

Project Narrative

For

Thayer Street Development

**A Proposed Mixed-Use Building Consisting of
2 Commercial Units & 16 Residential Units**

**279 Thayer Street
Providence, RI
AP 13, Lot 28**

Prepared for:
Two Cousins, LLC
c/o Mr. Michael Boutros
217 Old River Road
Lincoln, RI 02865

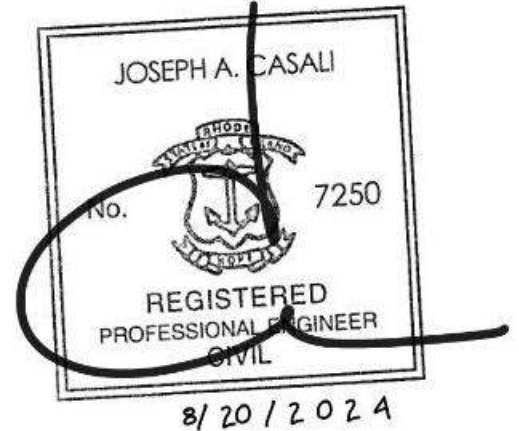


Image Courtesy of Bisbano & Associates, Inc.

Submission Date:

April 2022; Revised August 2024

Submitted by:

JCE

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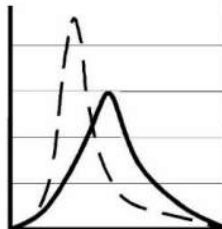


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- Appendix A: Floor Plans and Renderings, prepared by Bisbano and Associates, Inc.
Appendix B: Site Plans, prepared by Joe Casali Engineering, Inc.
Appendix C: Lighting Plan and Exterior Light Fixture Specifications

1 INTRODUCTION

On behalf of Two Cousins, LLC, Joe Casali Engineering, Inc. (JCE) has prepared the following Project Narrative to identify existing and proposed site conditions related to a proposed Major Land Development Project consisting of a new 4,020 sq. ft. (footprint), four-story, mixed-use building. The subject property, known as Tax Assessor's Plat (AP) 13, Lot 28, has frontage on Thayer Street in the City of Providence.

The project consists of development of a 4,020 sq. ft. (footprint), five-story, mixed-use building, consisting of two (2) commercial units on the first floor with four (4) stories above with a total of 16 residential units (four (4) residential units per floor) on the subject property. Other improvements include sidewalks and utility connections. The five-story building is proposed to consist of five floors and a basement totaling approximately 23,320 gross square feet, with approximately 15,970 sq. ft. as livable, and 3,050 sq. ft. dedicated to two (2) commercial units to be utilized by restaurants. The site is currently occupied by five (5) existing structures including a commercial building, a multi-use structure (stores and apartments), a three-family dwelling, a garage and a shed. All existing structures will be razed. The following report has been prepared to discuss existing conditions, proposed conditions, and the permitting path for the proposed project.

2 SITE LOCATION AND PHYSICAL DESCRIPTION

The subject property has a physical address of 249 Thayer Street in Providence, Rhode Island and is identified as Tax Assessor’s Plat (AP) 13, Lot 28. Based on an April 2021 Class I Limited Content Boundary Survey performed by Ocean State Planners, Inc., the parcel contains a total of 4,929 square feet (0.11 acres) and has frontage on Thayer Street. The site is bound by AP 13, Lot 27 (retail store – “Urban Outfitters”) to the north, AP 13, Lot 32 (restaurant – “Flatbread Company”) and AP 13, Lot 31 (commercial – “FedEx Office Print & Ship Center”) to the west, AP 13, Lot 29 (restaurant) to the south, and Thayer Street to the west.

