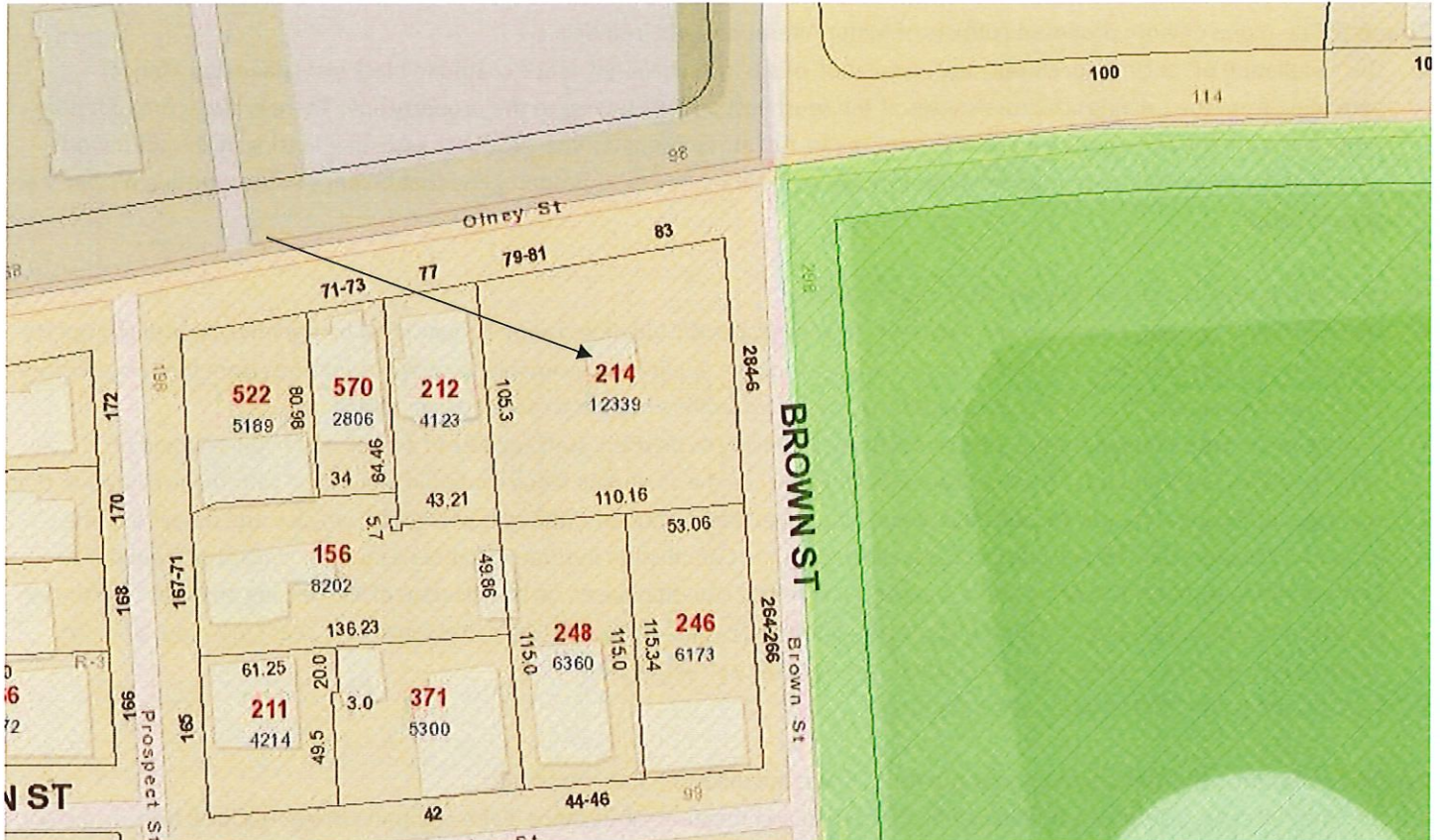
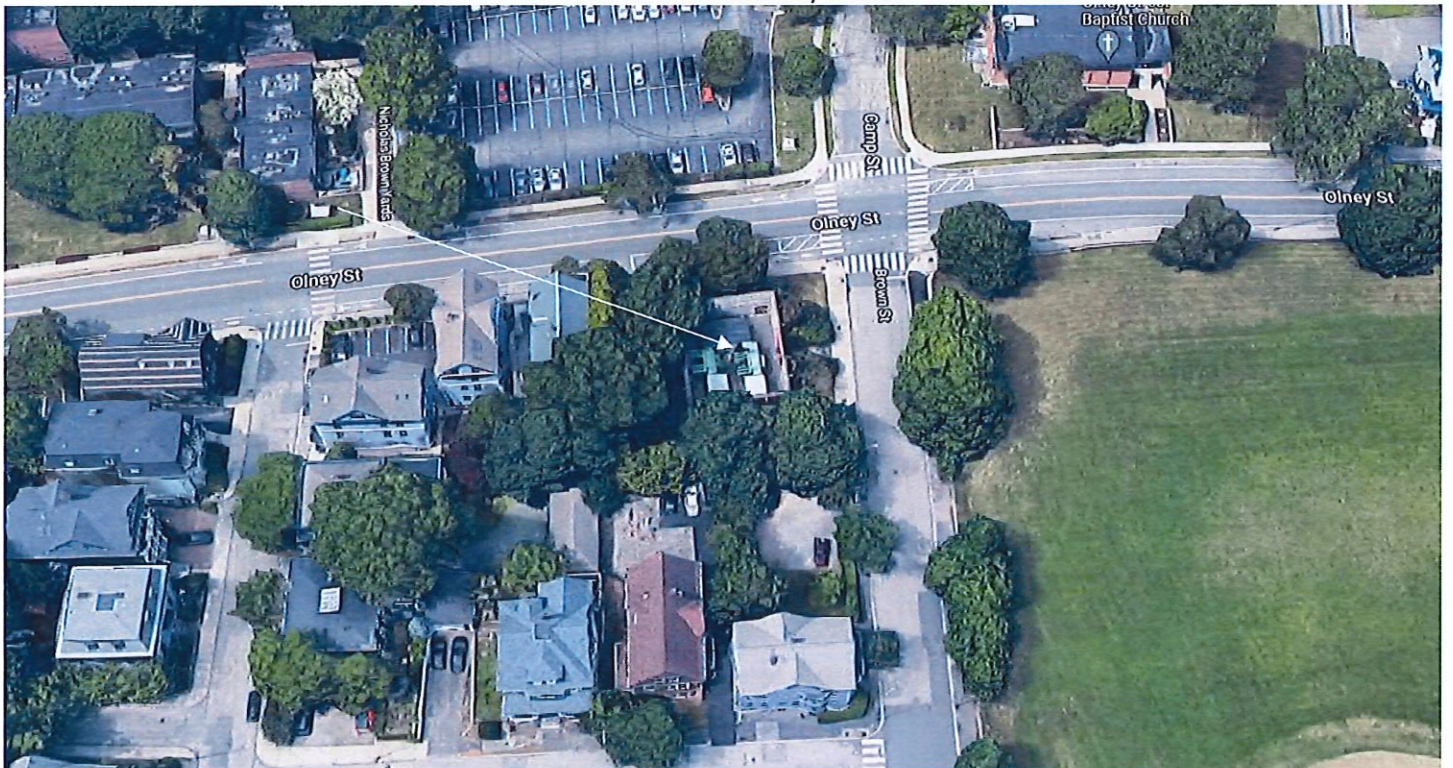


