

PROPOSED MINOR LAND DEVELOPMENT PROJECT

RICHMOND SQUARE APARTMENTS

A PROPOSED SIX-STORY, 25-UNIT RESIDENTIAL BUILDING

5 RICHMOND SQUARE
PROVIDENCE, RHODE ISLAND
AP 15, LOT 321

ZONING DISTRICT: W-2 MIXED-USE WATERFRONT DISTRICT

- FILINGS:**
- PRELIMINARY PLAN (MINOR LAND DEVELOPMENT) - PROVIDENCE CITY PLAN COMMISSION (CPC)
 - COASTAL RESOURCES MANAGEMENT COUNCIL (RICRMC) - ASSENT APPLICATION
 - PROVIDENCE WATER SUPPLY BOARD - DOMESTIC AND FIRE PROTECTION CONNECTION PERMIT
 - NARRAGANSETT BAY COMMISSION - SEWER CONNECTION PERMIT
 - CITY OF PROVIDENCE DEPT. OF PUBLIC WORKS - ENGINEERING AND TRAFFIC
 - CITY OF PROVIDENCE PARKS DEPARTMENT - CITY FORESTER

NOTES TO CONTRACTOR - WORK IN CITY RIGHT-OF-WAY:

1. A PERMIT MUST BE OBTAINED FROM THE TRAFFIC ENGINEERING DIVISION AND THE ENGINEERING DIVISION AT THE CITY OF PROVIDENCE DEPARTMENT OF PUBLIC WORKS (DPW) PRIOR TO THE REMOVAL OF SIDEWALKS WITHIN WATERMAIN AND/OR BRICK STREETS. THE PERMIT APPLICATION MUST ADDRESS ALTERNATIVE PEDESTRIAN PATHS OF TRAVEL.

City of Providence
City Plan Commission

Minor Subdivision or Land Development Project

Name: 5 RICHMOND SQ

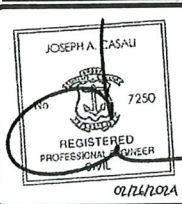
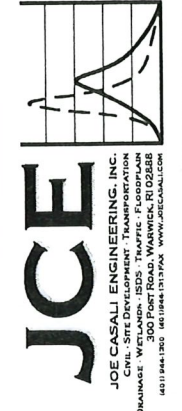
CPC Project # 24-003711

Approved Pursuant to Article 4 of the City of Providence Development Review Regulations, as amended, and RIGL 45-23-38 on _____ and shall be recorded and filed with the Recorder of Deeds no later than ninety (90) days following this approval, unless extended.

Administrative Officer/ Dept. of Planning & Development [Signature] 6/12/24 Date

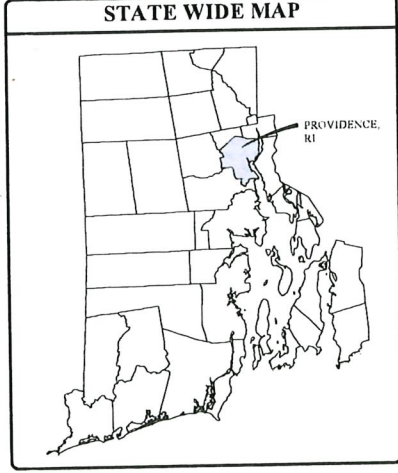
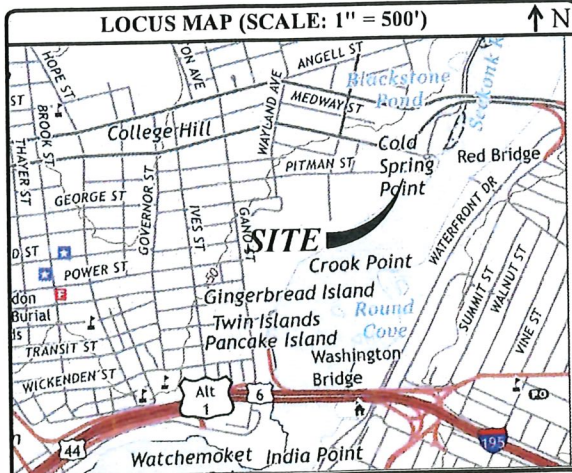
Chair/ Providence City Plan Commission [Signature] 6/12/24 Date

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CITY OF PROVIDENCE,
JUN 14, 2024 09:59 A
Jeanne Pascone
RECORDER OF DEEDS
Vol: 104 PG: 1



SIX-STORY, 25-UNIT RESIDENTIAL BUILDING
5 RICHMOND SQUARE
PROVIDENCE, RHODE ISLAND
AP 15, LOT 321

PROJECT TEAM		
OWNER:	RICHMOND SQUARE PROPERTIES LLC 251 PITMAN STREET PROVIDENCE, RI 02906	CIVIL: JOE CASALI ENGINEERING, INC. 300 POST ROAD WARWICK, RI 02888 PHONE: 401-944-1300 FAX: 401-944-1313
APPLICANT:	MR. MICHAEL LEMOI 334 CARPENTER STREET PROVIDENCE, RI 02909	SURVEYOR: OCEAN STATE PLANNERS, INC. 1255 OAKLAWN AVENUE CRANSTON, RI 02920 PHONE: 401-463-9696
ARCHITECT:	ED WOJCIK ARCHITECT, LTD ONE RICHMOND SQUARE PROVIDENCE, RI 02906 PHONE: 401-861-7139	LANDSCAPE ARCHITECT: DIANE SOULE & ASSOCIATES INC. 422 FARNUM PIKE SMITHFIELD, RI 02917 PHONE: 401-231-0736



INDEX OF DRAWINGS	
SHEET NO.	PLAN TITLE
1	COVER SHEET
2	EXISTING CONDITIONS & SITE PREPARATION PLAN
3	SITE PLAN
4	UTILITY PLAN
5	GRADING & DRAINAGE PLAN
6	CIVIL DETAILS I
7	CIVIL DETAILS II
8	CIVIL DETAILS III
9	RI STANDARD DETAILS
L1	LANDSCAPE PLAN, PREPARED BY DIANE SOULE & ASSOCIATES, INC.
R1	BOUNDARY STAKE-OUT SURVEY, PREPARED BY OCEAN STATE PLANNERS, INC., DATED MARCH 3, 2023

REVISIONS	
NO.	DATE DESCRIPTION
1	02/20/23 LOADING TREES
2	01/16/24 RIDEAL
3	02/22/24 NBC COMMENTS
4	02/26/24 PLANNING

DESIGNED BY	DRD
DRAWN BY	SEPSD
CHECKED BY	JAC
DATE	SEPT 2023
PROJECT NO.	21-49

PRELIMINARY, NOT FOR CONSTRUCTION

COVER SHEET

SHEET 1 OF 9

City of Providence
 City Plan Commission
 Minor Subdivision or Land Development Project

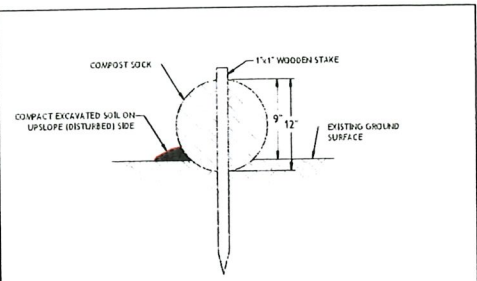
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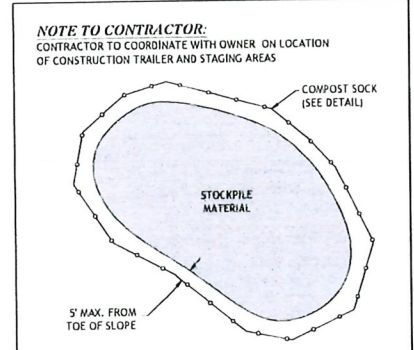
- GENERAL NOTES:**
- THIS PLAN IS BASED ON CLASS I COMPREHENSIVE BOUNDARY AND CLASS III TOPOGRAPHIC SURVEY DATED APRIL 2023, PERFORMED BY OCEAN STATE PLANNERS LOCATED AT 1255 OAKLAWN AVENUE, CRANSTON, RI. DEED RECORDED IN PROVIDENCE DEED BOOK 13877, PAGE 234.
 - THE LOCATION AND DEPTH OF EXISTING UTILITIES ARE APPROXIMATE AND HAVE BEEN PLOTTED FROM THE LATEST AVAILABLE INFORMATION. THE UTILITY LOCATIONS ARE APPROXIMATE AND MAY NOT BE ALL INCLUSIVE. THE CONTRACTOR SHALL CHECK AND VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, BOTH OVERHEAD AND UNDERGROUND, AND "DIG-SAFE" MUST BE NOTIFIED PRIOR TO COMMENCING ANY CONSTRUCTION OPERATIONS. RESTORATION AND REPAIR OF DAMAGE TO EXISTING UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR WITH NO ADDITIONAL COST TO THE OWNER. NO EXCAVATION SHALL COMMENCE UNTIL ALL INVOLVED UTILITY COMPANIES AND/OR CITY WHOSE FACILITIES MIGHT BE AFFECTED BY ANY WORK TO BE PERFORMED BY THE CONTRACTOR ARE NOTIFIED AT LEAST 72 HOURS IN ADVANCE.
 - THE SITE IS LOCATED ON THE FLOOD INSURANCE RATE MAP FOR PROVIDENCE COUNTY, MAP NUMBER 44007C0309K, DATED OCTOBER 2, 2015. THE MAJORITY OF THE SITE IS LOCATED WITHIN FLOOD ZONE X 0.2% ANNUAL-CHANCE FLOOD HAZARD, WHICH IS DEFINED AS 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTH LESS THAN ONE FOOT OR WITH DRAINAGE AREAS OF LESS THAN ONE SQUARE MILE. THE SOUTHERNMOST PORTION OF THE SITE LIES WITHIN FLOOD ZONE VE 13, WHICH IS DEFINED AS COASTAL FLOOD ZONE WITH VELOCITY HAZARD (WAVE ACTION).
 - SOILS ON THE SITE CONSIST OF URBAN/URBAN LAND COMPLEX (UO). THESE SOILS CONSIST OF HUMAN TRANSPORTED MATERIALS.
 - THERE ARE NO KNOWN WETLANDS ON SITE. THE SITE IS LOCATED WITHIN THE SEEKONK-PROVIDENCE RIVER WATERSHED (RIDEM INVENTORY NO. 010900040901).
 - THERE IS AN EXISTING 30-FOOT-WIDE SEWER EASEMENT WITHIN THE SUBJECT PROPERTY, OWNED AND MAINTAINED BY THE NARRAGANSETT BAY COMMISSION. THERE IS A 25-FOOT-WIDE DRAINAGE EASEMENT THAT RUNS ALONG THE SOUTHERN PROPERTY LINE BENEFITTING THE CITY OF PROVIDENCE.