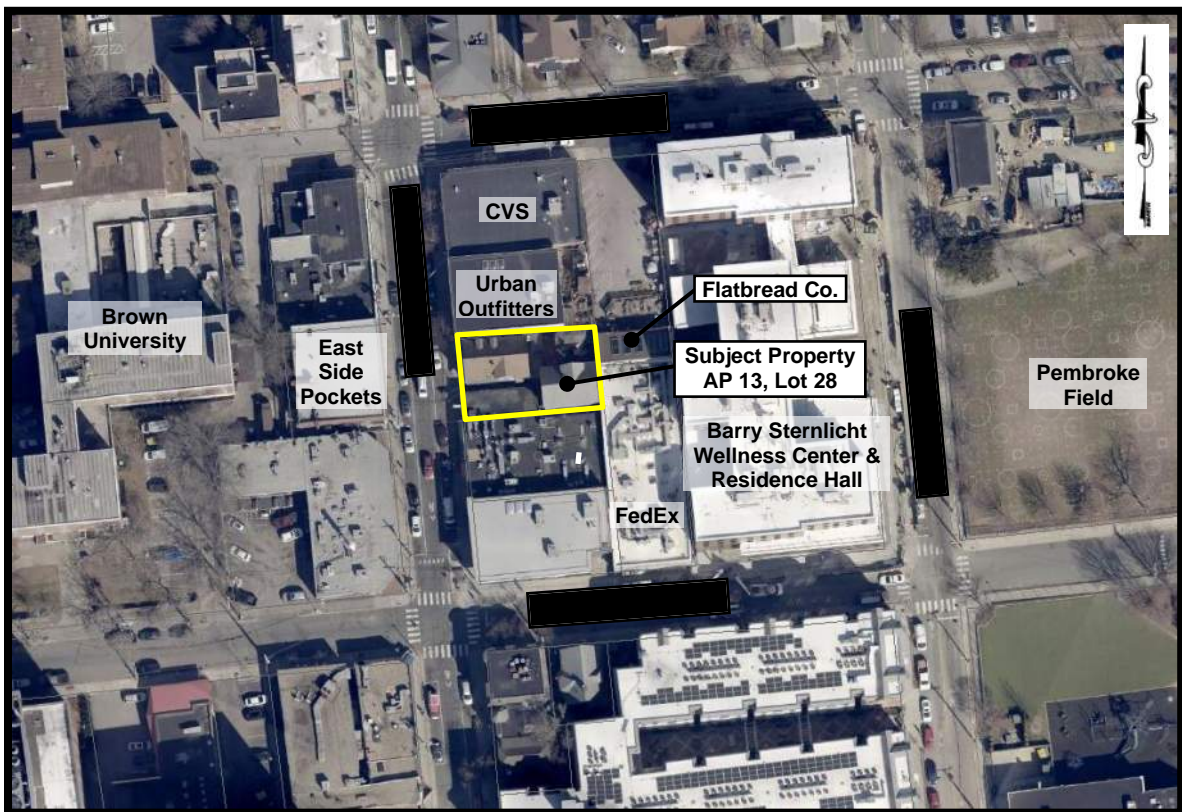


Figure 1 – Locus Map

NOT TO SCALE

The site is currently occupied by five (5) existing structures including a commercial building, a multi-use structure (stores and apartments), a three-family dwelling, a garage and a shed.

2.1 Soil Classification

According to the *Web Soil Survey (WSS)* operated by the US Department of Agriculture Natural Resources Conservation Service (NRCS), produced by the National Cooperative

Soil Survey, the soils on-site consist entirely of Paxton-Urban land complex, 3-15% slopes (PD). PD soils consist of coarse-loamy lodgment till derived from gneiss, granite, and/or schist. These soils have a medium runoff class and are well drained. These soils have been assigned to the Hydrologic Soil Group 'C'.



Figure 2 – Soils Map
NOT TO SCALE

2.2 Flood Zone Classification

The subject parcel is located on the Flood Insurance Rate Map (FIRM) for Providence County, Map Number 44007C0309K, effective October 2, 2015. Based on this FIRM, the site and all adjacent sites are identified as Zone X – areas determined to be outside of the 0.2% annual-chance flood hazard area.

