unit, and Fones Alley for the residential units. The residential entrance will open to a lobby that provides access to the stairs and the elevator. The roof is proposed to contain a hangout area and landscaped areas. Floor Plans and Renderings are included in Appendix A. Please refer to Appendix B for Site Plans.

3.2 Zoning

As discussed previously, the subject property is located within the General Commercial District (C-2). The proposed mixed-use development is permitted by right in the C-2 zone.

The following are the current dimensional requirements for the C-2 Zone:

Requirement	C-2 Zone Req'd	Proposed
Minimum Lot Area	None	6,070 sq. ft.
Minimum Building Height	16 ft.	58 ft.
Minimum First Story Height	11' Non-Residential Use	11 ft.
Maximum Building Height	50 ft., not to exceed 4 stories	58 ft. (5 stories) ²
Maximum Building Coverage	None	90%
Total Maximum Impervious Surface Coverage	None	82.2%
Minimum Front Setback	Build-to-zone of 0' to 5' ¹	Varies (0-4.92 ft.)
Minimum Side Setback	None	N/A
Minimum Rear Setback	None	Varies (0-4.92 ft.)

Notes:

1. The required build-to percentage is 60% on the front lot line.
2. Dimensional adjustment requested for an additional story (8 feet above max.).

The Applicant seeks the following waivers and/or adjustments for this project:

- Height: Pursuant to Section 1904E, the Applicant seeks adjustment of twelve (12) feet or one (1) story because a vertical mixed-use development is provided, of which at least fifty percent (50%) is devoted to residential use.
- Ground Floor Uses – The Applicant seeks a design waiver from the requirements that residential uses are prohibited on the ground floor of the building within twenty (20) feet of a main street. A commercial use will front on Waterman Street; but the design waiver is requested for the residential use on Brook Street.

The proposed building complies with Article 5 Commercial Districts, Section 503A C-1 and C-2 District Design Standards. The proposed building has been designed to have an orientation to and entrance from the sidewalk along the primary building frontage along Waterman Street for the commercial unit. The ground floor building entrance is not recessed more than six feet from the required front setback and is less than the maximum width of eight feet. Regarding fenestration, the ground floor facades contain a total area of transparency greater than 50% of the wall area of the ground floor. Each upper story façade exceeds the 10% transparency requirement.

The proposed development is exempt from parking requirements per Article 14 Off-Street Parking and Loading, Section 1410.B.7 of the Providence Zoning Ordinance, which states “in the C-1 and C-2 districts, all lots of 10,000 square feet or less are exempt from parking requirements.” Bicycle parking is still required. Per Table 14-1, multi-family dwellings require one (1) bicycle space per every five (5) dwelling units; the proposed development will require 5 bicycle spaces. Of these five (5) bicycles spaces, 80% of these spaces shall be long-term spaces. Storage space for 11 bicycles will be located within the basement of the building. Access will be provided via the building’s elevator.

Per Article 15 Trees and Landscaping, Section 1503 On-Site Landscaping and Required Trees, sufficient trees shall be retained and/or planted on a lot so that the square footage of vegetative canopy of such trees, when mature, equals 15% of the square footage of the lot. The subject property requires 911 square feet of tree canopy. Existing street trees located in the public right-of-way directly adjacent to the lot line may be counted toward the canopy coverage for the lot. The existing street tree in front of the project site appears to have been cut down during 2020, a large new street will be planted to meet this requirement. The proposed rooftop area will provide approximately 1,070 square feet of

landscaping. Coordination with the City Forester will be required to confirm this requirement has been met.

3.3 Utilities

Water: The proposed development will require a new domestic water service connection and a new fire protection service connection from the existing water main within Brook Street. Review and approval of the proposed domestic and fire protection service designs will be required by Providence Water.

Sewer: The proposed development will require a new sewer service connection to the existing sewer main within Fones Alley. Review and approval will be required by the City of Providence Engineering Division and the Narragansett Bay Commission.

Drainage: The proposed development is exempt from the City's Stormwater Ordinance. Rooftop runoff from the proposed building will be conveyed via roof drains to an underground drainage pipe that will connect directly to the existing 20-inch drainage main within Brook Street.

Gas/Electric/Communications: Gas, electric and communications services are proposed from existing infrastructure within or along Brook Street and Fones Alley. Coordination with National Grid will be required.