- SOIL EROSION AND SEDIMENTATION CONTROL NOTES:**
- THE COMPOST SOCK LINE ILLUSTRATED ON THESE PLANS SHALL SERVE AS THE STRICT LIMIT OF DISTURBANCE FOR THE PROJECT.
 - THE LIMITS OF CLEARING, GRADING, AND DISTURBANCE SHALL BE KEPT TO A MINIMUM WITHIN THE PROPOSED AREA OF CONSTRUCTION. ALL AREAS OUTSIDE OF THESE LIMITS, AS DEPICTED ON THE PLAN SHALL BE TOTALLY UNDISTURBED, TO REMAIN IN NATURAL CONDITION.
 - ALL CATCH BASINS SHALL BE PROTECTED WITH SILT SACK SEDIMENT TRAPS DURING CONSTRUCTION ACTIVITIES. ALL PROPOSED STORM WATER DISCHARGE AREAS SHALL BE LINED WITH A RIPRAP SPLASH PAD AND PROTECTED WITH STAKED COMPOST SOCK OUTLET PROTECTION. OUTLET PROTECTION (COMPOST SOCK) SHALL ALSO BE INSTALLED AT ALL EXISTING STORMWATER DISCHARGE LOCATIONS WHERE DISTRIBUTING PIPES, CATCH BASINS, AND MANHOLES ARE TO BE CLEANED AND FLUSHED.
 - ALL DISTURBED SLOPES EITHER NEWLY CREATED OR CURRENTLY EXPOSED SHALL BE SEED, PROTECTED AND MAINTAINED BY THE CONTRACTOR. THE CONTRACTOR SHALL REGULARLY CHECK ALL SEED AREAS TO ENSURE THAT A GOOD STAND IS MAINTAINED.
 - ALL COMPOST SOCKS, TEMPORARY TREATMENT (HAY, STRAW, ETC.) AND TEMPORARY EROSION PROTECTION SHALL BE MAINTAINED BY THE CONTRACTOR THROUGHOUT CONSTRUCTION AND SHALL REMAIN IN PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER IS ESTABLISHED.
 - STOCKPILES OF TOPSOIL SHALL NOT BE LOCATED NEAR WATERWAYS. THEY SHALL HAVE SIDE SLOPES OF NO GREATER THAN 2:1 AND SHALL BE TEMPORARILY SEED AND/OR STABILIZED PER CONTRACT SPECIFICATIONS.
 - THE COMPOST SOCK SHALL BE CHECKED BY THE CONTRACTOR ON A WEEKLY BASIS AND AFTER EACH STORM FOR UNDERMINING OR DETERIORATION. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY COMPOST SOCK AS NEEDED. THE CONTRACTOR SHALL CLEAN THE ACCUMULATED SEDIMENT IF HALF OF THE ORIGINAL HEIGHT OF THE COMPOST SOCK BECOMES FILLED WITH SEDIMENTS.
 - IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN ALL SOIL EROSION AND SEDIMENT CONTROLS ON THE PROJECT SITE FOR THE ENTIRE DURATION OF THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL FOLLOW THE DIRECTION OF THE RESIDENT ENGINEER WITH REGARD TO INSTALLATION, MAINTENANCE, AND REPAIR OF ALL SOIL EROSION AND SEDIMENTATION CONTROLS ON THE PROJECT SITE. TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROLS (COMPOST SOCK, SILT FENCE, ETC.) SHALL BE MAINTAINED UNTIL ALL EXPOSED SOILS ARE SATISFACTORILY STABILIZED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING AND/OR RESEEDING ALL AREAS THAT DO NOT DEVELOP WITHIN ONE YEAR FROM THE COMPLETION OF CONSTRUCTION.
 - ALL REFERENCED SOIL EROSION AND SEDIMENTATION CONTROLS INCLUDING MATERIALS USED, APPLICATION RATES AND THE INSTALLATION PROCEDURES SHALL BE PERFORMED PER THE "RHODE ISLAND EROSION AND SEDIMENTATION HANDBOOK", DATED 1993 AMENDED 2014.

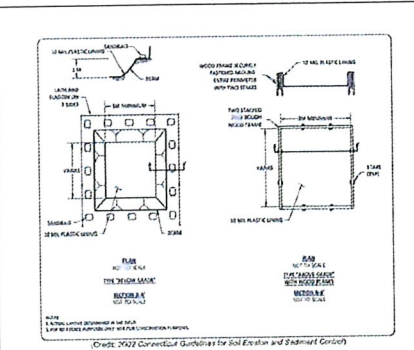


- NOTES:**
- BEGIN WATTLE INSTALLATION BY EXCAVATING A 2 TO 3-INCH-DEEP BY 9" WIDE TRENCH ALONG THE CONTOUR OF THE SLOPE OR ALONG THE EXISTING GROUND SURFACE. EXCAVATED SOIL SHOULD BE PLACED UP-SLOPE OR ON THE DISTURBED SIDE OF THE ANCHOR TRENCH.
 - PLACE WATTLE IN THE TRENCH SUCH THAT IT CONTOURS TO THE EXISTING SOIL SURFACE. COMPACT SOIL FROM THE EXCAVATED TRENCH AGAINST THE WATTLE ON THE UP-SLOPE OR DISTURBED SIDE. ADJACENT WATTLES SHOULD TIGHTLY ABUT.
 - SECURE WATTLE WITH 18 TO 24-INCH-LONG STAKES. INSTALL AN ADDITIONAL STAKE AT EACH END OF THE WATTLE. STAKES SHOULD BE DRIVEN THROUGH THE MIDDLE OF THE WATTLE LEAVING AT LEAST 2 TO 3 INCHES OF STAKE EXTENDING ABOVE. THE STAKES SHOULD BE DRIVEN PERPENDICULAR TO THE SLOPE FACE OR GROUND SURFACE.

1 COMPOST SOCK
NOT TO SCALE



2 STOCKPILE DETAIL
NOT TO SCALE



3 TEMP. CONCRETE WASHOUT DETAIL
NOT TO SCALE

LEGEND

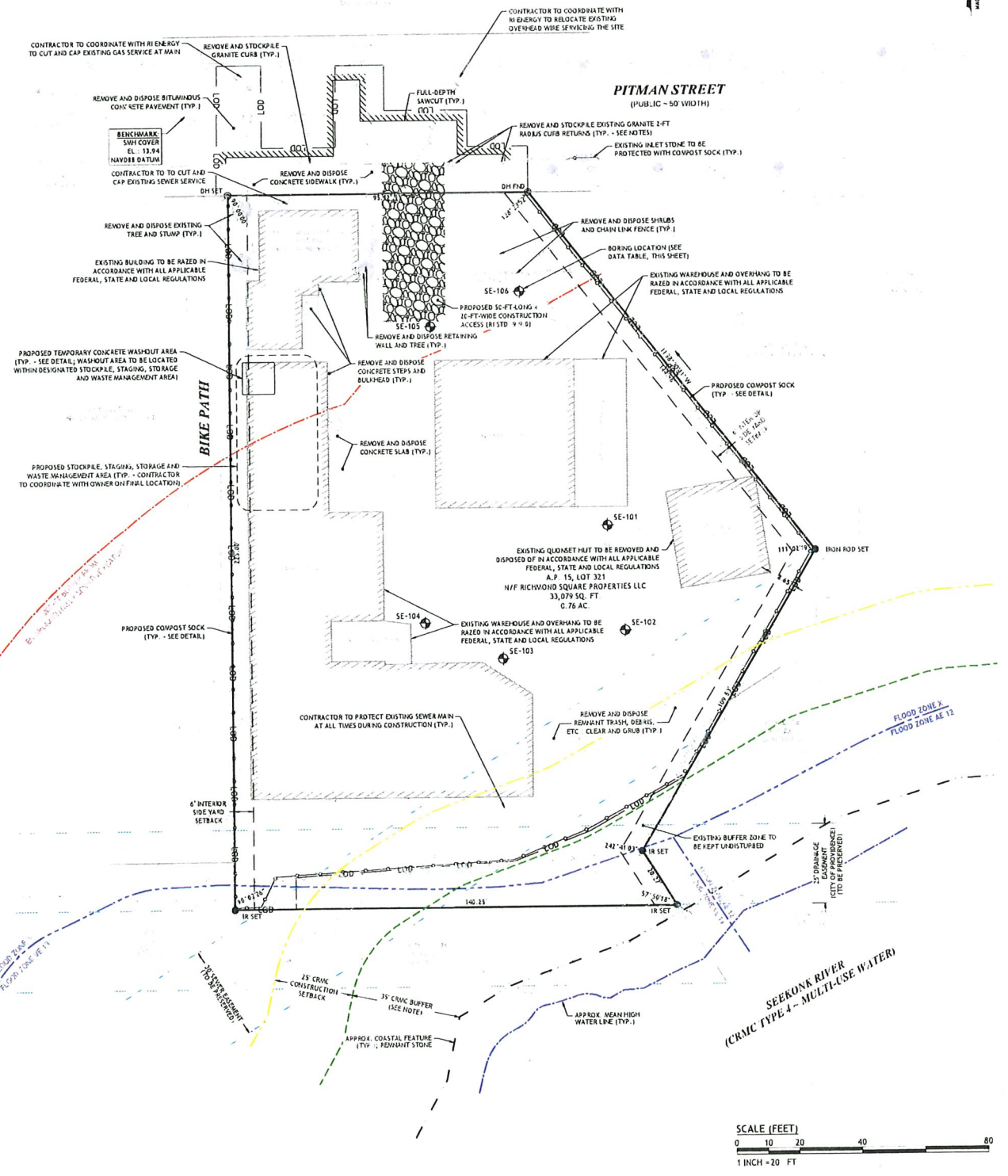
- EXISTING PROPERTY LINE
- ABUTTING PROPERTY LINE
- BUILDING SETBACK LINE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING STONE WALL
- EXISTING CURB
- PROPOSED CURB
- EXISTING GUARD RAIL
- EXISTING DRAIN LINE
- PROPOSED DRAIN LINE
- EXISTING DRAINAGE MANHOLE
- PROPOSED DRAINAGE MANHOLE
- EXISTING CATCH BASIN
- PROPOSED CATCH BASIN
- EXISTING UTILITY POLE
- PROPOSED UTILITY POLE
- TEL EXISTING TELECOM DUCTBANK
- EXISTING ELECTRIC DUCTBANK
- RELOCATED ELECTRIC DUCTBANK
- GAS EXISTING GAS LINE
- PROPOSED GAS LINE
- EXISTING WATER LINE
- PROPOSED WATER LINE
- EXISTING WATER SHUT OFF VALVE
- PROPOSED WATER SHUT OFF VALVE
- EXISTING SEWER LINE
- PROPOSED SEWER LINE
- EXISTING SEWER MANHOLE
- PROPOSED SEWER MANHOLE
- NIF - NDW OR FORMERLY
- TREELINE
- SILT FENCE
- LOD - LIMIT OF DISTURBANCE
- (T)LOD - TEMPORARY LIMIT OF DISTURBANCE
- TEST HOLE

ZONING CRITERIA	REQUIRED	EXISTING
ZONING DISTRICT	W-1	W-1
MINIMUM LOT WIDTH	NONE	33.875 FT
MINIMUM LOT DEPTH	NONE	91.12 FT
MAXIMUM BUILDING HEIGHT	75 FT	49.5 FT
MINIMUM FRONT SETBACK	NONE	4.93 FT
MINIMUM INTERIOR SIDE SETBACK	8 FT	9.45 FT
MINIMUM CORNER SIDE SETBACK	NONE	N/A
MINIMUM REAR SETBACK	NONE	34.69 FT