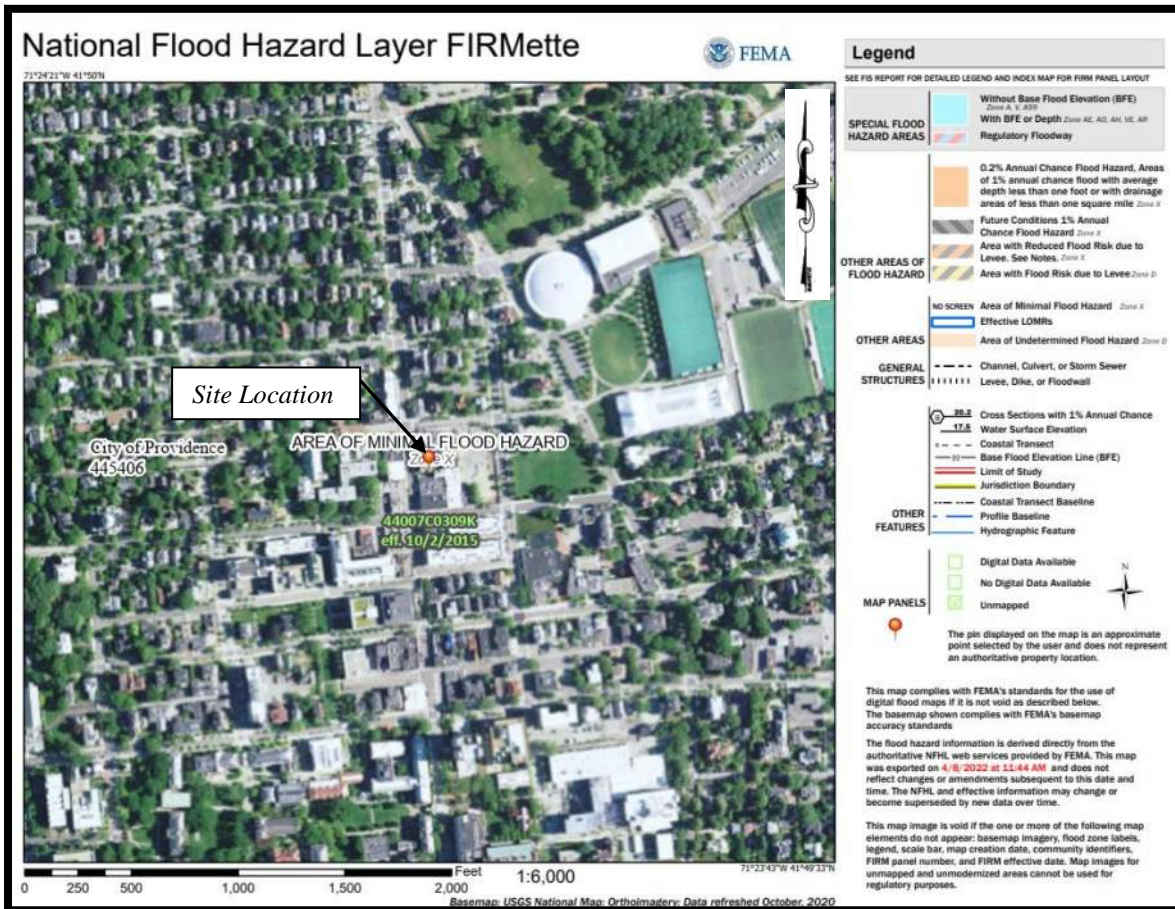


Figure 3 – Flood Map
NOT TO SCALE

2.3 Natural Resource Inventory

According to the Rhode Island Department of Environmental Management (RIDEM) Environmental Resource Mapping, there are no wetland features within or adjacent to the subject parcels. In addition, the subject parcel is not located within any known historic planning district, land conservation area or natural heritage area.