3.4 Quasi-State and Local Permit Requirements

3.4.1 City Plan Commission (CPC)

The proposed mixed-use building will need to be reviewed by the City Plan Commission. The project requires three stages of review: (1) Master Plan (2) Preliminary Plan, and (3) Final Plan. The Applicant seeks a waiver and/or adjustment for an additional building story and a residential ground floor use within 20 feet of a main street.

3.4.2 City of Providence Engineering Division & Traffic Division; City Forester

The proposed development will require review and approval from the City of Providence Engineering Division for the proposed sewer connection. In addition, the development will require review and approval from the City of Providence Traffic Division. Coordination with the City Forester will be required regarding existing street trees.

3.4.3 Fire Department

The site will require review and approval from the City of Providence Fire Department.

3.4.4 Providence Water Supply Board

The proposed development will require approval from the Providence Water Supply Board for the proposed fire protection and domestic water service design.

3.4.5 Narragansett Bay Commission (NBC)

All effluent from the subject parcel is ultimately treated at the Fields Point Wastewater Facility, operated by the Narragansett Bay Commission (NBC). Accordingly, the proposed sewer service will require a Sewer Connection Permit from the Narragansett Bay Commission.

Appendix A

Floor Plans and Renderings

Prepared by Aharonian and Associates, Inc., dated May 2022



PROPOSED VIEW

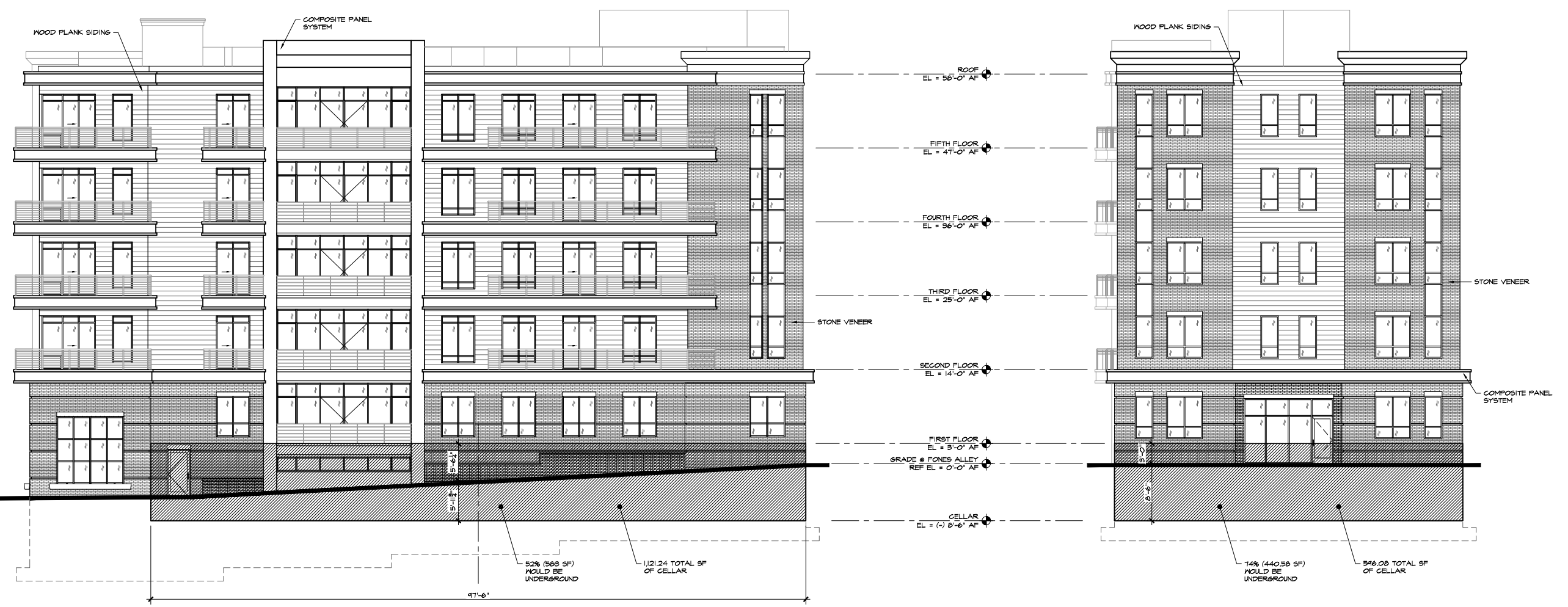
SCALE: N.T.S.