NOTE: 1. NONE, UNLESS ABUTTING RESIDENTIAL DISTRICT THEN 2'

BORING ID	GROUND SURFACE EL.	GWT DEPTH/VEL
SE-101	14.1	9-FT / 5.1
SE-102	13.3	10-FT / 3.5
SE-103	13.3	10-FT / 3.5
SE-104	12.9	10-FT / 2.9
SE-105	14.1	10-FT / 6.1
SE-106	14.1	11-FT / 7.1

- NOTES TO CONTRACTOR - WORK IN CITY RIGHT-OF-WAY:**
- A PHYSICAL ALTERATION PERMIT MUST BE OBTAINED FROM THE CITY OF PROVIDENCE'S DEPARTMENT OF PUBLIC WORKS (DPW) ENGINEERING DIVISION PRIOR TO THE REMOVAL OF SIDEWALK WITHIN CITY RIGHT-OF-WAYS. A DPW TRAFFIC ENGINEERING PERMIT IS REQUIRED FOR THE CLOSING OF THE SIDEWALK TO PEDESTRIAN TRAFFIC. APPLICATION MUST ADDRESS ALTERNATIVE PEDESTRIAN PATH OF TRAVEL.
 - ANY AND ALL SURPLUS CURB IS THE PROPERTY OF THE CITY OF PROVIDENCE AND SHALL BE TRANSPORTED AND STOCKPILED, AS DIRECTED, AT THE DEPARTMENT OF PUBLIC WORKS (DPW) FACILITY AT 20 ERNEST STREET, PROVIDENCE, RI.
 - ALL CONSTRUCTION WITHIN THE CITY RIGHT-OF-WAY MUST BE IN ACCORDANCE WITH THE CITY'S STANDARD DETAILS AVAILABLE AT [HTTPS://WWW.PROVIDENCERI.GOV/PUBLIC-WORKS/FORMS/UNDER-REPORTS-PUBLICATIONS](https://www.providenceri.gov/public-works/forms/under-reports-publications)



SCALE (FEET)
 0 10 20 40 80
 1 INCH = 20 FT

JCE
 JOE CASALI ENGINEERING, INC.
 CIVIL, SITE DEVELOPMENT, TRANSPORTATION, PLANNING, TRAFFIC, ENVIRONMENTAL, WATER, WASTEWATER, AND LANDSCAPE ARCHITECTURE
 1001 BARKER ROAD, SUITE 100, PROVIDENCE, RI 02909
 TEL: 401-846-1200 FAX: 401-846-1201 WWW.JCE-RI.COM

JOSEPH A. CASALI
 No. 7250
 REGISTERED PROFESSIONAL ENGINEER
 CIVIL
 02/24/2024

SIX-STORY, 25-UNIT RESIDENTIAL BUILDING
5 RICHMOND SQUARE
 PROVIDENCE, RHODE ISLAND
 AP 15, LOT 321

REVISIONS

NO	DATE	DESCRIPTION
1	02/20/23	LOADING/TREES
2	01/16/24	RIDEM
3	02/22/24	SBC COMMENTS
4	02/22/24	PLANNING

DESIGNED BY DRD
 DRAWN BY SEP/SD
 CHECKED BY JAL
 DATE: SEPT 2023
 PROJECT NO: 23-49

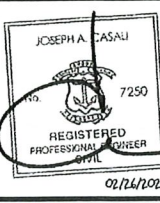
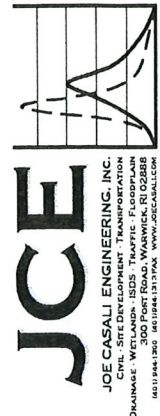
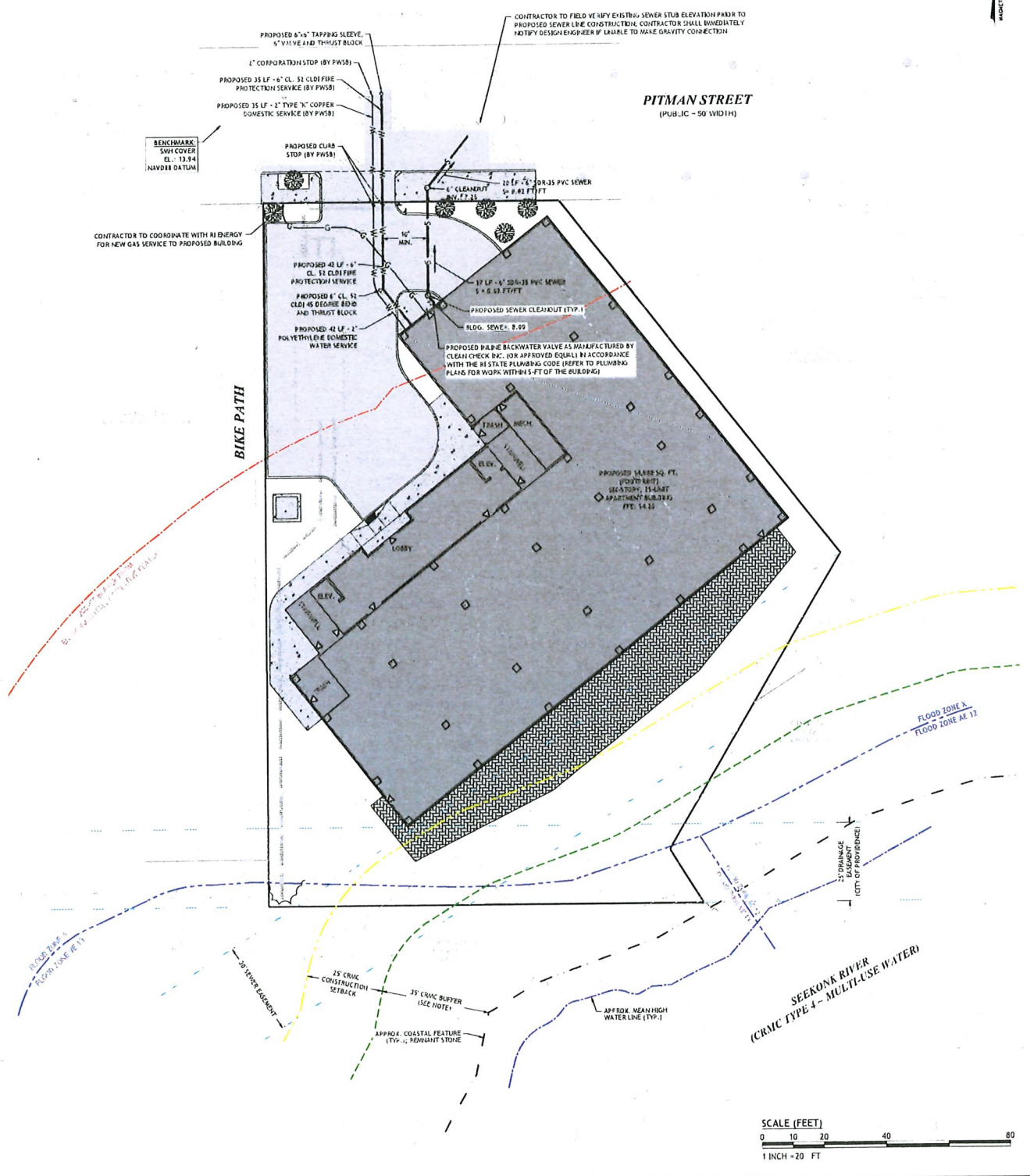
PRELIMINARY, NOT FOR CONSTRUCTION
EXISTING CONDITIONS & SITE PREP. PLAN
SHEET 2 OF 9

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 City Plan Commission
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 Chair/ Providence City Plan Commission

MISCELLANEOUS UTILITY NOTES:

- PRIOR TO CONSTRUCTION ALL POTENTIAL UTILITY/DRAINAGE CONFLICTS MUST BE IDENTIFIED BY THE CONTRACTOR. ANY MODIFICATIONS TO THE PROPOSED UTILITIES TO AVOID CONFLICTS MUST BE APPROVED BY THE ENGINEER PRIOR TO CONSTRUCTION.
- OVERHEAD ELECTRIC AND TELEPHONE SERVICES ARE TO BE REMOVED BY THE APPROPRIATE UTILITY COMPANY AND COORDINATED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL AT ALL TIMES PROVIDE A SUFFICIENT NUMBER OF WORKMEN AND GUARDS AS MAY BE NECESSARY TO PROPERLY SAFEGUARD THE PUBLIC FROM THEIR OPERATIONS.
- THE CONTRACTOR SHALL TAKE PRECAUTIONS AGAINST DAMAGING OF PAVING, SIDEWALKS, UTILITIES, OR PRIVATE PROPERTIES AND SHALL PROMPTLY REPAIR AT THEIR OWN EXPENSE ANY DAMAGE TO SUCH PAVING, SIDEWALKS, UTILITIES, OR PRIVATE PROPERTIES TO THE SATISFACTION OF THE OWNER OR CITY.
- EXISTING UTILITY FRAMES AND COVERS FOR SANITARY SEWER, WATER, GAS, STORM DRAINAGE AND OTHER UTILITIES SHALL BE ADJUSTED TO GRADE AS REQUIRED IN NEW PAVING AND PAVEMENT OVERLAY AREAS.
- ALL SEWER CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE NARRAGANSETT BAY COMMISSION AND CITY OF PROVIDENCE SEWER REQUIREMENTS.
- ALL NEW SEWER PIPES AND MANHOLES SHALL BE CLEANED AND TESTED PRIOR TO ACCEPTANCE. GRAVITY SEWER PIPES SHALL BE REQUIRED TO PASS BOTH LOW PRESSURE AIR AND DEFLECTION (IE, MANDREL) TESTING. LOW PRESSURE SEWER PIPING SHALL BE REQUIRED TO PASS A LOW PRESSURE (IE, HYDROSTATIC) TEST.
- A BACKFLOW PREVENTION DEVICE MUST BE INSTALLED AT EACH SEWER SERVICE BUILDING CONNECTION THAT IS BELOW THE RIM ELEVATION OF THE NEAREST SEWER MANHOLE, AS REQUIRED BY THE INTERNATIONAL PLUMBING CODE AND THE NARRAGANSETT BAY COMMISSION.
- APPLICANT IS REQUIRED TO PROVIDE TWO SETS OF FINAL AS-BUILT PLANS TO NARRAGANSETT BAY COMMISSION AND THE CITY OF PROVIDENCE DEPARTMENT OF PUBLIC WORKS (DPW) ENGINEERING DEPARTMENT UPON COMPLETION OF CONSTRUCTION, PRIOR TO FINAL ACCEPTANCE. AS-BUILT PLANS SHALL INCLUDE FIELD MEASUREMENTS OF ALL INSTALLED PIPE AND APPURTENANCES, INCLUDING LENGTH, SLOPE, MANHOLE RIMS AND INVERTS, AS WELL AS SWING TIE MEASUREMENTS TO ALL MANHOLES, SEWER STUBS, AND/OR LATERAL SERVICE CONNECTIONS. AN INSPECTION SHOULD BE REQUESTED WITH THE DPW ENGINEERING DEPARTMENT ONCE FINAL PLUMBING CONNECTIONS ARE MADE AND PRIOR TO BACKFILL.
- INSPECTION OF ALL SEWER CONSTRUCTION SHALL BE PERFORMED BY PROVIDENCE DPW ENGINEERING AND THE NARRAGANSETT BAY COMMISSION. APPLICANT SHALL PROVIDE SCHEDULE FOR CONSTRUCTION AS SOON AS POSSIBLE TO ALLOW FOR DEVELOPMENT OF INSPECTION FEE, TO BE PAID BY APPLICANT DIRECTLY TO THE NARRAGANSETT BAY COMMISSION. UPON PAYMENT OF FEE, COMMENCEMENT OF CONSTRUCTION INSPECTION REQUIRES MINIMUM NOTIFICATION OF 48 HOURS.
- APPLICANT IS RESPONSIBLE FOR SECURING ALL REQUIRED PERMITS FROM LOCAL, STATE, AND/OR FEDERAL AGENCIES WITH REGULATORY JURISDICTION OVER THE PROPOSED WORK. COPIES OF ALL PERMITS SHALL BE PROVIDED TO NARRAGANSETT BAY COMMISSION AND CITY ENGINEER PRIOR TO CONSTRUCTION. ALL SEWER CONSTRUCTION SHALL BE PERFORMED BY A DRAIN LAYER LICENSED IN THE STATE OF RHODE ISLAND AND THE CITY OF PROVIDENCE.
- NO FLOW WILL BE ACCEPTED UNTIL A COMPLETION CERTIFICATE IS ISSUED.
- THE CONTRACTOR SHALL CONFINE HIS CONSTRUCTION OPERATIONS AND ACTIVITIES TO WITHIN THE STREET LINES, EASEMENT AND/OR RIGHT-OF-WAY, AS SHOWN ON THE DRAWINGS.
- PRIOR TO CONSTRUCTION OF THE RELOCATION OF ALL WATER MAINS, THE CONTRACTOR SHALL COORDINATE WITH PROVIDENCE WATER SUPPLY BOARD FOR INSPECTION AND CHLORINATION OF NEW PIPING, FITTINGS AND VALVES.