4. CASE 22.129, 83 OLNEY STREET, Utility Building, 1970 (COLLEGE HILL)
NON-CONTRIBUTING to CHNHL



Arrow indicates 83 Olney Street.



Arrow indicates project location, looking north.

Applicant/Owner: The Narragansett Electric Company, 280 Melrose Street, providence, RI 02907

Proposal: The scope of work proposed consists of Minor Alterations and includes:

- the installation of fencing, specifically the installation of a 6' tall, chain-link fence coated in black vinyl (landscape fence) extending from the existing structure's walls at the southeast and northwest to the property line. There is also a run of fence proposed from the termination point of the southeast run at the property line west to the existing fencing at the southwest corner of the property (there is an existing stockade fence along the west property line that belongs to the abutting property on Olney Street).

Issues: The following issues are relevant to this application:

- New fencing is typically a staff review; however, the Standards & Guidelines require a waiver to be signed by abutting property owners or the application is reviewed by the Commission. The applicant was unable to obtain signatures from the two abutters on the south property line. Public comment from these two owners has been received (see attached);
- In discussions with the applicant regarding the type of fencing to be used, staff suggested a black metal fence would be appropriate to the standards. The applicant would like to use the chain-link fence coated in black vinyl with the explanation that this type of fencing is harder to scale and would help deter illegal entry into the rear of the site, which is the purpose of the proposal. Aesthetically this fencing has been allowed by the Commission in some instances as part of landscape conditions. Staff's opinion is that this fencing may be appropriate in this situation based on the location of the fencing and that this fencing be less noticeable, blending in with the landscape of the property, while the black metal fence may seem more out of place, drawing attention to a rather undistinguished, but necessary structure; and,
- A plans, specs and photos have been submitted.