AHARONIAN
& ASSOCIATES, INC.
Architects

401-232-5010
www.arch-eng.com

WATERMAN STREET DEVELOPMENT
PROVIDENCE, RHODE ISLAND
MAY 24, 2022



PROPOSED EAST ELEVATION

SCALE: 1/8"=1'-0"

PROPOSED NORTH ELEVATION

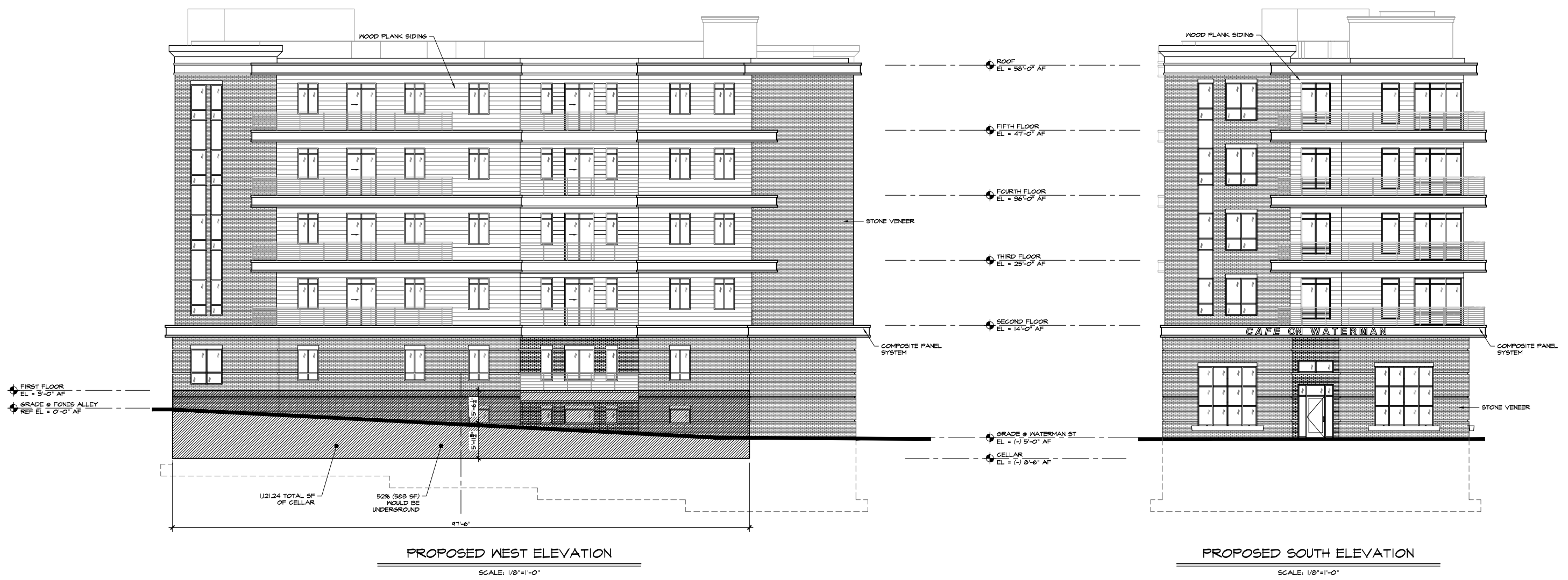
SCALE: 1/8"=1'-0"



AHARONIAN
& ASSOCIATES, INC.
Architects

401-232-5010
www.arch-eng.com

WATERMAN STREET DEVELOPMENT
PROVIDENCE, RHODE ISLAND
MAY 24, 2022



PROPOSED WEST ELEVATION

SCALE: 1/8"=1'-0"

PROPOSED SOUTH ELEVATION

SCALE: 1/8"=1'-0"