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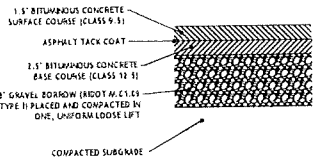
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UTILITY PLAN

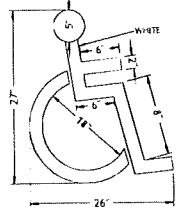
SHEET 4 OF 9



4 BITUMINOUS CONCRETE PAVEMENT
NOT TO SCALE

NOTES:

- IF UNSUITABLE MATERIALS ARE ENCOUNTERED AT SUBGRADE ELEVATION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER. THE DEPTH OF UNSUITABLE MATERIALS TO BE REMOVED WILL BE DETERMINED IN THE FIELD. THE CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE THE UNSUITABLE MATERIALS AND REPLACE WITH SUITABLE MATERIAL APPROVED BY THE ENGINEER.
- MINIMUM COMPACTION FOR GRAVEL BORROW SUB-BASE AND SUBGRADE: 95% MODIFIED PROCTOR



5 HANDICAP PAVEMENT MARKING
NOT TO SCALE

NOTE:

- ALL HANDICAP PARKING AND SIGNAGE SHALL BE IN ACCORDANCE WITH THE RHODE ISLAND STATE BUILDING CODE

HANDICAPPED PARKING

CERTIFICATE REQUIRED

VAN

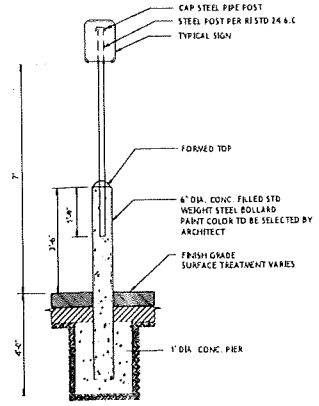
6 HANDICAP PARKING SIGNS
NOT TO SCALE

NOTE:

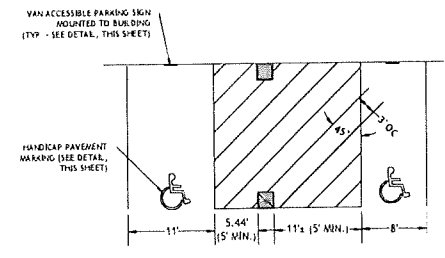
SIGNS ARE TO CONFORM WITH THE MOST RECENT EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES

SIGN NOTES:

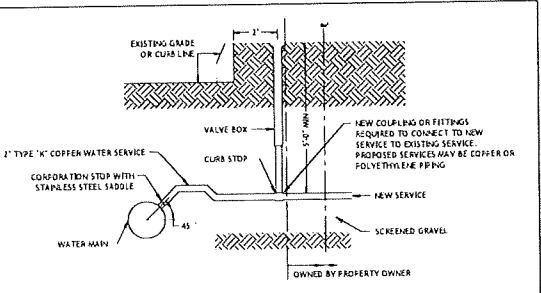
- SIGN POSTS SHALL BE GALVANNEZ STEEL CHANNEL 13 1/2" WIDE-WING AND INSTALLED IN ACCORDANCE TO M.U.T.C.D. AND RHODE ISLAND STANDARD SPECIFICATIONS
- POSTS SHALL BE SUNKEN TO A DEPTH OF 4 FEET (MIN)
- THE EDGE OF THE SIGN SHALL BE 18" FROM THE FACE OF THE CURB
- WITHIN SIDEWALK LOCATIONS THE SIGN POST WILL BE INSTALLED WITHIN A 3' X 6' SQUARE BOX FORM



7 BOLLARD MOUNTED SIGN DETAIL
NOT TO SCALE



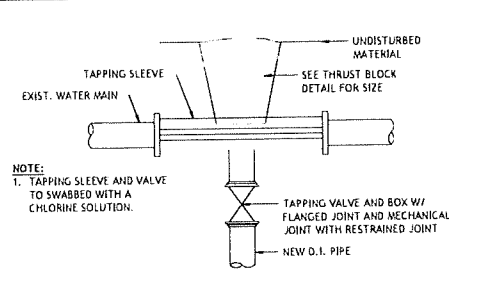
8 HANDICAP PARKING STALLS
NOT TO SCALE



9 TYPICAL WATER SERVICE CONNECTION
NOT TO SCALE

NOTE:

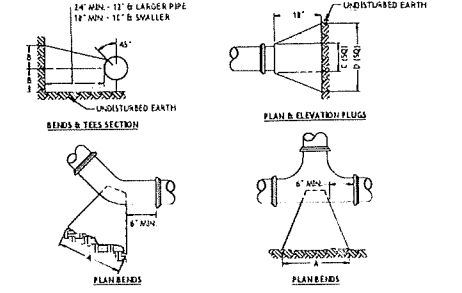
- SERVICE LINE FROM CURB BOX TO BUILDING SHALL BE PROTECTED, TESTED AND APPROVED BY THE LOCAL PLUMBING INSPECTOR



10 TAPPING SLEEVE AND VALVE
NOT TO SCALE

NOTE:

- TAPPING SLEEVE AND VALVE TO SWABBED WITH A CHLORINE SOLUTION.

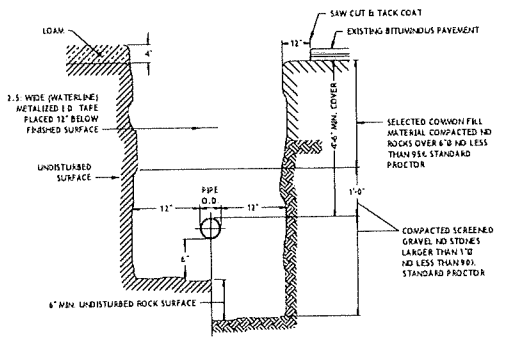


11 THRUST BLOCK DETAIL
NOT TO SCALE

NOTE:

- ALL CONCRETE SHALL BE 4000 P.S.I. @ 28 DAYS.
- CONCRETE THRUST BLOCKS SHALL BEAR AGAINST UNDISTURBED EARTH.
- FORMS TO BE USED AS NECESSARY.
- ALL BOLTS AND NUTS TO BE PROTECTED FROM CONCRETE AND EASILY ACCESSIBLE WHEN THRUST BLOCK IS INSTALLED.

SIZE	TEES	PLUGS	90° BEND	45° BEND	22 1/2° BEND	11 1/4° BEND
4"	33"	13"	23"	15"	12"	14"
6"	36"	18"	27"	18"	15"	18"
8"	42"	24"	33"	22"	18"	22"
10"	48"	30"	39"	27"	22"	28"

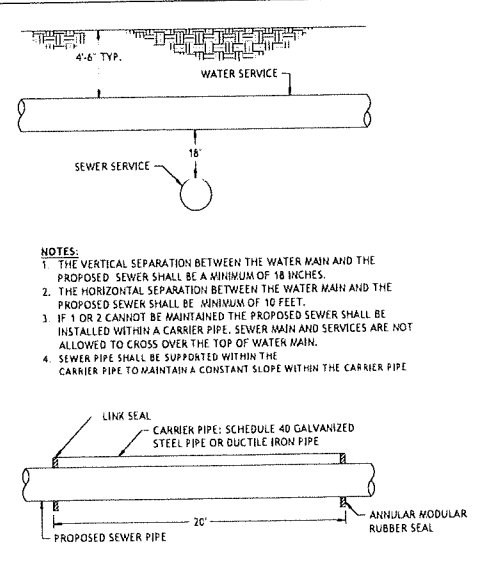


12 WATER TRENCH DETAIL
NOT TO SCALE

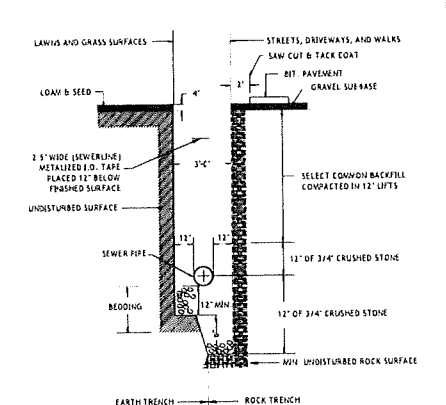
PROVIDENCE WATER SUPPLY BOARD (PWSB)
WATER SERVICE INSTALLATION/SANITARY SEWER FACILITIES SEPARATION REQUIREMENTS

PROPOSED WATER SERVICE LINES AND/OR APPURTENANCES SHALL BE INSTALLED AT LEAST 10 FEET HORIZONTALLY FROM ANY EXISTING COMPONENT OF A PUBLIC SANITARY SEWER SYSTEM (PIPELINE, MANHOLE, VAULT, WATER PIT, PUMP STATION, WET WELL, ETC.). DISTANCE SHALL BE MEASURED PERPENDICULARLY FROM THE EDGE OF PIPE TO THE EDGE OF PIPE. NO VERTICAL SEPARATION IS REQUIRED PROVIDED THE 10 FOOT HORIZONTAL SEPARATION IS MAINTAINED. WHEN THIS CRITERIA CANNOT BE MET, THE FOLLOWING STIPULATIONS APPLY (SEE BOTTOM OF PAGE FOR INDIVIDUAL SEWER DISPOSAL SYSTEMS)