Recommendations: The staff recommends the PHDC make the following findings of fact:

- a) 83 Olney Street is a structure of minimal historical and architectural significance located within College Hill local historic district, having been recognized as a non-contributing structure to the College Hill National Historic Landmark District;
- b) The application for Minor Alterations is considered complete; and,
- c) The work as proposed may be in accord with PHDC Standard 8 as follows: the alterations as proposed are appropriate having determined that the alterations are architecturally and historically compatible with the property and district having an appropriate size, scale and form that will not have an adverse effect on the property or district.

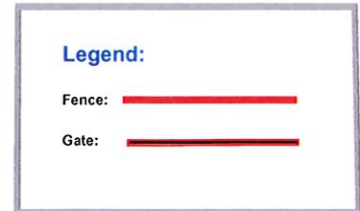
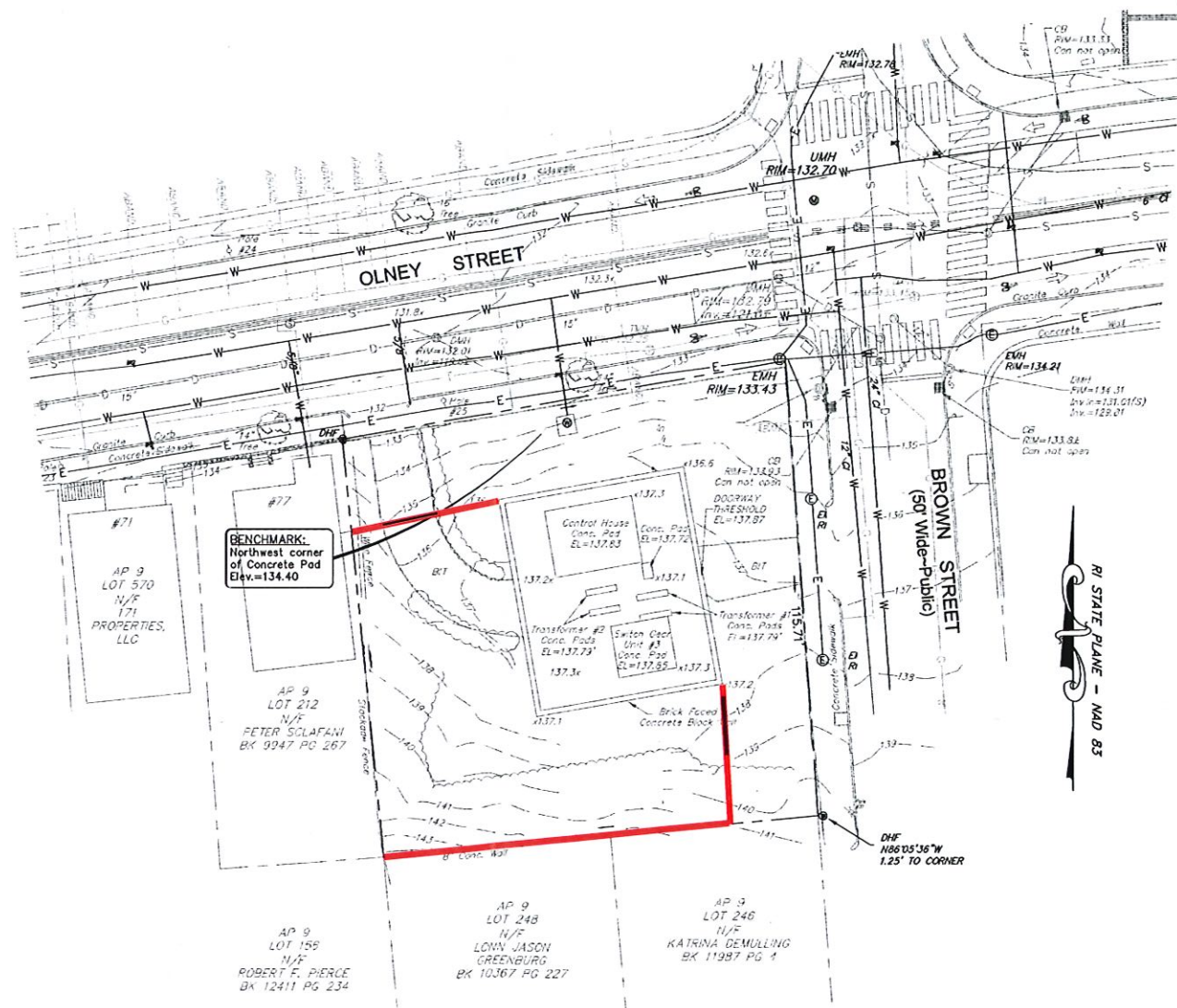
Staff recommends a motion be made stating that: The application is considered complete. 83 Olney Street is a structure of minimal historical and architectural significance located within College Hill local historic district, having been recognized as a non-contributing structure to the College Hill National Historic Landmark District. The Commission grants final approval of the proposal as submitted having determined that the alterations as proposed are appropriate as the alterations are architecturally and historically compatible with the property and district having an appropriate size, scale and form that will not have an adverse effect on the property or district, citing and accepting the recommendations in the staff report, with staff to review any additional required details.