AHARONIAN
& ASSOCIATES, INC.
Architects

401-232-5010
www.arch-eng.com

WATERMAN STREET DEVELOPMENT
PROVIDENCE, RHODE ISLAND
MAY 24, 2022

Appendix B

Site Plans

Prepared by Joe Casali Engineering, Inc., dated May 2022

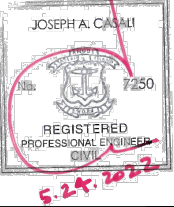
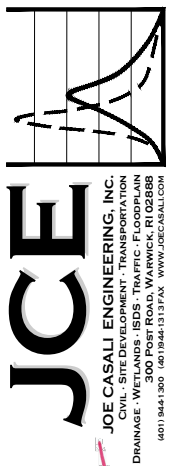
WATERMAN STREET REDEVELOPMENT

A PROPOSED MIXED-USE BUILDING CONSISTING OF 1 COMMERCIAL UNIT & 25 RESIDENTIAL UNITS

116 WATERMAN STREET & 382 BROOK STREET
PROVIDENCE, RHODE ISLAND
AP 12, LOTS 180 & 260
ZONING DISTRICT: C-2 GENERAL COMMERCIAL DISTRICT &
IE-3 EDUCATIONAL INSTITUTIONAL OVERLAY DISTRICT



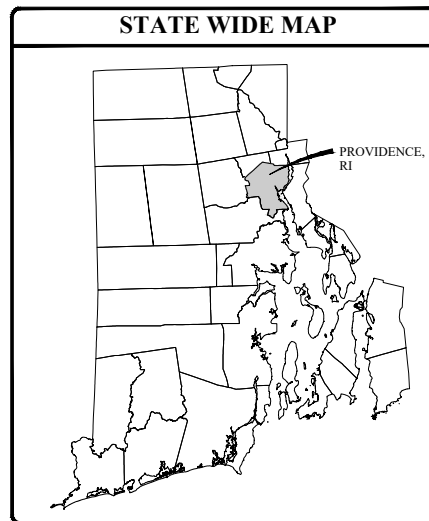
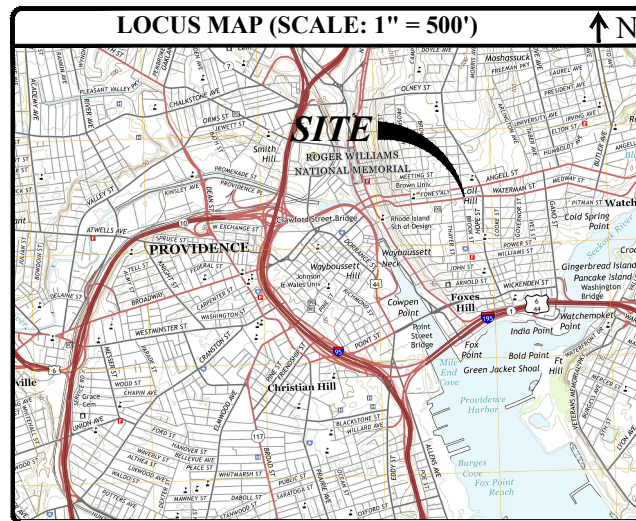
IMAGE COURTESY OF AHRONIAN & ASSOCIATES, INC., DATED MAY 24, 2022



25-UNIT, FIVE-STORY MIXED-USE BUILDING
116 WATERMAN STREET
 PROVIDENCE, RHODE ISLAND
 AP 12, LOTS 180 & 260

FILINGS:
MASTER PLAN: PROVIDENCE CITY PLAN COMMISSION (CPC)

PROJECT TEAM			
OWNER/ APPLICANT:	WALTER BRONHARD REALTY & BROOK HOLDING LLC ATTN: MR. WALTER BRONHARD, MGR 972 HIGHLAND AVENUE FALL RIVER, MA 02720	CIVIL:	JOE CASALI ENGINEERING, INC. 300 POST ROAD WARWICK, RI 02888 PHONE: 401-944-1300 FAX: 401-944-1313
ARCHITECT:	AHARONIAN & ASSOCIATES, INC. 310 GEORGE WASHINGTON HIGHWAY SMITHFIELD, RI 02917 PHONE: 401-232-5010	SURVEYOR:	WATERMAN ENGINEERING COMPANY 46 SUTTON AVENUE EAST PROVIDENCE, RI 02914 PHONE: 401-438-5773