- WHERE IT IS NOT POSSIBLE TO MAINTAIN A 10 FOOT HORIZONTAL SEPARATION, A DEVIATION MAY BE GRANTED ON A CASE-BY-CASE BASIS. SUCH DEVIATION MAY ALLOW INSTALLATION OF THE SEWER CLOSER TO WATER SERVICE, PROVIDED THAT:
 - THE SEWER LINE AND WATER SERVICE ARE LAID IN SEPARATE TRENCHES AND THE CROWN OF THE SEWER LINE SHALL BE AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER SERVICE OR
 - THE SEWER LINE AND WATER SERVICE MAY BE INSTALLED IN THE SAME TRENCH WITH THE WATER SERVICE PLACED ON A BENCH OF UNDISTURBED EARTH AND THE CROWN OF THE SEWER LINE SHALL BE AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER SERVICE.
- IN CASES WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER HORIZONTAL AND VERTICAL SEPARATION AS STIPULATED ABOVE (INCLUDES CROSSING OVER) THE FOLLOWING PROTECTION SHALL BE PROVIDED:
 - ENCASUREMENT OF THE SEWER PIPE IN CONCRETE WITH A MINIMUM THICKNESS OF 4" IN ALL DIRECTIONS AROUND THE OUTSIDE OF THE PIPE EXTENDING TO A DISTANCE THAT WILL PROVIDE THE REQUIRED 10 FEET HORIZONTAL OR 18 INCH VERTICAL SEPARATION BETWEEN THE UNENCLOSED PORTIONS OF THE PIPE. OR
 - PLACING EITHER THE SEWER LINE OR WATER SERVICE IN A WATERTIGHT CARRIER PIPE EXTENDING TO A DISTANCE THAT WILL PROVIDE THE REQUIRED 10 FEET HORIZONTAL OR 18 INCH VERTICAL SEPARATION BETWEEN THE UNENCLOSED PORTION OF THE PIPES.
- INDIVIDUAL SEWER DISPOSAL SYSTEMS (SEPTIC SYSTEMS) ARE REGULATED BY R.I. DEPARTMENT OF ENVIRONMENTAL MANAGEMENT (DEM). MINIMUM DISTANCES BETWEEN BACKFLOW WATER LINES AND SEPTIC SYSTEM COMPONENTS ARE: 15 FEET (MIN.) TO LEACHING TRENCHES, BODS AND PITS AND 10 FEET (MIN.) TO SEPTIC TANKS, DISTRIBUTION BOXES, GRAVE TRENCHES, SOILING CHAMBERS, PUMP CHAMBERS, AND BUILDING SEWERS. WHEN THESE DISTANCES CANNOT BE MET, DEM REQUIRES ENCASUREMENT OF WATER LINES AT LEAST TO THE POINT WHERE THE REQUIRED MINIMUM DISTANCES CAN BE MET. ENCASUREMENT MUST BE APPROVED BY DEM AND THE APPROVED PLAN MUST BE PRESENTED AS PART OF THE APPLICATION PROCESS TO OBTAIN WATER SERVICE. PRESSURIZED SEWER LINES CANNOT CROSS WATER LINES.
- DOMESTIC WATER SERVICE TO BE INSPECTED BY PASS PERMITS TO BACKFLOWING AND THE CONTRACTOR MUST GIVE PASS 48 HOURS NOTIFICATION
- CONTRACTOR SHALL ADHERE TO ALL REQUIREMENTS OF THE PASS AS INDICATED IN SECTION 400 - CONSTRUCTION PROCEDURES



13 SEWER/WATER SEPARATION DETAIL
NOT TO SCALE



14 TYPICAL SEWER LINE TRENCH DETAIL
NOT TO SCALE

NOTE:

- 3/4-INCH CRUSHED STONE FOUNDATION SHALL BE PLACED 12" UNDER THE PIPE UP TO THE PIPE GRADE. THE PIPE Laid THEREON, AND 3/4-INCH CRUSHED STONE FULLED AGAINST THE PIPE SIDE TO FIRMLY HOLD THE PIPE IN PLACE. NO BLOCKS OR STONES SHALL BE USED TO SUPPORT THE PIPE.
- 3/4-INCH CRUSHED STONE HAIRNETTING SHALL BE BROUGHT LEVEL TO THE TOP OF THE PIPE AND OUT TO THE TRENCH WALL AT THIS ELEVATION FOR ALL PIPE. 3/4-INCH CRUSHED STONE BLANKET SHALL BE PLACED 12" ABOVE THE PIPE.

City of Providence
City Plan Commission
Minor Subdivision or Land Development Project
5 RICHMOND SQ
CPC Project # **24-003M**
Approved Pursuant to Article 4 of the City of Providence Development Review Regulations, as amended, and RIGL 45-23-38 on and shall be recorded and filed with the Recorder of Deeds no later than ninety (90) days following this approval, unless extended.

Date: **6/12/24**
Date: **6/12/24**

Administrative Officer/ Dept. of Planning & Development
Chair Providence City Plan Commission

JOE CASALI ENGINEERING, INC.
Civil, Site Development, Transportation
DPRMAGE - 3000 ROUTE 1, WARREN, RI 02886
TEL: 401-841-1800 FAX: 401-841-1811 WWW.JOECASALI.COM

JOSEPH A. CASALI
7250
REGISTERED PROFESSIONAL ENGINEER
02/16/2024

SIX-STORY, 25-UNIT RESIDENTIAL BUILDING
5 RICHMOND SQUARE
PROVIDENCE, RHODE ISLAND
AP 15, LOT 321

NO.	DATE	DESCRIPTION
1	01/28/23	LOADING/TREES
2	01/16/24	RIDE/MI
3	02/22/24	NEW COMMENTS
4	02/26/24	PLANNING

DESIGNED BY: DRD
DRAWN BY: SH/PSD
CHECKED BY: JAC
DATE: SEPT 2023
PROJECT NO: 23-49

PRELIMINARY, NOT FOR CONSTRUCTION

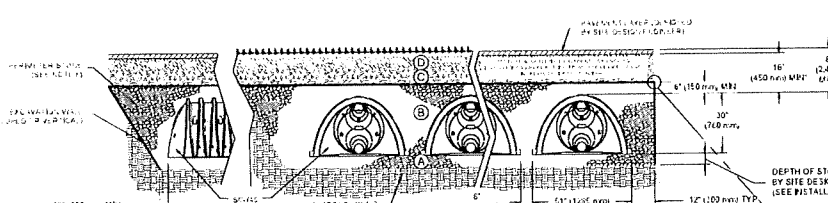
CIVIL DETAILS I

SHEET 6 OF 9

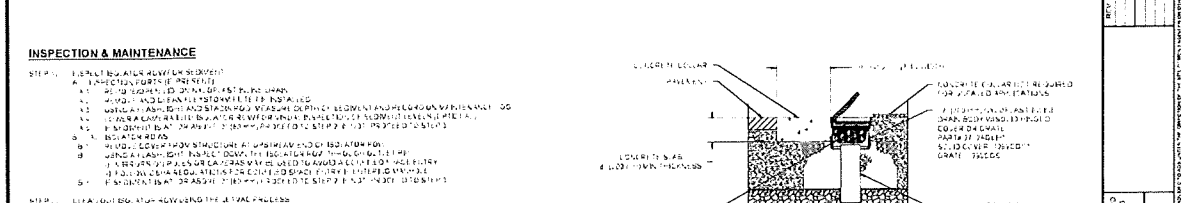
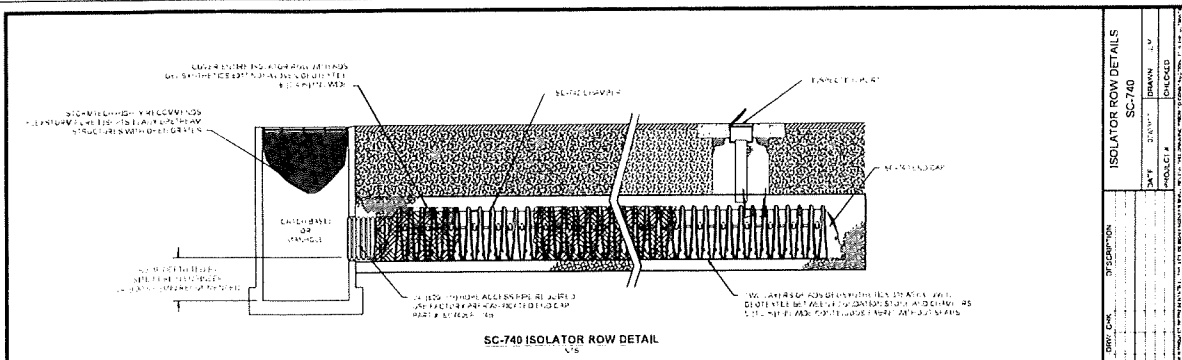
ACCEPTABLE FILL MATERIALS: STORMTECH SC-740 CHAMBER SYSTEMS

MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
FOUNDATION	CONCRETE OR CAST-IN-PLACE CONCRETE	CONCRETE	AS PER AASHTO M 318
EMERGENCY STONE	1/2" TO 3/4" CLEAN, CRUSHED, ANGULAR STONE	ASTM C 305	95% RELATIVE DENSITY
FOUNDATION STONE	1/2" TO 3/4" CLEAN, CRUSHED, ANGULAR STONE	ASTM C 305	95% RELATIVE DENSITY

NOTES:
 1. THE RECOMMENDED DIMENSIONS AND TOLERANCES FOR THE STORMTECH SC-740 CHAMBER SYSTEMS ARE SHOWN IN THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY MATERIALS AND FOR OBTAINING THE NECESSARY PERMITS.
 2. THE STORMTECH SC-740 CHAMBER SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE STORMTECH SC-740 CHAMBER SYSTEMS INSTALLATION MANUAL.
 3. THE STORMTECH SC-740 CHAMBER SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE STORMTECH SC-740 CHAMBER SYSTEMS CONSTRUCTION GUIDE.
 4. THE STORMTECH SC-740 CHAMBER SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE STORMTECH SC-740 CHAMBER SYSTEMS MAINTENANCE AND INSPECTION MANUAL.