LOCUS MAP
N.T.S.

LEGEND & ABBREVIATIONS

—E—	ELECTRIC LINE	□ CB	CATCH BASIN
—S—	SEWER LINE	⊕ EMH	DRAIN MANHOLE
—W—	WATER LINE	⊕ UMH	UNKNOWN MANHOLE
—G—	GAS LINE	⊕ SMH	SEWER MANHOLE
—D—	DRAINAGE LINE	⊕ EHH	ELECTRIC MANHOLE
—T—	TELEPHONE LINE	⊕ EHH	ELECTRIC HANDHOLE
—COX—	COX CABLE LINE	⊕ WMH	WATER MANHOLE/METER PIT
—VZ—	VERIZON LINE	⊕ UP	UTILITY POLE
—C—	COMMUNICATION LINE	—GUY—	GUY WIRE
—	CONCRETE CURBING	—EOP—	EDGE OF PAVEMENT
—	GUARDRAILS	—CONC—	CONCRETE
		—BIT—	BITUMINOUS
		—DHF—	DRILL HOLE FOUND



ZONING DATA
RESIDENTIAL DISTRICT(R-3) MIN. LOT SIZE: 5,000 SF. MAX. LOT COVERAGE: 45% MIN. FRONTAGE: 50' MIN. FRONT YARD: * MIN. SIDE YARD: 6' MIN. REAR YARD: 25' MAX. BLDG. HEIGHT: 3 STORIES
* PLEASE REFER TO ZONING REGS. FOR ADDITIONAL INFORMATION.

PARCEL DATA
AP. 9 LOT 214 N/F NARRAGANSETT ELECTRIC CO. DEED BK. 1175 / PG. 303 #83 OLNEY STREET LOT AREA: 12518 S.F.± OR 0.29 ACRES±

- NOTES:**
- THE PROJECT SITE IS LOCATED WITHIN ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS SHOWN ON FIRM'S - FLOOD INSURANCE RATE MAPS FOR THE CITY OF PROVIDENCE, RHODE ISLAND, PROVIDENCE COUNTY, MAP NUMBERS 44007C308J & 44007C309K, MAPS REVISED: OCTOBER 2, 2015.
 - THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. (PLEASE CONTACT DIGSAFE PRIOR TO CONSTRUCTION @ 1-888-344-7233)
 - HORIZONTAL DATUM: RHODE ISLAND STATE PLANE - NAD 83
VERTICAL DATUM: NAVD 88*
*DATUM WAS DERIVED BY OBSERVED GPS ORTHOMETRIC HEIGHTS VARIATIONS BETWEEN LOCAL BENCHMARKS MAY APPLY.

- PLAN REFERENCES:**
- PLAT OF LAND AP 9 LOTS 213 & 214 BY EUGENE CASTELUCCI
 - CITY OF PROVIDENCE STREET LINE PLANS
 - PLAT OF THE LATE MARTHA J. HANLEY EST. PROVIDENCE, RI BY WALTER E. FRENCH APRIL, 1920 ~ PLAT CARD 1054
 - A CONDOMINIUM PLAT OF 163 PROSPECT STREET CONDOMINIUMS, AP 9 LOT 278 PROVIDENCE RHODE ISLAND DATE: NOVEMBER 24, 2009 PREPARED FOR BOUNHEUANG KHAMSVORAVOG BY OCEAN STATE PLANNERS JOB NO. 7923

CERTIFICATION:
THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:

TYPE OF BOUNDARY SURVEY	MEASUREMENT SPECIFICATION
COMPREHENSIVE BOUNDARY SURVEY	CLASS I
DATA ACCUMULATION SURVEY	CLASS III

THE PURPOSE OF THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS: TO PREPARE AN EXISTING CONDITIONS PLAN WITH EXISTING UTILITIES FOR THE CLIENT

BY: Samuel A. White, Jr.
SAMUEL A. WHITE LICENSE NO. 1781
LS A59-COA



EXISTING CONDITIONS PLAN
FOR
OLNEY STREET
at BROWN STREET
SITUATED IN
PROVIDENCE, RHODE ISLAND
PREPARED FOR
THE NARRAGANSETT ELECTRIC
COMPANY d/b/a NATIONAL GRID

NO.	REVISION	BY	DATE

Prepared for:
THE NARRAGANSETT ELECTRIC
COMPANY
d/b/a
nationalgrid
280 MELROSE STREET
PROVIDENCE, R.I. 02907