INDEX OF DRAWINGS	
SHEET NO.	PLAN
1	COVER SHEET
2	EXISTING CONDITIONS
3	CONCEPTUAL SITE PLAN

REVISIONS:		
NO.	DATE	DESCRIPTION

DESIGNED BY:	WMLJR
DRAWN BY:	SEP
CHECKED BY:	JAC
DATE:	MAY 2022
PROJECT NO.:	19-194

PRELIMINARY, NOT FOR CONSTRUCTION

COVER SHEET

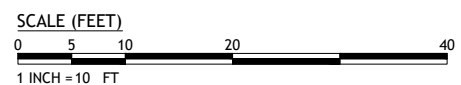
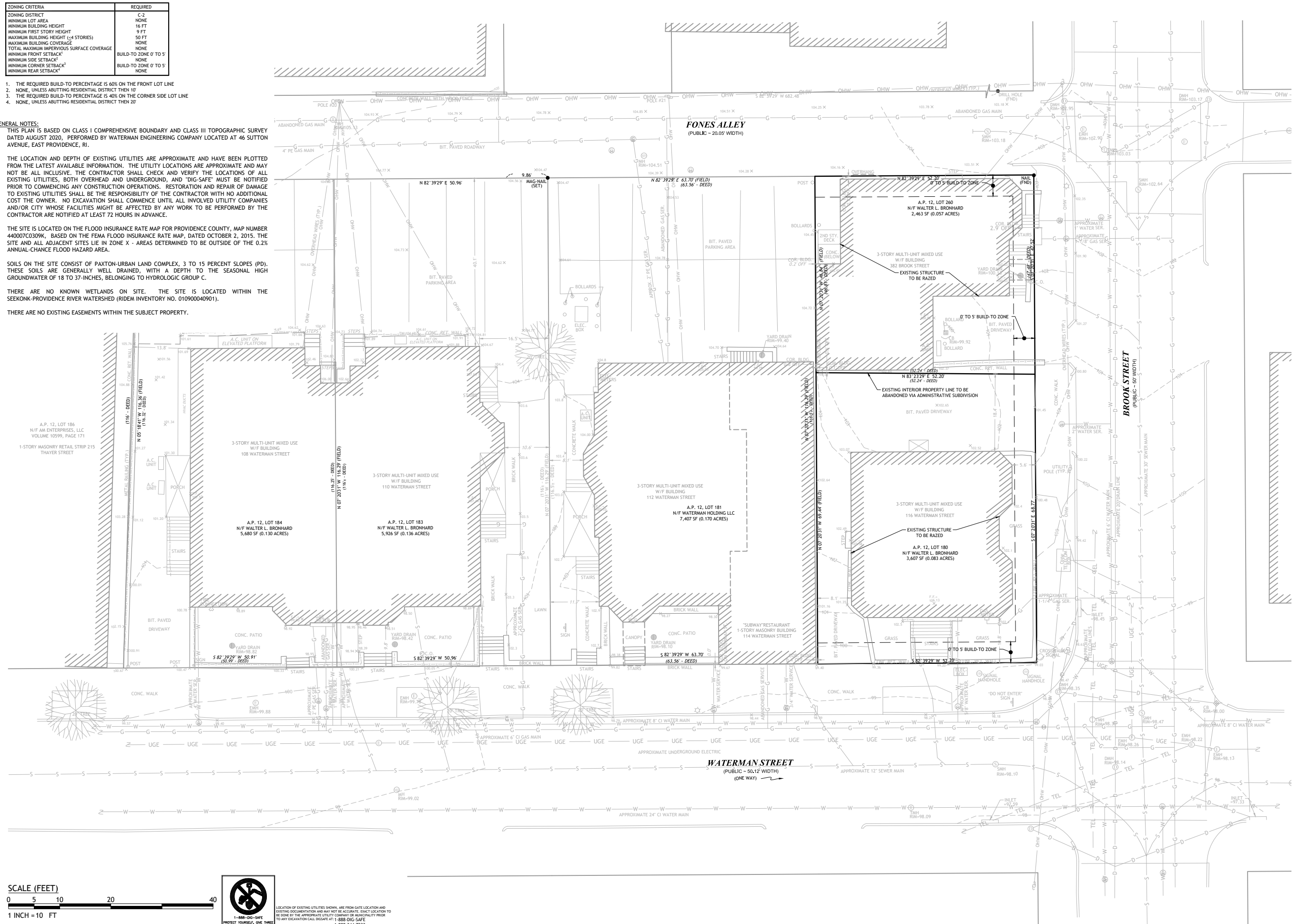
SHEET 1 OF 3