The site is located within the Seekonk River – Providence River Watershed (#010900040902). Stormwater runoff from the site sheet flows to a catch basin within Thayer Street. Stormwater runoff from this area is routed through a series of pipes to discharge to the Providence River (RI0007020E-01B) which is included in the State of Rhode Island 2016 303(d) List, List of Impaired Waters (RIDEM, February 2020). Impairments include dissolved oxygen, total nitrogen, and fecal coliform. There are no total maximum daily loads (TMDL) established for these impairments.

2.4 Easements

Based on the April 2021 Class I Limited Content Boundary Survey performed by Ocean State Planners, there is a common easement agreement on the subject parcel (Book 9399, page 191). The easement benefits the adjacent property (AP 13, Lot 29) by creating easier access to the rear portion of its property for emergency egress from their subject property and for routine maintenance of each party's property.

2.5 Zoning

According to the City of Providence Zoning Ordinance and Zoning Map, the subject property is currently located within the General Commercial District (C-2). This district is intended for more intensive commercial uses and key commercial nodes, including larger retail establishments. Structures with dwellings above ground floor non-residential uses are considered mixed-use development, which are considered a non-residential use for the purposes of the Ordinance. Residential and parking uses are prohibited on the ground floor of a building within 20 feet of Thayer Street. The proposed mixed-use development is permitted by right in the C-2 zone.

The following are the current dimensional requirements for the C-2 Zone:

Requirement	C-2 Zone Req'd
Minimum Lot Area	None
Minimum Building Height	16 ft.
Minimum First Story Height	9' Residential use 11' Non-Residential Use
Maximum Building Height	50 ft., not to exceed 4 stories
Maximum Building Coverage	None
Total Maximum Impervious Surface Coverage	None
Minimum Front Setback	Build-to-zone of 0' to 5' ¹
Minimum Side Setback	None; unless abutting residential district, then 10'
Minimum Rear Setback	None; unless abutting residential district, then 20'

Notes:

1. The required build-to percentage is 60% on the front lot line.

The subject property is also located within the Educational Institutional Overlay District (I-3E). The I-3E Educational Institutional Overlay District is intended to encourage

development in Downtown and along the City's commercial corridors by permitting higher education institutional uses, student housing, and practicums in addition to a variety of commercial, entertainment, residential, public, and other uses in select areas. Compatible and appropriate mixed-uses are encouraged to promote pedestrian activity at street levels while encouraging full and varied use on the upper floors. This district is intended to encourage the development of educational uses while preserving and fostering the economic vitality of the Downtown and the City's commercial corridors.

2.6 Existing Utilities

Water: A 6-inch cast iron water main exists within Thayer Street. There is an existing 5/8-inch lead water service currently servicing the site. This water main is owned and maintained by the Providence Water Supply Board (PWSB).

The closest fire hydrant is located approximately 100 feet north of the subject property, on the same side of the street (in front of the CVS).

Sewer: A 36-inch sewer main owned and maintained by the City of Providence exists within Thayer Street. Effluent is ultimately routed to the Field's Point Wastewater Treatment Facility, owned, and operated by the Narragansett Bay Commission.

Drainage: A 24-inch drainage main exists within Thayer Street. All stormwater discharge from the subject property sheet flows towards Thayer Street and is conveyed to existing catch basins within the street. Ultimately stormwater runoff is discharged to the Providence River.

Gas: A 4-inch cast iron gas main exist within Thayer Street. This gas main is owned and maintained by National Grid.

Electric/Communications: Electric and communications services are provided to the subject site via overhead lines on the west side of Thayer Street; owned and maintained by National Grid.

3 PROPOSED SCOPE OF WORK

3.1 General

The proposed project consists of an approximately 4,020 sq. ft. (footprint), four-story, mixed-use building. consisting of two (2) commercial units on the first floor with four (4)

stories above with a total of 16 residential units (four (4) residential units per floor) on the subject property. The residential units have been designed as flats containing two (2) bedrooms, and two (2) bathrooms each. The five-story building is proposed to consist of five floors and a basement totaling approximately 23,320 gross square feet, with approximately 15,970 sq. ft. as livable, and 3,050 sq. ft. dedicated to two (2) commercial units intended to be utilized by restaurants. Frontage and access to the development will be provided via Thayer Street. The residential units will have a separate access on the ground floor from the commercial units and can utilize either stairs or an elevator. Floor Plans and Renderings are included in Appendix A.

