

Providence City Plan Commission

September 17, 2024



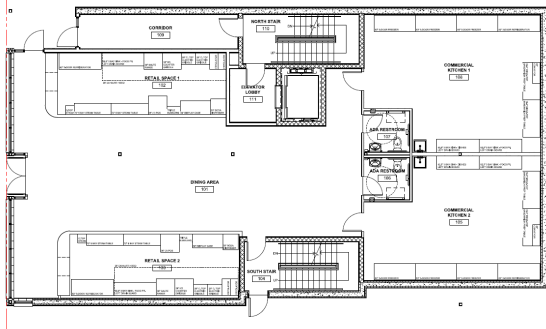
AGENDA ITEM 3 ■ 279 THAYER STREET



Aerial view of the site



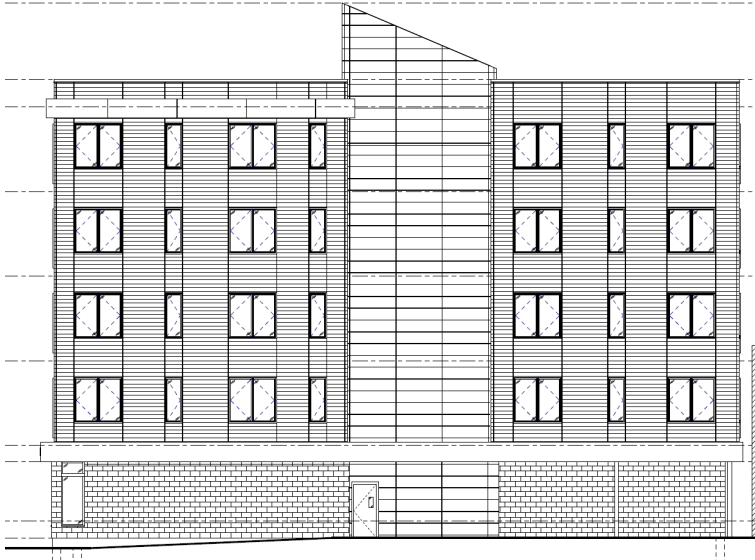
View from Thayer Street



Site plan and first floor layout

OVERVIEW

OWNER/ APPLICANT:	Two Cousins LLC c/o Michael Boutros, Owner and applicant	PROJECT DESCRIPTION:	Major change to an approved plan to add a fifth story and four dwelling units to a mixed use development approved for four stories with 12 units. The applicant is requesting a dimensional adjustment for height.
CASE NO./ PROJECT TYPE:	24-049 MA Major Change	RECOMMENDATION:	Approval of the change subject to the noted findings
PROJECT LOCATION:	279 Thayer Street C-2 zoning district, I-3E overlay AP 13 Lot 28	PROJECT PLANNER:	Choyon Manjrekar
NEIGHBORHOOD:	College Hill		



Building elevation and rendering

PROJECT OVERVIEW

The major change is being requested for a one story addition to an approved four story, 49’ tall mixed use building with commercial on the ground floor and 12 units in the C-2 zone. The addition would increase the number of apartments to 16 and increase the building’s height to 5 stories and approximately 55’. A dimensional adjustment is requested as the resultant height exceeds the four story, 50’ height limit of the zone.

ANALYSIS AND IDENTIFICATION OF POTENTIAL ISSUES

Use

The property is zoned C-2 under the I-3E overlay. Mixed use development is permitted by right in the C-2 zone with no restriction on the number of dwelling units per lot.

Dimensions and site design

A height of 55’ and four stories is proposed with the addition, for which an adjustment has been requested. Over 60% of the front façade will be located at the front lot line, meeting the design requirement of the C-2 zone. Residents will enter from a recessed entry on the northern portion of the building. The entrance to the commercial area will exceed the 50% transparency requirement at street level. A dining area will be located between two retail spaces.

The trash pickup area will be located at the rear of the southern portion of the building. The upper stories will be treated with fiber cement paneling with a lighting strip shaped like an inverted ‘L’ running on the side and parallel to the roof line, providing variety to the façade. The building’s design and materials conform to the design requirements of the C-2 zone with no design waivers required.