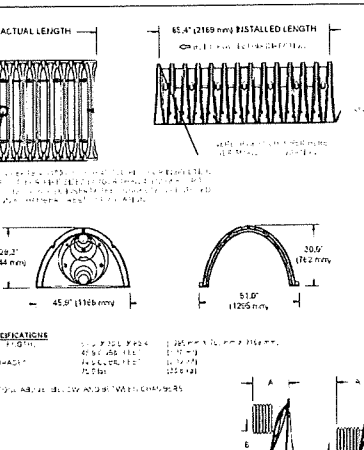
15 STORMTECH SC-740 CROSS SECTION DETAIL
 NOT TO SCALE



16 STORMTECH SC-740 ISOLATOR ROW DETAIL
 NOT TO SCALE

NOTES:
 1. THE STORMTECH SC-740 CHAMBER SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE STORMTECH SC-740 CHAMBER SYSTEMS INSTALLATION MANUAL.
 2. THE STORMTECH SC-740 CHAMBER SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE STORMTECH SC-740 CHAMBER SYSTEMS CONSTRUCTION GUIDE.
 3. THE STORMTECH SC-740 CHAMBER SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE STORMTECH SC-740 CHAMBER SYSTEMS MAINTENANCE AND INSPECTION MANUAL.
 4. THE STORMTECH SC-740 CHAMBER SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE STORMTECH SC-740 CHAMBER SYSTEMS INSPECTION & MAINTENANCE MANUAL.

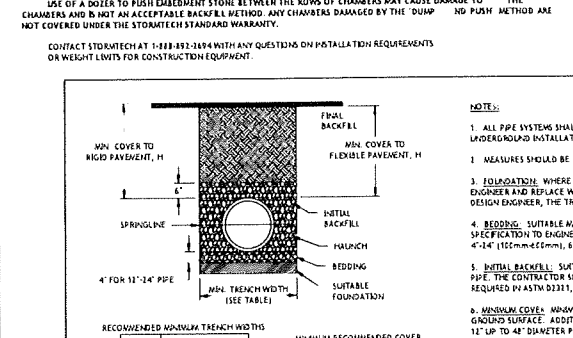
INSPECTION & MAINTENANCE
 1. THE STORMTECH SC-740 CHAMBER SYSTEMS SHALL BE INSPECTED AND MAINTAINED IN ACCORDANCE WITH THE STORMTECH SC-740 CHAMBER SYSTEMS INSPECTION & MAINTENANCE MANUAL.
 2. THE STORMTECH SC-740 CHAMBER SYSTEMS SHALL BE INSPECTED AND MAINTAINED IN ACCORDANCE WITH THE STORMTECH SC-740 CHAMBER SYSTEMS INSPECTION & MAINTENANCE MANUAL.
 3. THE STORMTECH SC-740 CHAMBER SYSTEMS SHALL BE INSPECTED AND MAINTAINED IN ACCORDANCE WITH THE STORMTECH SC-740 CHAMBER SYSTEMS INSPECTION & MAINTENANCE MANUAL.



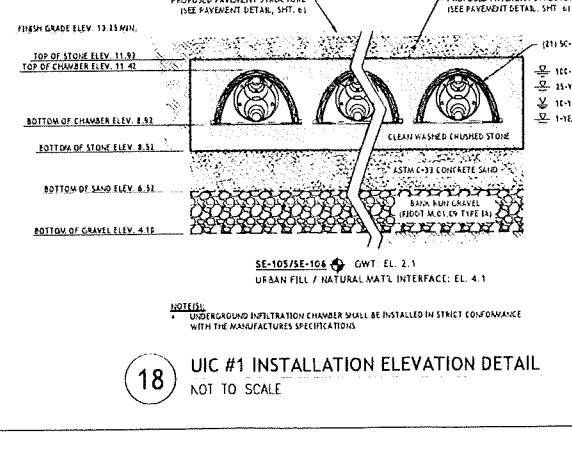
PART #	STUB	A	B	C
SC-740-1	12\"/>			

17 SC-740 TECHNICAL SPECIFICATION
 NOT TO SCALE

NOTES FOR THE INSTALLATION OF THE SC-740 SYSTEM:
 1. STORMTECH SC-740 CHAMBERS SHALL NOT BE INSTALLED UNTIL THE MANUFACTURER'S REPRESENTATIVE HAS COMPLETED A PRE-CONSTRUCTION MEETING WITH THE INSTALLER.
 2. STORMTECH SC-740 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE STORMTECH SC-740 CHAMBER SYSTEMS CONSTRUCTION GUIDE.
 3. CHAMBERS ARE NOT TO BE BACKFILLED WITH A DOZER OR AN EXCAVATOR SITUATED OVER THE CHAMBERS.
 4. THE FOUNDATION STONE SHALL BE LEVELLED AND COMPACTED PRIOR TO PLACING CHAMBERS.
 5. JOINTS BETWEEN CHAMBERS SHALL BE PROPERLY SEATED PRIOR TO PLACING STONE.
 6. MAINTAIN MINIMUM 6\"/>

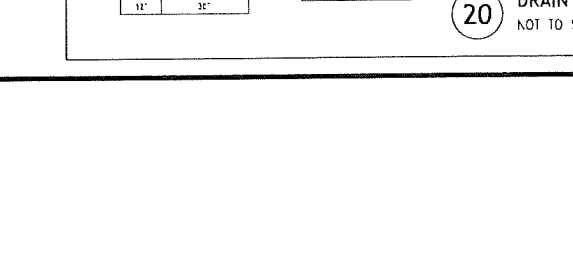


18 UIC #1 INSTALLATION ELEVATION DETAIL
 NOT TO SCALE

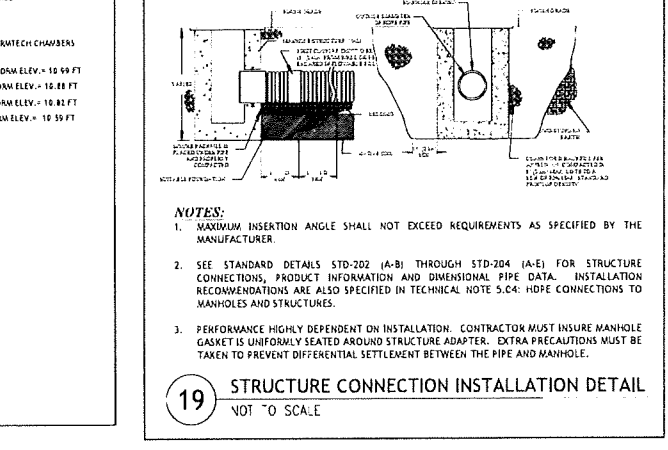


NOTES:
 1. MAXIMUM INSERTION ANGLE SHALL NOT EXCEED REQUIREMENTS AS SPECIFIED BY THE MANUFACTURER.
 2. SEE STANDARD DETAILS STD-202 (A-B) THROUGH STD-204 (A-E) FOR STRUCTURE CONNECTIONS, PRODUCT INFORMATION AND DIMENSIONAL PIPE DATA. INSTALLATION RECOMMENDATIONS ARE ALSO SPECIFIED IN TECHNICAL NOTE 5.C.4: HOPE CONNECTIONS TO MANHOLES AND STRUCTURES.
 3. PERFORMANCE HIGHLY DEPENDENT ON INSTALLATION. CONTRACTOR MUST INSURE MANHOLE GASKET IS UNIFORMLY SEATED AROUND STRUCTURE ADAPTER. EXTRA PRECAUTIONS MUST BE TAKEN TO PREVENT DIFFERENTIAL SETTLEMENT BETWEEN THE PIPE AND MANHOLE.

19 STRUCTURE CONNECTION INSTALLATION DETAIL
 NOT TO SCALE



20 DRAIN PIPE TRENCH INSTALLATION DETAIL
 NOT TO SCALE



NOTES:
 1. ALL PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D311, 'STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS', LATEST EDITION.
 2. MEASURES SHOULD BE TAKEN TO PREVENT MIGRATION OF NATIVE FINED BACKFILL MATERIAL, WHEN REQUIRED.
 3. TOLERANCE: WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH SUITABLE MATERIAL AS SPECIFIED BY THE ENGINEER AS AN ALTERNATIVE AND AT THE DISCRETION OF THE DESIGN ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTEXTILE MATERIAL.
 4. BEDDING: SUITABLE MATERIAL SHALL BE CLASS 1, B OR 1B IN THE PIPE ZONE EXTENDING NOT LESS THAN 6\"/>

21 DMH #2 - DIVERSION MANHOLE
 NOT TO SCALE

JCE
 JOE CASALI ENGINEERING, INC.
 JOE CASALI
 REGISTERED PROFESSIONAL ENGINEER
 No. 7250

SIX-STORY, 25-UNIT RESIDENTIAL BUILDING
5 RICHMOND SQUARE
 City of Providence
 City Plan Commission
 Major Subdivision or Land Development Project
 Name: **5 RICHMOND SQ**
 CPC Project # **16-00311**
 Approved Pursuant to Article 4 of the City of Providence Development Review Regulations, as amended, and RIGL 45-23-38 on **6/12/24** and shall be recorded and filed with the Recorder of Deeds no later than ninety (90) days following this approval, unless extended.
 Administrative Officer Dept of Planning & Development **6/12/24**
 Chair Providence City Plan Commission **6/12/24**

REVISIONS

NO.	DATE	DESCRIPTION
1	07/03/23	LOADING/TREES
2	01/01/24	RIDING
3	02/27/24	NBC COMMENTS
4	02/26/24	PLANNING

DESIGNED BY: DRD
 DRAWN BY: SEP/SD
 CHECKED BY: JAC
 DATE: SEPT 2023
 PROJECT NO: 23-19

PRELIMINARY, NOT FOR CONSTRUCTION

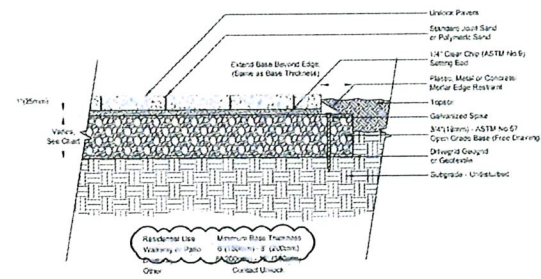
CIVIL DETAILS II

SHEET 7 OF 9

PERMEABLE PAVER

CROSS SECTION

Residential Patio - Permeable Base



UNILOCK
PAVERS & WALLS

UNILOCK.COM | 1-800-UNILOCK

22 PERMEABLE PAVER PATIO DETAIL
NOT TO SCALE

ZURN **Z874-12** SPECIFICATION SHEET
12 (3/8)\"/>



ENGINEERING SPECIFICATION
ZURN Z874-12 12 (3/8)\"/>

23 TRENCH DRAIN TYPICAL SECTION
NOT TO SCALE

City of Providence
City Plan Commission

Minor Subdivision or Land Development Project
Name: 5 RICHMOND SQ
CPC Project # 24-003M
Approved Pursuant to Article 4 of the City of Providence Development Review Regulations, as amended, and RIGL 45-23-38 on _____ and shall be recorded and filed with the Recorder of Deeds no later than ninety (90) days following this approval, unless extended.