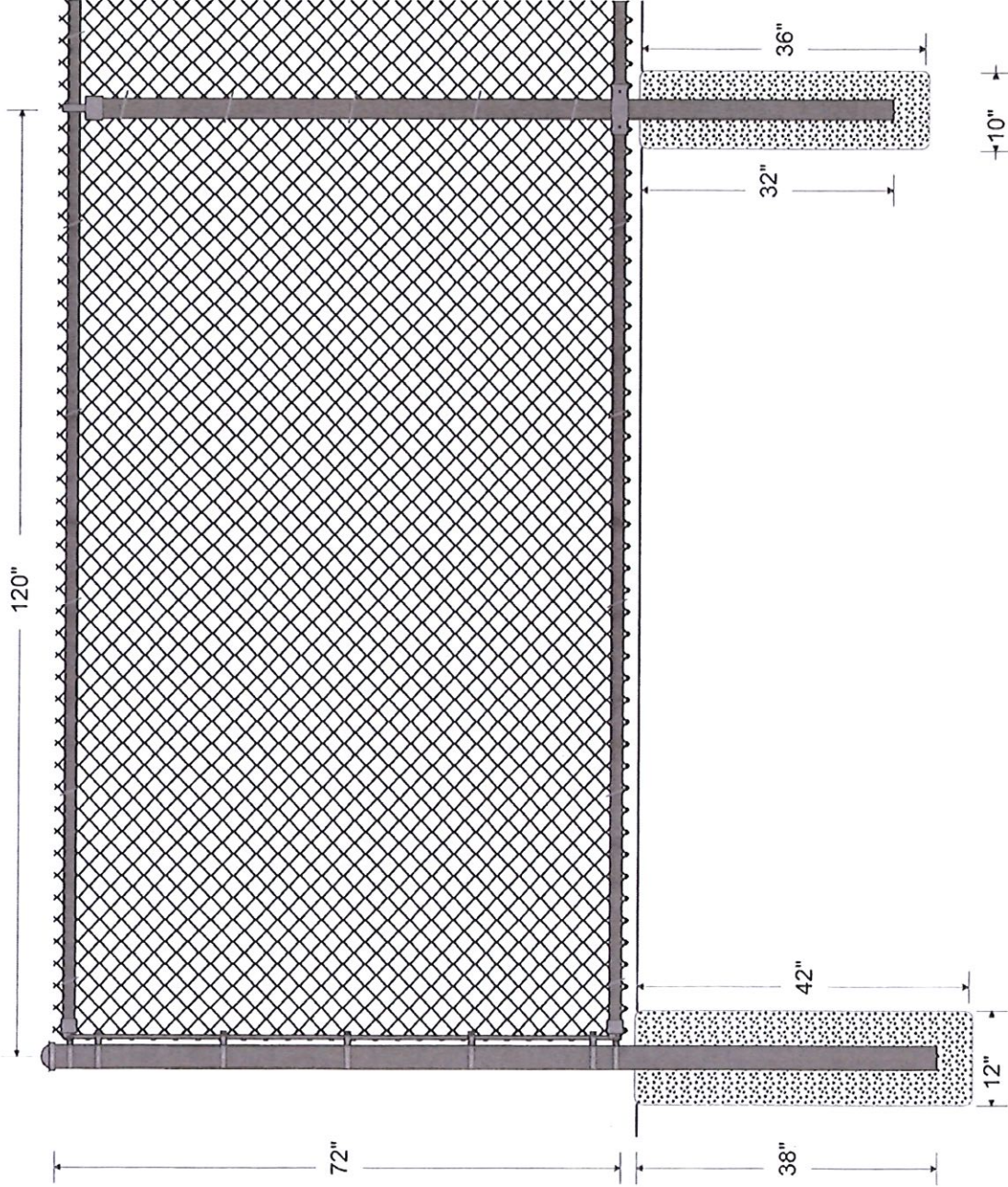
GAROFALO
GAROFALO & ASSOCIATES, INC.
CIVIL & STRUCTURAL ENGINEERS/SURVEYORS
LAND PLANNERS/ENVIRONMENTAL SCIENTISTS

85 CORLISS STREET
P.O. BOX 6145
PROVIDENCE, R.I. 02940
TEL. 401-272-6000

Confido & Associates ©
These drawings are the property of the engineer/surveyor and have not been prepared for any other purpose. They shall not be used for any other purpose, without the consent of the engineer or surveyor in writing.

JOB NO. 7372.02	DRAWN BY RSE
DWG. NO. 7372-02-ECS.dwg	CALCS BY SAW
SCALE: 1" = 20'	APPROVED SAW
	DATE: MARCH, 2022

SHEET
1
OF 1 SHEETS



FABRIC: 72" 9 GA. CORE BLACK FB (2" Mesh) B.K. VINYL CHAIN LINK FABRIC.