The existing common access easement benefitting the adjacent property (AP 13, Lot 29) will reconfigured and replatted. The proposed development provides a more direct access to the rear portion of the adjacent property for emergency egress. Please refer to Appendix B for Site Plans.

3.2 Zoning

As discussed previously, the subject property is located within the General Commercial District (C-2). The proposed mixed-use development is permitted by right in the C-2 zone.

The following are the current dimensional requirements for the C-2 Zone:

Requirement	C-2 Zone Req'd	Proposed
Minimum Lot Area	None	4,929 sq. ft.
Minimum Building Height	16 ft.	50 ft.
Minimum First Story Height	11' Non-Residential Use	12 ft.
Maximum Building Height	50 ft., not to exceed 4 stories	55 ft. (5 stories) ²
Maximum Building Coverage	None	81.6%
Total Maximum Impervious Surface Coverage	None	100%
Minimum Front Setback	Build-to-zone of 0' to 5' ¹	2.97 ft. (76.7%)
Minimum Side Setback	None	0.60 ft.
Minimum Rear Setback	None	1.75 ft.

Notes:

1. The required build-to percentage is 60% on the front lot line.

2. The City Plan Commission has the authority to adjust the building height by up to 24 feet for 2 stories in non-residential zones through land development project review for this project due to vertical mixed-use development is provided, of which at least 50% is devoted to residential use.

The proposed building complies with Article 5 Commercial Districts, Section 503A C-1 and C-2 District Design Standards. The proposed building has been designed to have an orientation to and entrance from the sidewalk along the primary building frontage along Thayer Street. The ground floor building entrance is not recessed more than six feet from the required front setback. The entrance for the proposed commercial units on the ground floor is less than maximum width of eight feet. Regarding fenestration, the ground floor facades contain a total area of transparency greater than 50% (64%± provided) of the wall area of the ground floor, measured between two and nine feet above the adjacent grade. Each upper story façade exceeds the 10% transparency requirement (46%± provided).

The proposed development is exempt from parking requirements per Article 14 Off-Street Parking and Loading, Section 1410.B.7 of the Providence Zoning Ordinance, which states “in the C-1 and C-2 districts, all lots of 10,000 square feet or less are exempt from parking requirements.” Bicycle parking is still required. Per Table 14-1, multi-family dwellings require one (1) bicycle space per every five (5) dwelling units; the proposed development will require 4 bicycle spaces. Of these four (4) bicycles spaces, 80% of these spaces shall be long-term spaces. Storage space for bicycles will be located within the basement of the building. Access will be provided via the building’s elevator.

Per Article 15 Trees and Landscaping, Section 1503 On-Site Landscaping and Required Trees, sufficient trees shall be retained and/or planted on a lot so that the square footage of vegetative canopy of such trees, when mature, equals 15% of the square footage of the lot. The subject property requires 739 square feet of tree canopy. Existing street trees located in the public right-of-way directly adjacent to the lot line may be counted toward the canopy coverage for the lot. Two (2) existing street trees adjacent to the subject property meet this requirement based on preliminary discussions with City Staff. Coordination with the City Forester will be required to confirm this requirement has been met.

Exterior lighting will be minimal with recessed can lights located within the building projections and above entry doorways. An outdoor light strip is proposed within the architectural inverted “L” projection off the front of the building to provide soft up-

lighting onto the building façade. Please refer to Appendix C for First Floor Reflected Ceiling & Lighting Plan along with exterior light fixture specifications.

3.3 Utilities

Water: The proposed development will require a new domestic water service connection and a new fire protection service connection from the existing water main within Thayer Street. A 2-inch domestic water service and a 6-inch fire protection service is proposed. Review and approval of the proposed domestic and fire protection service designs will be required by Providence Water.