Administrative Officer/ Dept. of Planning & Development Date: 6/12/24
Chair/ Providence City Plan Commission Date: 6/12/24

JCE
JOSEPH A. CASALI ENGINEERING, INC.
REGISTERED PROFESSIONAL ENGINEER
DRAINAGE, WATER, SEWER, TRAFFIC, FLOODPLAIN, TRANSPORTATION
100 Point Road, Pawtucket, RI 02860
401.844.2200

JOSEPH A. CASALI
7250
REGISTERED PROFESSIONAL ENGINEER
02/16/2024

SIX-STORY, 25-UNIT RESIDENTIAL BUILDING
5 RICHMOND SQUARE
PROVIDENCE, RHODE ISLAND
AP 15, LOT 321

REVISIONS

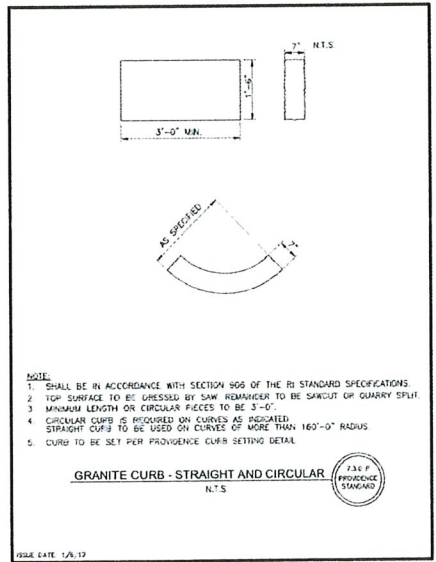
NO.	DATE	DESCRIPTION
1	02/20/23	LOADING/TREES
2	01/16/24	RIDEAL
3	02/22/24	NBC COMMENTS
4	02/26/24	PLANNING

DESIGNED BY: DRD
DRAWN BY: SEVSD
CHECKED BY: JAC
DATE: SEPT 2023
PROJECT NO: 23-49

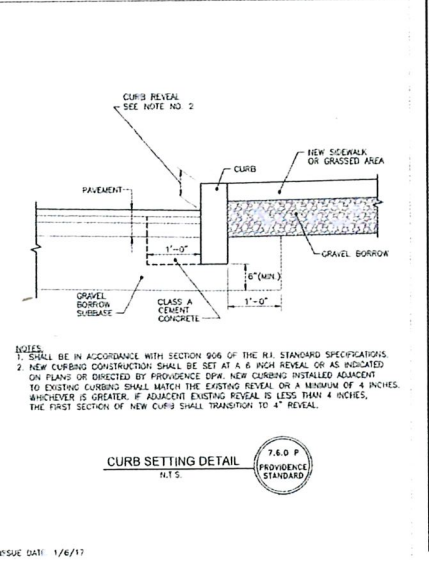
PRELIMINARY, NOT FOR CONSTRUCTION

CIVIL DETAILS III

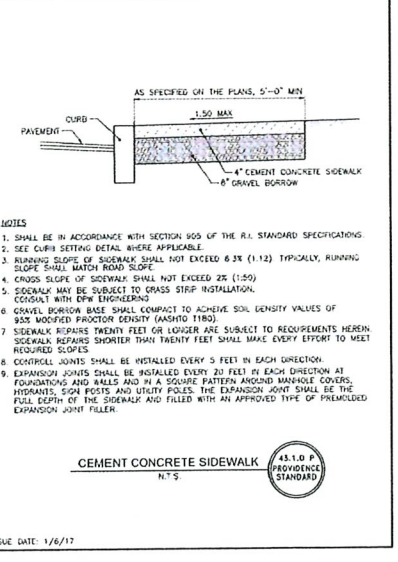
SHEET 8 OF 9



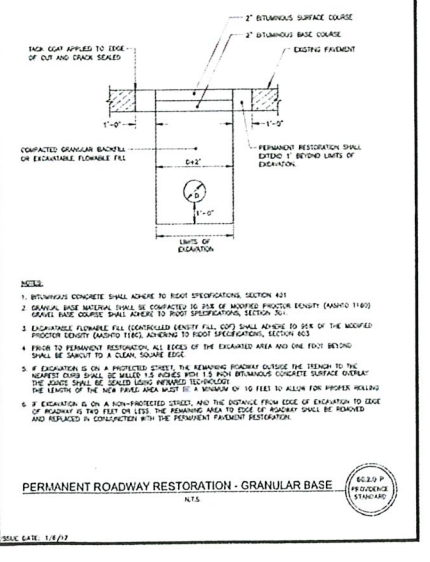
GRANITE CURB - STRAIGHT AND CIRCULAR
N.T.S.
7.6.0 P PROVIDENCE STANDARD



CURB SETTING DETAIL
N.T.S.
7.6.0 P PROVIDENCE STANDARD



CEMENT CONCRETE SIDEWALK
N.T.S.
AS 1.0 P PROVIDENCE STANDARD



PERMANENT ROADWAY RESTORATION - GRANULAR BASE
N.T.S.
8.0.0 P PROVIDENCE STANDARD

24 PROVIDENCE STANDARD DETAILS
NOT TO SCALE

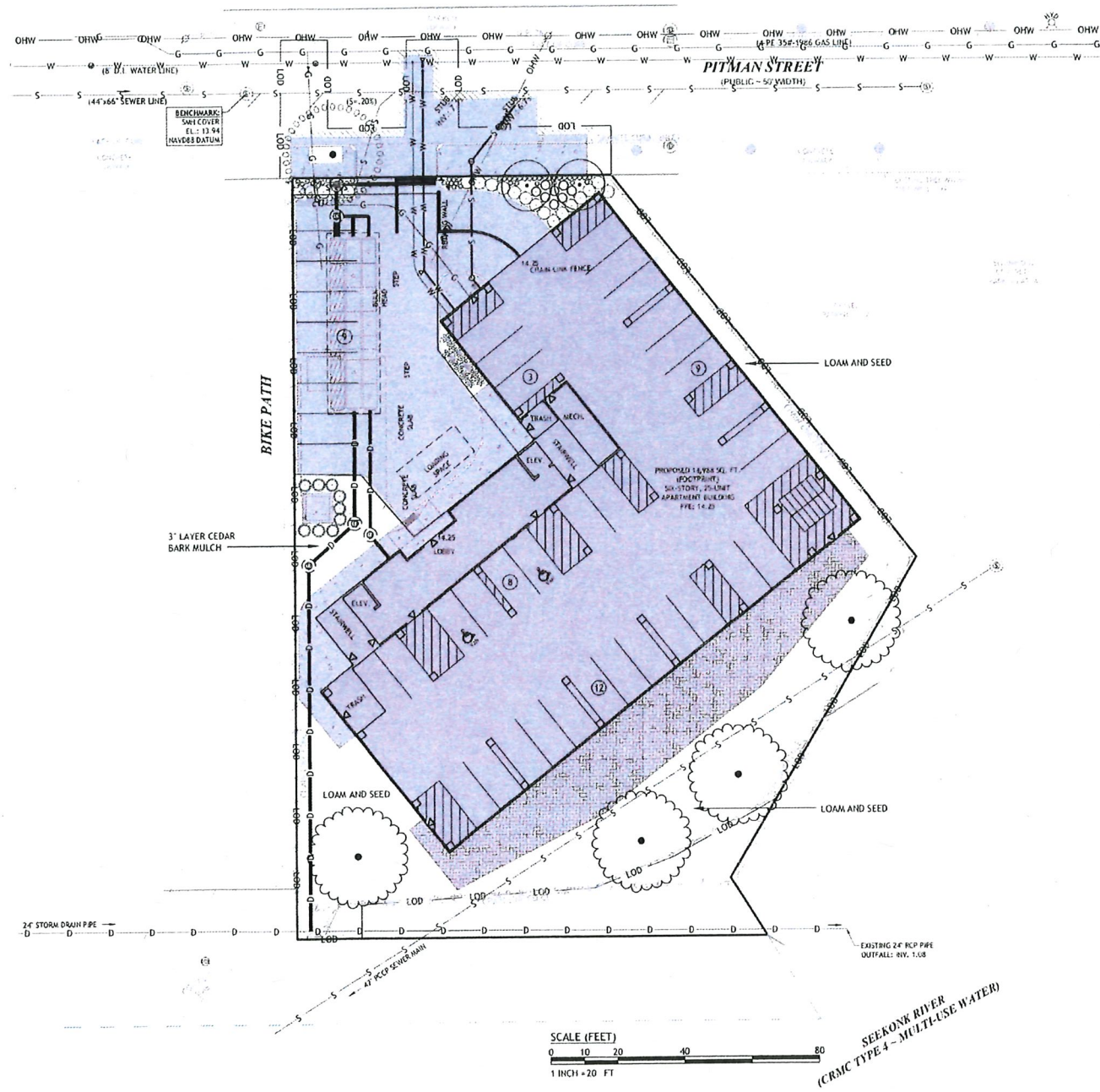
PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY	DETAIL	REMARKS
DECIDUOUS TREES							
	LSR	Liquidambar styraciflua Rotundifolia / Round Leaved Sweet Gum (fruitless)	2' Cal	B&B	4		
	UP	Ulmus parvifolia / Chinese Elm	2' Cal	B&B	1		
FLOWERING TREES							
	SI	Syringa reticulata 'Ivory Silk' / Ivory Silk Japanese Tree Lilac	2' Cal	B&B	2		
SHRUBS							
	IR2	Ilex glabra 'Nordic' / Nordic Inkberry	5 gal	CONT.	20		
	SM	Sporaea japonica 'Magic Carpet' / Magic Carpet Spirea	3 gal	CONT.	8		
	TMD3	Taxus x media 'Densiformis' / Dense Yew	5 gal	CONT.	9		
PERENNIALS							
	EP2	Echinacea purpurea / Purple Coneflower	1 gal	CONT.	12		
	HO4	Hemerocallis 'Stella de Oro' / Stella de Oro Daylily	1 gal	CONT.	46		

NOTE: LOAM AND SEED ALL DISTURBED AREAS UNLESS NOTED OTHERWISE

**PROVIDENCE LANDSCAPE PLANNING DATA
ARTICLE 15 ZONING ORDINANCE, Trees and Landscaping**

ZONING CRITERIA	REQUIRED	PROPOSED	ARTICLE 15
SIZE OF SHADE TREES AT PLANTING	2' CALIPER	2' CALIPER	1502.C.1
SIZE OF EVERGREEN TREES AT PLANTING	6 FEET HIGH	N/A	1502.C.2
SIZE OF ORNAMENTAL TREES AT PLANTING	2 FEET CALIPER	2 FEET CALIPER	1502.C.4
SIZE OF LARGE SHRUBS AT PLANTING	3 FEET HIGH	3 FEET HIGH	1502.C.4
SIZE OF SMALL SHRUBS AT PLANTING	18 INCHES HIGH	18 INCHES HIGH	1502.C.4
REQUIRED TREE CANOPY	15% OF TOTAL LOT FOR ALL OTHER DISTRICTS (A-2) CALCULATIONS: Total Lot Square Footage = 33,075 SF x 15% = 4,962 square feet Tree canopy required	5,400 SQUARE FEET PROVIDED CALCULATIONS: 4 large trees (1,000sf) = 4,000 square feet 2 small trees (700sf) = 1,400 square feet	1503.C.1
PARKING LOT PERIMETER LANDSCAPE STRIP	PERIMETER LANDSCAPE STRIP THAT ADJUTS A PARKING LOT SHALL BE MINIMUM 5 FEET WIDE AND HAVE 1 SHADE TREE EVERY 25 FEET SPACED UNLAPL. THE LANDSCAPE STRIP SHALL BE PLANTED WITH A MINIMUM OF 10% OF ITS LENGTH WITH LARGE SHRUBS. CALCULATIONS: Pitman Street Parking Lot = 20 linear feet enclosing curb side of 1 tree tree AND 12 shrub feet of shrubs	1 SHADE TREE AND 20 LINEAR FEET OF SHRUBS	1504.A-C
INTERIOR PARKING LOT LANDSCAPING	PARKING LOTS OVER 20,000 SQUARE FEET 1 ISLAND EVERY 10 SPACES 1 SHADE TREE/ISLAND	N/A PARKING LOT UNDER 20,000 SQUARE FEET (4,300 SF - exterior parking)	1506.A-E
SCREENING OF PARKING LOTS FROM RESIDENTIAL DISTRICTS	4 FOOT SCREEN REQUIRED BETWEEN RESIDENTIAL LOT AND PARKING.	N/A	1506