TOP RAIL: 1 5/8" O.D. BLACK S-40 PIPE, 1.83 lbs. per foot. Top rail 21' in length, joined with 1 5/8" BLACK SLEEVE.

LINE POST: 2 1/2" O.D. BLACK S-40 PIPE POST, 3.11 lbs. per foot. Line posts set 10' on center maximum spacing. Concrete footing: 10" diameter, 36" depth.

TERMINAL POST: 3" O.D. BLACK S-40 PIPE, 4.78 lbs. per foot. Concrete footing: 12" diameter, 42" depth.

BRACING: 1 5/8" O.D. BLACK S-40 PIPE, 1.83 lbs. per foot, used for the bottom rail.

FITTINGS: BLACK BEVELED BRACE BAND & BLACK CARRIAGE BOLT, BLACK P.S. RAIL END, BLACK BOULEVARD CLAMP, BLACK P.S. LOOP CAP, BLACK P.S. DOME CAP, BLACK (3/4") TENSION BAR, BLACK BEVELED TENSION BAND & BLACK CARRIAGE BOLT.

TIE WIRE: 2 1/2" BLACK 6 GA. ALUMINUM TIE WIRE & 1 5/8" BLACK 6 GA. ALUMINUM TIE WIRE spaced 15" on center for line posts & 24" on center for rails.

POST FOOTING: TRUCK Poured CONCRETE.



CITIWORKS CORP
 20 Rutledge Drive
 ATTLEBORO, MA 02703
 (508)761-7400

Drawn: 10/15/2021
 File:

LINE OF FENCE

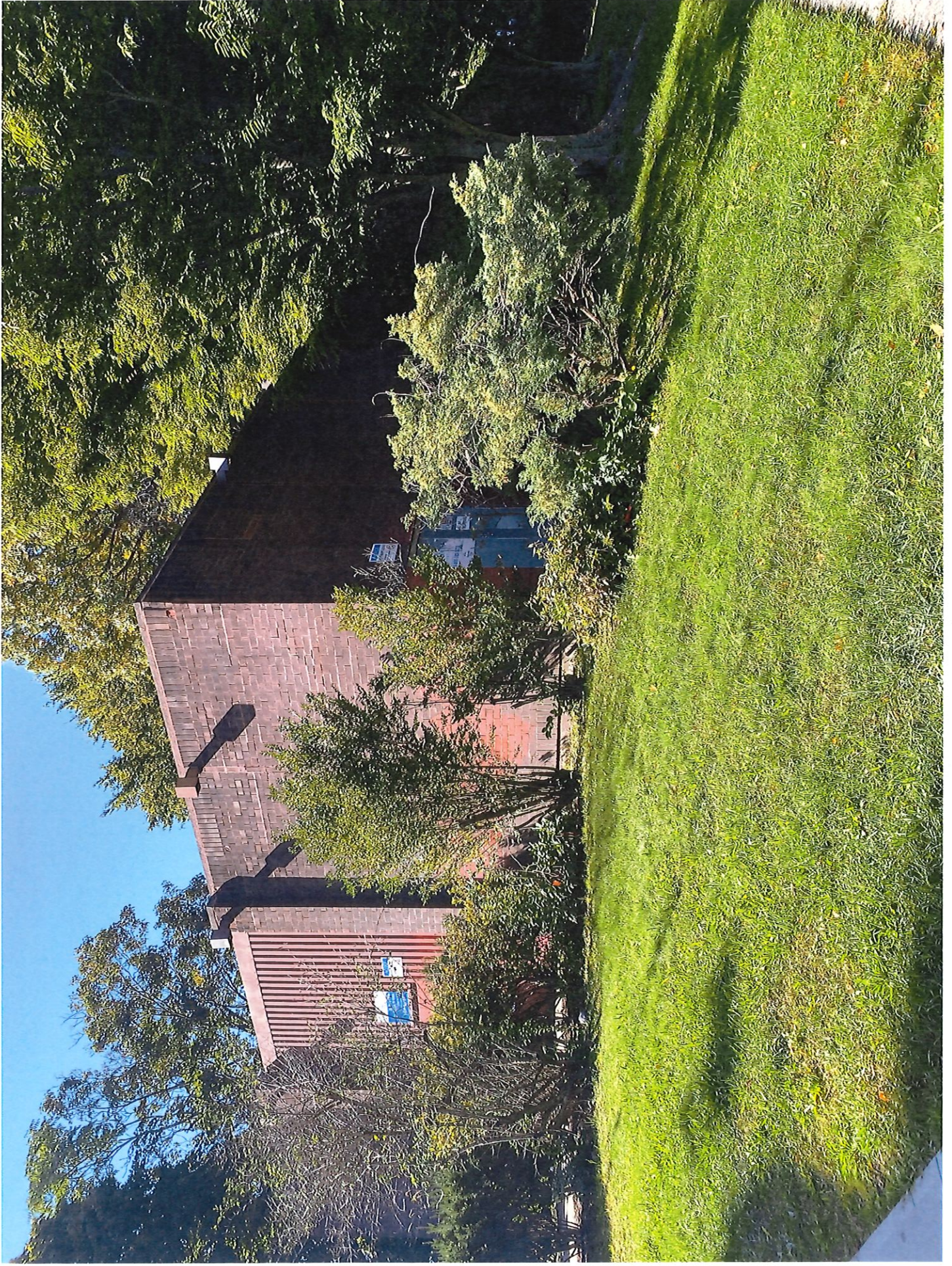
View of side of building from Brown Street