ZONING CRITERIA	REQUIRED
ZONING DISTRICT	C-2
MINIMUM LOT AREA	NONE
MINIMUM BUILDING HEIGHT	16 FT
MINIMUM FIRST STORY HEIGHT	9 FT
MAXIMUM BUILDING HEIGHT (<4 STORIES)	50 FT
MAXIMUM BUILDING COVERAGE	NONE
TOTAL MAXIMUM IMPERVIOUS SURFACE COVERAGE	NONE
MINIMUM FRONT SETBACK*	BUILD-TO-ZONE 0' TO 5'
MINIMUM SIDE SETBACK*	NONE
MINIMUM CORNER SETBACK*	BUILD-TO-ZONE 0' TO 5'
MINIMUM REAR SETBACK*	NONE

1. THE REQUIRED BUILD-TO PERCENTAGE IS 60% ON THE FRONT LOT LINE
2. NONE, UNLESS ABUTTING RESIDENTIAL DISTRICT THEN 10'
3. THE REQUIRED BUILD-TO PERCENTAGE IS 40% ON THE CORNER SIDE LOT LINE
4. NONE, UNLESS ABUTTING RESIDENTIAL DISTRICT THEN 20'

GENERAL NOTES:

1. THIS PLAN IS BASED ON CLASS I COMPREHENSIVE BOUNDARY AND CLASS III TOPOGRAPHIC SURVEY DATED AUGUST 2020, PERFORMED BY WATERMAN ENGINEERING COMPANY LOCATED AT 46 SUTTON AVENUE, EAST PROVIDENCE, RI.
2. THE LOCATION AND DEPTH OF EXISTING UTILITIES ARE APPROXIMATE AND HAVE BEEN PLOTTED FROM THE LATEST AVAILABLE INFORMATION. THE UTILITY LOCATIONS ARE APPROXIMATE AND MAY NOT BE ALL INCLUSIVE. THE CONTRACTOR SHALL CHECK AND VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, BOTH OVERHEAD AND UNDERGROUND, AND "DIG-SAFE" MUST BE NOTIFIED PRIOR TO COMMENCING ANY CONSTRUCTION OPERATIONS. RESTORATION AND REPAIR OF DAMAGE TO EXISTING UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR WITH NO ADDITIONAL COST TO THE OWNER. NO EXCAVATION SHALL COMMENCE UNTIL ALL INVOLVED UTILITY COMPANIES AND/OR CITY WHOSE FACILITIES MIGHT BE AFFECTED BY ANY WORK TO BE PERFORMED BY THE CONTRACTOR ARE NOTIFIED AT LEAST 72 HOURS IN ADVANCE.
3. THE SITE IS LOCATED ON THE FLOOD INSURANCE RATE MAP FOR PROVIDENCE COUNTY, MAP NUMBER 440007C0309K, BASED ON THE FEMA FLOOD INSURANCE RATE MAP, DATED OCTOBER 2, 2015. THE SITE AND ALL ADJACENT SITES LIE IN ZONE X - AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL-CHANCE FLOOD HAZARD AREA.
4. SOILS ON THE SITE CONSIST OF PAXTON-URBAN LAND COMPLEX, 3 TO 15 PERCENT SLOPES (PD). THESE SOILS ARE GENERALLY WELL DRAINED, WITH A DEPTH TO THE SEASONAL HIGH GROUNDWATER OF 18 TO 37-INCHES, BELONGING TO HYDROLOGIC GROUP C.
5. THERE ARE NO KNOWN WETLANDS ON SITE. THE SITE IS LOCATED WITHIN THE SEEKONK-PROVIDENCE RIVER WATERSHED (RIDEM INVENTORY NO. 010900040901).
6. THERE ARE NO EXISTING EASEMENTS WITHIN THE SUBJECT PROPERTY.