Landscaping

A total of 740 SF of canopy coverage is required based on the size of the lot. The applicant is proposing to meet this requirement by planting a large tree adjacent to the site.

Environmental management

An erosion control plan that will employ compost sock and siltsack sediment traps has been included with the submission. The development is exempt from the City's stormwater ordinance. Rooftop runoff will be carried via roof drains to an underground drainage pipe that will connect to the drainage main on Thayer Street.

Parking

No parking is required as the lot measures less than 10,000 SF. Three bicycle spaces are required to meet the bicycle parking requirement of one bicycle space for every five units. Per the plan, four spaces will be provided in the basement. The applicant shall indicate the location of the bike parking spaces on the final plan.

Lighting

Illumination will be provided on the building facades through recessed lights within building projections and above entryways. Additional lighting will also be provided in the light fixture on the front building façade. Cut sheets of light fixtures are provided and there will be no trespass onto neighboring properties.

FINDINGS – Dimensional Adjustment

It is the DPD's opinion that the applicant meets the criteria for a dimensional adjustment as outlined in section 1005.B of the Development Review Regulations. The applicant is eligible for the adjustment by providing vertical mixed use with over 50% of residential space as outlined in Section 1904.E.1 of the Zoning Ordinance. An increase of up to 24' in height and two stories is permitted per section 1904.E.2 of the ordinance. The CPC should grant the dimensional adjustment for height, finding that the provision of mixed use with commercial space on the ground floor is reasonably related to the height increase.

ACTION— Dimensional Adjustment

The CPC should vote to grant the dimensional adjustment for height pursuant to making positive findings with section 1005.B of the Development Review Regulations as described above.

FINDINGS—Preliminary Plan

Section 1005 of the Commission's *Development Review Regulations* requires that the City Plan Commission make the following findings as part of their approval of all land development project applications. Based on the analysis contained herein and subject to the conditions contained in this report, staff has prepared the following findings regarding the request for approval of the master and preliminary plan stages:

1. *Consistency—The proposed development is consistent with the Comprehensive Plan and/or has satisfactorily addressed the issues where there may be inconsistencies.*

The subject property is located in an area that the future land use map of Providence Tomorrow: The Comprehensive Plan intends for Neighborhood Commercial/Mixed Use development. The plan describes these areas as ones intended to foster pedestrian oriented needs like retail and housing in buildings oriented toward the street. The development conforms to this land use designation. As the building will be located on a commercial corridor, it conforms to objective BE-2 of the plan which encourages new development to complement traditional character. Creation of housing will conform to objective H-2 of the plan which encourages creation of new housing.

2. *Compliance with Zoning Ordinance—The proposed development is in compliance with the standards and provisions of the Zoning Ordinance.*

Use: Mixed use development is permitted by right in the C-2 zone.

Dimension: The development conforms to the dimensional and design requirements of the C-2 zone subject to granting a dimensional adjustment for height.

Parking: No parking is required, but the applicant will meet the bicycle parking requirement.

Landscaping: The applicant will meet the landscaping requirement by retaining and/or replacing two existing street trees.

Lighting: A lighting plan has been submitted.

3. *Environmental Impact—There will be no significant environmental impacts from the proposed development as shown on the final plan, with all required conditions for approval.*

No negative environmental impacts are expected as the applicant is expected to come into conformance with applicable environmental regulations.

4. *Buildable Lot—The subdivision or development project, as proposed, will not result in the creation of individual lots with such physical constraints to development that building on those lots according to pertinent regulations and building standards would be impracticable.*

There are no physical constraints that impact development of this property, as the lot complies with the dimensional requirements of the C-2 zone with no impediments to development.

5. *Street Access—All proposed development projects and all subdivision lots shall have adequate and permanent physical access to a public street. Lot frontage on a public street without physical access shall not be considered compliance with this requirement.*

Adequate pedestrian access will be provided from Thayer Street.

ACTION—Major Change/Preliminary Plan

1. The CPC should vote to approve the major change based on the above findings.
2. Processing of the final plan approval should be delegated to DPD staff.