View of front entrance from Brown Street



View from corner of Brown Street and Olney Street



View of rear of building from Olney Street



From: [Katrina Demulling](#)
To: [Martin, Jason](#)
Subject: Case 22.129, 83 Olney Street, Utility Building, 1970 (College Hill) - fencing
Date: Thursday, October 20, 2022 8:50:33 AM
Attachments: [Hope Reservoir Pumping Station between 1875 to 1926.png](#)
[Sanborn Map Providence Rhode Island vol 2 Copyright 1900 page 134.png](#)
[Hope Reservoir and Pump Station Postcard.png](#)

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

Jason,

I will do my best to attend Monday's meeting virtually. Below are my written remarks against 83 Olney Street's proposed historically inappropriate fence design. Please confirm receipt.

I own and reside at 266-268 Brown Street, Providence, RI 02906, a College Hill Historic District home built circa 1898-1900, which is included on the National Register of Historic Places. Underneath its current 1950s shingles, is the original Queen Anne wood exterior that I look forward to one day restoring to its original beauty.

My property abuts 83 Olney Street.

83 Olney's Proposed Fence Design is Not Historically Appropriate:

I am not keen on a fence at all alongside my shared border, but if there is a fence, it should not be chain link style. **A chain link fence is completely inappropriate for this area.**

Such a fence is not in keeping with this historic neighborhood.

A metal fence imitating a wrought iron vertical bar aesthetic is appropriate for this area.

According to the Providence Historic District Commission's (PHDC) Standards and Guidelines, adopted in 1994 and amended in 1997, "Fences are often character-defining features and should be treated sensitively. It is important that the fence design harmonize with the character of the historic structure and the surrounding district." "Fences on common property lines can have a negative impact on neighboring properties"

https://www.providenceri.gov/wp-content/uploads/2017/05/Planning-PHDC_StandardsGuidelines2.pdf

A chain link fence does not harmonize with the historic character of the surrounding neighborhood. 83 Olney Street shares boundary lines with 3 historic homes that date to

the late 1800s/early 1900s. Chain link is easily vandalized and damaged, which will further erode it's aesthetics.

PHDC's Standards and Guidelines, Illustration 9 states "Woven wire (chain link) is "inappropriate for any yard." I am surprised it's even being considered as an option for this College Hill Historic District property.

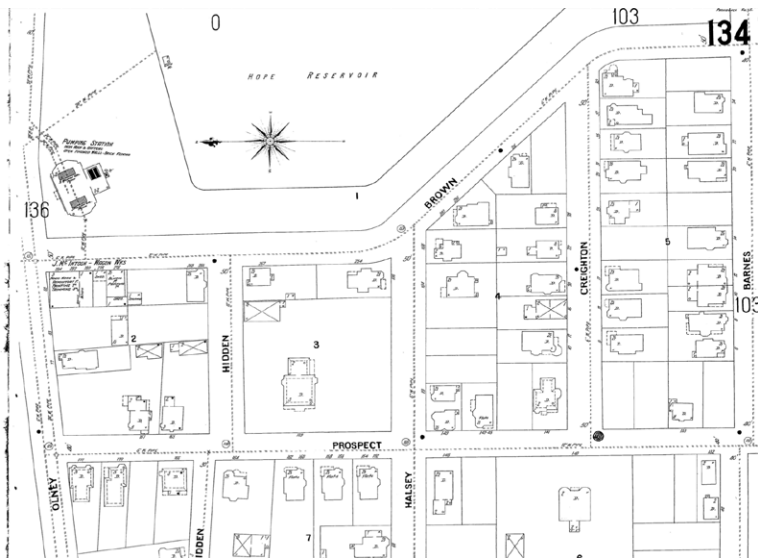
83 Olney Street was previously a wagon works, casket maker, and blacksmiths shop. It is currently a simple brick structure which contains the substation equipment, obscured by landscaping. Olney Street is an important thoroughfare and marks the northern border for the College Hill Historic District. The College Hill Historic District "contains the most distinguished historic architecture in the city" (<https://www.providenceri.gov/planning/phdc-lhd-info/>). The past 20-years has seen many of the historic houses along Brown, Hidden Street, and Olney Street undergo exterior restoration efforts.