LOCATION OF EXISTING UTILITIES SHOWN ARE FROM GATE LOCATION AND EXISTING DOCUMENTATION AND MAY NOT BE ACCURATE. EXACT LOCATION TO BE DONE BY THE APPROPRIATE UTILITY COMPANY OR MUNICIPALITY PRIOR TO ANY EXCAVATION CALL DIGSAFE AT 1-888-DIG-SAFE 1-888-344-7233

JCE
 JOE CASALI ENGINEERING, INC.
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JOSEPH A. CASALI
 REGISTERED PROFESSIONAL ENGINEER
 CIVIL
 No. 7250
 State of Rhode Island
 5.24.2022

25-UNIT, FIVE-STORY MIXED-USE BUILDING
116 WATERMAN STREET
 PROVIDENCE, RHODE ISLAND
 AP 12, LOTS 180 & 260

REVISIONS:

NO.	DATE	DESCRIPTION

DESIGNED BY: WMLJR
 DRAWN BY: SEP
 CHECKED BY: JAC
 DATE: MAY 2022
 PROJECT NO: 19-194

PRELIMINARY, NOT FOR CONSTRUCTION

EXISTING CONDITIONS

SHEET 2 OF 3

ZONING CRITERIA	REQUIRED	PROPOSED
ZONING DISTRICT	C-2	C-2
MINIMUM LOT AREA	NONE	6,070 SF
MINIMUM BUILDING HEIGHT	16 FT	58 FT
MINIMUM FIRST STORY HEIGHT	11 FT NON-RESIDENTIAL	11 FT
MAXIMUM BUILDING HEIGHT (<=4 STORIES)	50 FT	58 FT (5 STORIES) ¹
MAXIMUM BUILDING COVERAGE	NONE	90%
TOTAL MAXIMUM IMPERVIOUS SURFACE COVERAGE	NONE	80.2%
MINIMUM FRONT SETBACK ²	BUILD-TO ZONE 0' TO 5'	VARIES (0 FT - 4.92 FT)
MINIMUM SIDE SETBACK ²	NONE	N/A
MINIMUM CORNER SETBACK ²	BUILD-TO ZONE 0' TO 5'	VARIES (0 FT - 4.92 FT)
MINIMUM REAR SETBACK ²	NONE	5 FT

1. THE REQUIRED BUILD-TO PERCENTAGE IS 40% ON THE FRONT LOT LINE
2. NONE, UNLESS ABUTTING RESIDENTIAL DISTRICT THEN 10'
3. THE REQUIRED BUILD-TO PERCENTAGE IS 40% ON THE CORNER SIDE LOT LINE
4. NONE, UNLESS ABUTTING RESIDENTIAL DISTRICT THEN 20'
5. ADJUSTMENT REQUESTED FOR ONE (1) ADDITIONAL STORY (+8 FEET); 2 ALLOWED

LANDSCAPING REQUIREMENTS:
 PER SECTION 1503, - ON-SITE LANDSCAPING AND REQUIRED TREES
 SECTION C - REQUIRE TREE CANOPY
 (ALL OTHER DISTRICTS: 15% OF THE SF OF THE LOT)