Sewer: The proposed development will require a new 6-inch sewer service connection to the existing 36-inch sewer main within Thayer Street. Review and approval will be required by the City of Providence Engineering Division and the Narragansett Bay Commission.

Drainage: The proposed development is exempt from the City's Stormwater Ordinance. Rooftop runoff from the proposed building will be conveyed via roof drains to an underground drainage pipe that will connect directly to the existing 24-inch drainage main within Thayer Street.

Gas/Electric/Communications: Gas, electric and communications services are proposed from existing infrastructure within or along Thayer Street. Coordination with National Grid will be required.

3.4 Quasi-State and Local Permit Requirements

3.4.1 City Plan Commission (CPC)

The proposed mixed-use building will need to be reviewed by the City Plan Commission. The project requires three stages of review: (1) Master Plan (2) Preliminary Plan, and (3) Final Plan. The Applicant previously received combined Master Plan and Preliminary Plan approval at the May 17, 2022 hearing. The project has also received Final Plan approval. This submission is for a major modification to request a waiver for an additional building story.

3.4.2 City of Providence Engineering Division & Traffic Division; City Forester

The proposed development has received approval from the City of Providence Engineering Division for the proposed sewer connection. In addition, the development

received approval from the City of Providence Traffic Division. Coordination with the City Forester has been completed regarding existing street trees.

3.4.3 Fire Department

The site will require review and approval from the City of Providence Fire Department.

3.4.4 Providence Water Supply Board

The proposed development will require approval from the Providence Water Supply Board for the proposed fire protection and domestic water service design.

3.4.5 Narragansett Bay Commission (NBC)

All effluent from the subject parcel is ultimately treated at the Fields Point Wastewater Facility, operated by the Narragansett Bay Commission (NBC). Accordingly, the proposed sewer service will require a Sewer Connection Permit from the Narragansett Bay Commission.