This is not a place for newly built chain link style fencing.

From 1875 - 1938, the lot across the street that is now Hope High School, was occupied by the Hope Reservoir and Pumping Station. A picture dated from some time between 1875 to 1926 shows the original fence, which appears to be wrought iron pickets.



The majority of the houses in this neighborhood date to a similar time period that the Hope Reservoir Pumping Station was in service. Attached is the circa 1899-1900 map showing my house and 83 Olney Street.



In this early 1900s postcard, you can actually see my house and 44 Hidden Street behind the Hope Reservoir.



A style imitating or reflective of the Hope Reservoir Pumping Station's wrought iron fence is appropriate for this area, not chain link.

The nearby existing chain link fence in this area of the historic neighborhood dates to an era when historic design standards were not enforced strictly or ensconced to protect the character of the neighborhood.

The fact that the City of Providence 40+ years ago put up a prison-yard style tall chain link fence topped with barbed wire should not be used as a reason to justify NEW chain link fence in this historic neighborhood. The school's fence, about 20 feet tall, topped with

barbed wire, is not allowed according to current Zoning Ordinances. I expect that when the Providence School Dept is able to remove their dilapidated fence, they will replace it with something more historically appropriate.

Wendy Nilsson, head of the Providence Parks Department has recently expressed during several public meetings that the Parks Department intends to replace their section of chain link fence that's further along Brown Street with historically appropriate fencing consistent with the newer fence they've put in at other Providence Parks.

83 Olney's Proposed Fence Placement is Problematic:

I am concerned about the placement of this fence.

I laud the foresight that RI Energy put into setting back the fence from the street line to help obscure it. Due to the need for access gates, however, it will still be readily visible from Olney Street and Brown Street. Its design aesthetic, therefore, is very important.

I am concerned about the placement of the fence along the border with 44 Hidden Street and my property. 83 Olney Street is currently lined with tall conifers. It is proposed to go alongside this tree line.

It will harm the health of the trees of 83 Olney St along this property line.

Four plus of their trees that go along our property line are already in very poor health. They only have leaves on a few lower branches and are completely dead on top. Their proposal intends to put the fence alongside these trees, necessitating cutting back the bottom 6-7+ feet of branches. This cutting is likely to kill several of these trees.

It will create an area of their property that would require trespassing on to my property to maintain.

Close to the eastern side of our shared boundary line, there are a cluster of mature trees. Where they propose to place the fence, it is impossible to walk through the boundary line or to the north of it to stay on their property to maintain the area not fenced in. They will either have to trespass on my property to maintain a portion of their lot or they will leave a section of their lot unmaintained.

This fence placement will exacerbate their lot's current rat problem.

The backside of 44 Hidden Street has a retaining wall. 83 Olney Street sits about 6' below

that. 83 Olney Streets lot area underneath their trees has been a neglected problem area for over 4.5 years. I've raised concerns first to National Grid and now to RI Energy about the "rat hotel" created by the accumulated construction debris combined with fallen branches, leaf litter, and trash that blows in.



The cinder blocks and rotting plywood have been there for at least 4.5 years. The blue tarp and other loose trash has blown in over past few months.

The placement of this fence would wall this problem area out of 83 Olney's lot. While still a problem emanating from their lot, due to a 6' fence, they will no longer be able to address it from their property and will trespass through my property to access this area. Or - more likely - they will ignore it, thus exacerbating a documented ongoing known issue.

A historically appropriate vertical bar design would allow easier access to clean trash and tree litter that falls outside the fence line within their lot.

Thank you.

Katrina Demulling
Owner, 266 268 Brown Street, Providence, RI

From: [Lonn Greenberg](#)
To: [Martin, Jason](#)
Subject: 83 Olney St. Fence
Date: Thursday, October 20, 2022 1:44:40 PM

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

Hi Jason,

I wanted to make you aware that I oppose this fence being built. I am the property owner at 44/46 Hidden Street and would likely be impacted by this more than any other neighboring party. This fence would greatly diminish the aesthetic value of the area, including the true line, and create what I would deem as an "eye sore." A chain link fence would not serve any redeemable purpose other than to mark, in an unsightly manner, where one property begins, and another one ends. This fence would also create a gap between itself and the retaining wall that borders my property line, that would be a magnet for garbage, debris, and rodents. This is a nice neighborhood that has improved over the past few years. This fence would be a step in the wrong direction and would seem to go against all the ideals that the Historic District Commission so ardently tries to preserve in the College Hill area.

Thank You,
Lonn Greenberg