LANDSCAPE PLAN

SCALE (FEET)
0 10 20 40 80
1 INCH = 20 FT


SEEKONE RIVER
(CRMC TYPE 4 - MULTI-USE WATER)

Diane C. Soule & Associates, ASLA
Landscape Architecture
429 Forum Place
Providence, Rhode Island 02917
www.dianecsouleandassociates.com
401.731.0735
info@dca.com

City of Providence
City Plan Commission
Minor Subdivision or Land Development Project
Name: 5 Richmond Square
CPC Project # 24-003711
Approved Pursuant to Article 4 of the City of Providence Development Review Regulations, as amended, and RIGL 45-23-38 on _____ and shall be recorded and filed with the Recorder of Deeds no later than ninety (90) days following this approval, unless extended.
[Signature] 6/12/24
Administrative Officer/ Dept. of Planning & Development Date
[Signature] 6/12/24
Chair/ Providence City Plan Commission Date



JCE
JOE CASALI ENGINEERING, INC.
3000 POST ROAD, WARWICK, RHODE ISLAND 02886
TEL: 401.731.0735 WWW.JCEONLINE.COM



Diane C. Soule
ASLA
Landscape Architect

SIX-STORY, 25-UNIT RESIDENTIAL BUILDING
5 RICHMOND SQUARE
PROVIDENCE, RHODE ISLAND
AP 15, LOT 321

REVISIONS:

NO.	DATE	DESCRIPTION
1	9/28/23	LOADING TREES
2	07/16/24	RUEDEM
3	02/22/24	ABC COMMENTS
4	02/26/24	PLANNING

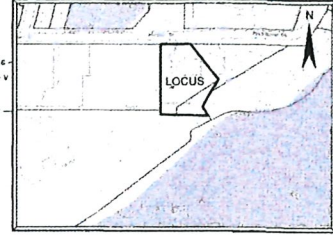
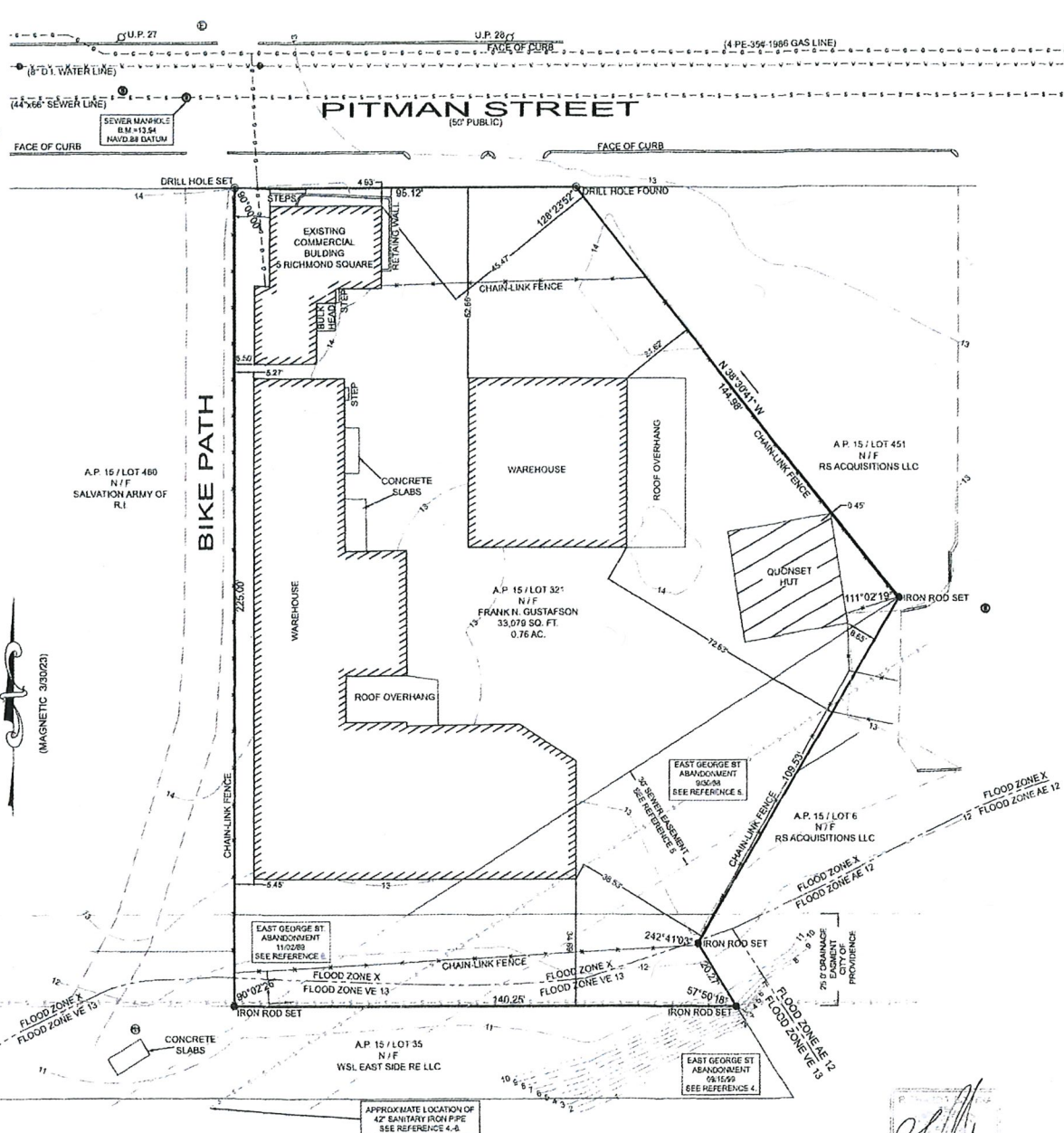
DESIGNED BY: DCS
DRAWN BY: DCS
CHECKED BY: DCS
DATE: SEP 2023
PROJECT NO: 23-49

PRELIMINARY, NOT FOR CONSTRUCTION

LANDSCAPE PLAN

SHEET L1

REFERENCE:
 1. DEED BK 1224 / PG. 298
 2. PLAT BOOK 11 / PG 32 ENTITLED "SALT MARSH BELONGING TO MOSES B. JENKINS, W.H. WALCOTT, & Wm. G.R. MOWREY & OTHERS."
 3. PLAT BOOK 58 / PG 82 ENTITLED "SURVEY OF LAND, SALVATION ARMY OF R.I., A.P. 15 LOTS 34, 293 & 324, PITMAN STREET, PROVIDENCE R.I., WATERMAN ENGINEERING CO., CIVIL DESIGNERS - SURVEYORS EAST, PROVIDENCE R.I." SCALE: 1"=40' SEPT, 1995
 4. PROVIDENCE CITY COUNCIL RESOLUTION #499 APPROVED 8/11/00
 5. PROVIDENCE CITY COUNCIL RESOLUTION #551 APPROVED 11/03/88
 6. PROVIDENCE CITY COUNCIL RESOLUTION #321 APPROVED 05/26/80
NOTE:
 LOT IS LOCATED IN FLOOD ZONES X & VE 13, PER FEMA MAP #44007C0300K EFFECTIVE ON 10/02/2015



ZONING DISTRICT W-2

MINIMUM LOT AREA	NONE
MINIMUM SETBACKS: FRONT	NONE
SIDE	8 FT
CORNER SIDE	NONE
REAR	NONE
MAXIMUM BUILDING HEIGHT	75 FT
ARTICLE 15-1 TREE CANOPY COVERAGE	30%



THIS PLAN DOES NOT GUARANTEE THE EXISTENCE OR NON-EXISTENCE OF UNDERGROUND UTILITIES. THE LOCATION OF EXISTING UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE AND MAY NOT BE ACCURATE. THE CONTRACTOR SHALL VERIFY THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY "DIGSAFE" AT 1-888-344-7233

BOUNDARY STAKE-OUT SURVEY
 A.P. 15 / LOT 321
 5 RICHMOND SQUARE
 PROVIDENCE, R.I. 02906
 SCALE: 1"=20' DATE: MARCH 3, 2023
 PREPARED FOR:
MICHAEL LEMOI
 334 CARPENTER STREET
 PROVIDENCE, R.I. 02909
 PHONE: (508) 450-02909
 PREPARED BY:
OCEAN STATE PLANNERS, INC.
 1255 OAKLAWN AVENUE, CRANSTON, R.I. 02920
 PHONE: (401) 493-9588 info@osplanners.com
 JOB NO. 10468 / DWG NO. 10458 - (2TDS)
 GRAPHIC SCALE: 1"=20'
 0 20 40 60

SURVEY CLASSIFICATION
 THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 28, 2015, AS FOLLOWS

TYPE OF BOUNDARY SURVEY	MEASUREMENT SPECIFICATION
LIMITED CONTENT BOUNDARY SURVEY	CLASS 1
DATA ACCUMULATION SURVEY	CLASS 3

THE PURPOSE FOR THE CONDUCT OF THIS SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS
 TO ESTABLISH LOCATION OF EXISTING STRUCTURES AND FEATURES ON THE SITE

BY: *Richard T. Bedyna* DATE: 4/13/23
 RICHARD T. BEDYNA, P.L.S. LICENSE #17166, COA # LS-460

THE FOLLOWING TYPES OF EVIDENCE WERE USED TO CONSTRUCT THIS SURVEY: RECORDED FOUND MONUMENTS IF ANY, NON-RECORDED MONUMENTS, LINES OF POSSESSION, AND OTHER EVIDENCE RELATIVE TO THE DEED OR PLAT. THE BOUNDARY SOLUTION IS THE COMPILED INFORMATION TO DETERMINE THE MOST PROBABLE LOCATION OF THE SURVEYED PARCEL.

City of Providence
 City Plan Commission
 Minor Subdivision or Land Development Project
 Name: 5 Richmond Square
 CPC Project # 24-003711
 Approved Pursuant to Article 4 of the City of Providence Development Review Regulations, as amended, and RIGL 45-23-38 on _____ and shall be recorded and filed with the Recorder of Deeds no later than ninety (90) days following this approval, unless extended.

Administrative Officer/ Dept. of Planning & Development Date: 6/12/24
 Chair/ Providence City Plan Commission Date: 6/12/24