Appendix A

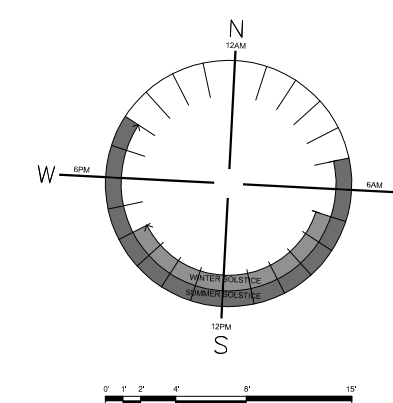
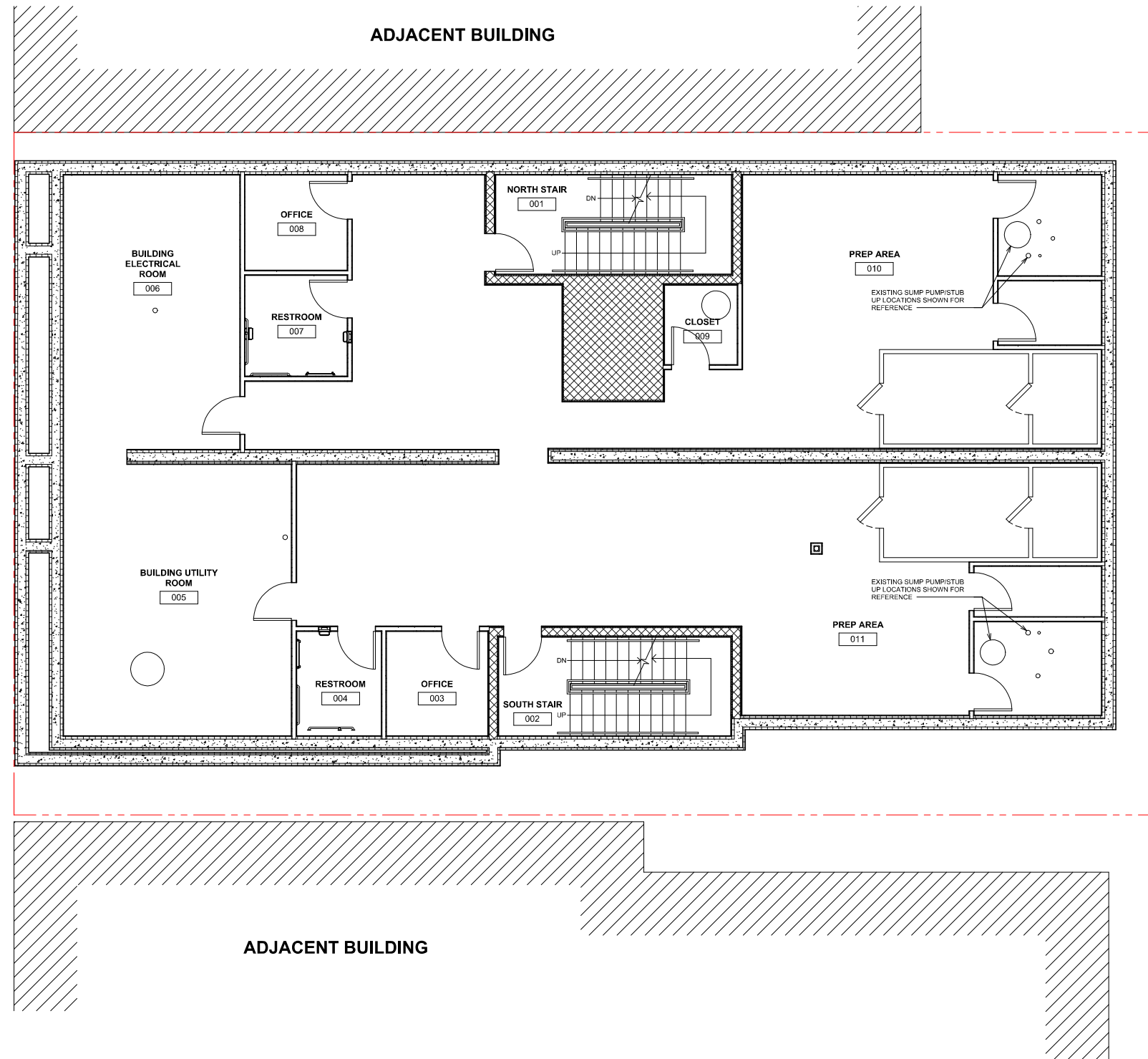
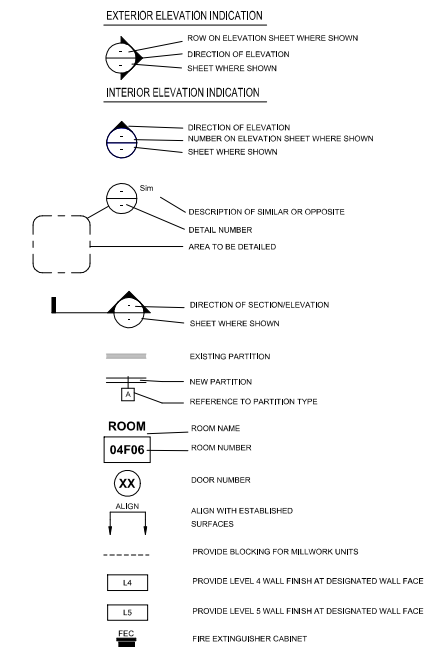
Floor Plans and Renderings