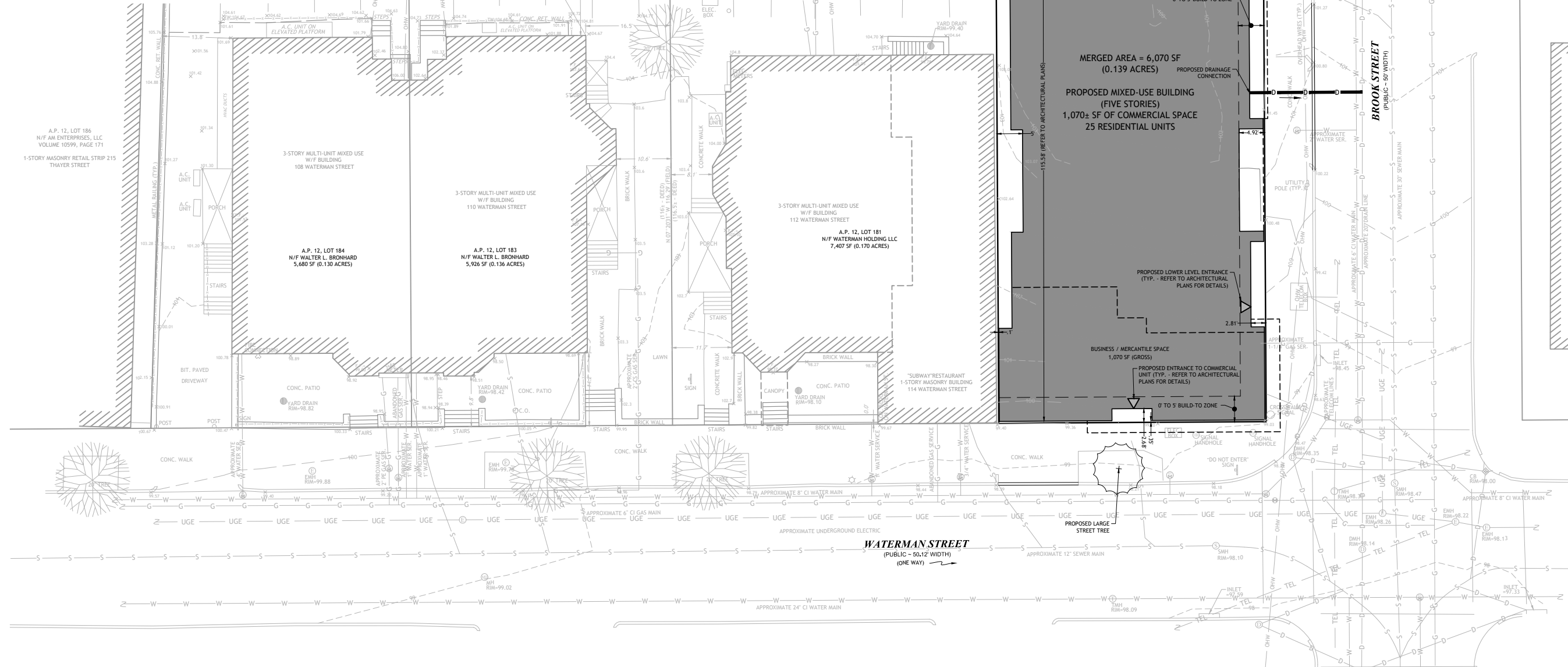
6,070 SF TOTAL LOT AREA x 15% OF LOT AREA
 = 911 SF OF TREE CANOPY

REQUIRED: 911 SF OF TREE CANOPY*
 PROPOSED: 1,000 SF (1 LARGE STREET TREE)

VEHICLE AND BICYCLE PARKING REQUIREMENTS:

VEHICLE PARKING: PER SECTION 1410.B.7 OF THE PROVIDENCE ZONING ORDINANCE, IN THE C-1 AND C-2 DISTRICTS, ALL LOTS OF 10,000 SQ. FT. OF LESS ARE EXEMPT FROM PARKING REQUIREMENTS. THEREFORE, NO VEHICLE PARKING IS PROPOSED.

BICYCLE PARKING: PER SECTION 1402, TABLE 14-1, OF THE PROVIDENCE ZONING ORDINANCE, ONE (1) BICYCLE SPACES IS REQUIRED PER FIVE (5) DWELLINGS. TWENTY-FIVE (25) DWELLING UNITS ARE PROPOSED, THEREFORE FIVE (5) BICYCLE SPACES ARE PROPOSED. ALL BICYCLE SPACES ARE PROPOSED WITHIN THE BASEMENT OF THE STRUCTURE; REFER TO ARCHITECTURAL PLANS FOR DETAILED LOCATIONS.



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JOSEPH A. CASALI
 REGISTERED PROFESSIONAL ENGINEER
 CIVIL
 5-24-2022

**25-UNIT, FIVE-STORY MIXED-USE BUILDING
 116 WATERMAN STREET
 PROVIDENCE, RHODE ISLAND
 AP 12, LOTS 180 & 260**

REVISIONS:

NO.	DATE	DESCRIPTION

DESIGNED BY: WMLJR
 DRAWN BY: SEP
 CHECKED BY: JAC
 DATE: MAY 2022
 PROJECT NO: 19-194

PRELIMINARY, NOT FOR CONSTRUCTION

CONCEPTUAL SITE PLAN

SHEET 3 OF 3

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