Prepared by Bisbano and Associates, Inc., dated August 2024

GENERAL NOTES

- ALL DIMENSIONS ARE TO CENTERLINE OF STUD UNLESS OTHERWISE NOTED.
- REFER TO THIS PLAN AND A12.01-A12.02 FOR PARTITION TYPES.
- GC TO LAYOUT PARTITIONS FOR REVIEW BY ARCHITECT/ARCHITECT'S FIELD REPRESENTATIVE PRIOR TO COMMENCING CONSTRUCTION OF PARTITIONS. GC TO PROVIDE TWO WEEKS' NOTICE TO ENSURE WORK IS NOT DELAYED.
- PROVIDE DOUBLE STUDS AT ALL DOOR OPENINGS.
- PROVIDE NECESSARY FRAMING AS REQUIRED AROUND HVAC, PLUMBING AND ELECTRICAL EQUIPMENT OPENINGS IN WALLS AND CEILINGS.
- COORDINATE & PROVIDE BLOCKING FOR ITEMS ATTACHED OR MOUNTED TO WALLS OR CEILINGS.
- UNLESS NOTED OTHERWISE, LOCATE HINGE SIDE OF ALL DOORS 6" FROM FINISH FACE OF ADJACENT PERPENDICULAR PARTITION.
- ALL RECEPTACLES AND FACE PLATES TO BE WHITE.
- THROUGH PENETRATIONS AND FIRE BARRIERS AND PARTITIONS TO MEET THE FOLLOWING REQUIREMENTS:
 - CONCRETE OR MASONRY WALLS WITH PENETRATIONS MAXIMUM OF 6" Ø OR 1/4" SQ. IN TO RECEIVE CONCRETE, GROUT OR MORTAR FOR FULL WALL THICKNESS TO FILL SPACE.
 - OTHER WALL TYPES TO BE FIRE-STOPPED WITH AN APPROVED PENETRATION FIRE STOP SYSTEM IN ACCORDANCE WITH ASTM E814 OR UL1479 WITH A RATING NOT LESS THAN WALL BEING PENETRATED.
- THROUGH PENETRATIONS IN FLOORS AND ROOFS TO MEET THE FOLLOWING REQUIREMENTS:
 - BE COMPOSED OF A RATED SHAFT ENCLOSURE
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- INTERIOR FINISHES ARE TO MEET THE FOLLOWING REQUIREMENTS BASED ON 2018 IBC TABLE 803.13:
 - STAIRWAYS AND EXIT PASSAGES: CLASS A OR B RATING
 - BASEMENT LEVEL: CLASS A OR B RATING
 - COMMERCIAL SPACES: CLASS A, B OR C RATINGS
 - CORRIDORS TO R-2 UNITS: CLASS A, B OR C RATINGS
 - R-2 UNITS: CLASS A, B OR C RATINGS
 WHERE CLASSES ARE AS FOLLOWS:
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 - CLASS B: FLAME SPREAD INDEX 26-75, SMOKE DEVELOPED INDEX 460-850
 - CLASS C: FLAME SPREAD INDEX 76-200, SMOKE DEVELOPED INDEX 860-1190
- BASEMENT NOT TO HAVE ACCESS FOR OCCUPANTS OF RESIDENTIAL UNITS.

LEGEND



NOT FOR CONSTRUCTION

ARCHITECTURE
INTERIOR ARCHITECTURE
SPACE PLANNING
FACILITIES MANAGEMENT
PROJECT MANAGEMENT

DISBAND + ASSOCIATES, INC.
180 SUNNYSIDE AVENUE | 188 VALLEY STREET | PROVIDENCE, RI | 02904
PHONE: 401-454-8310 | FAX: 401-454-8311 | WWW.DISBAND.COM

THAYER STREET REDEVELOPMENT
279-281 THAYER STREET
Providence, RI
02906

CONSTRUCTION BASEMENT FLOOR PLAN

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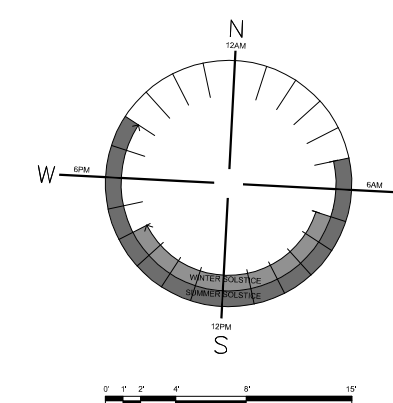
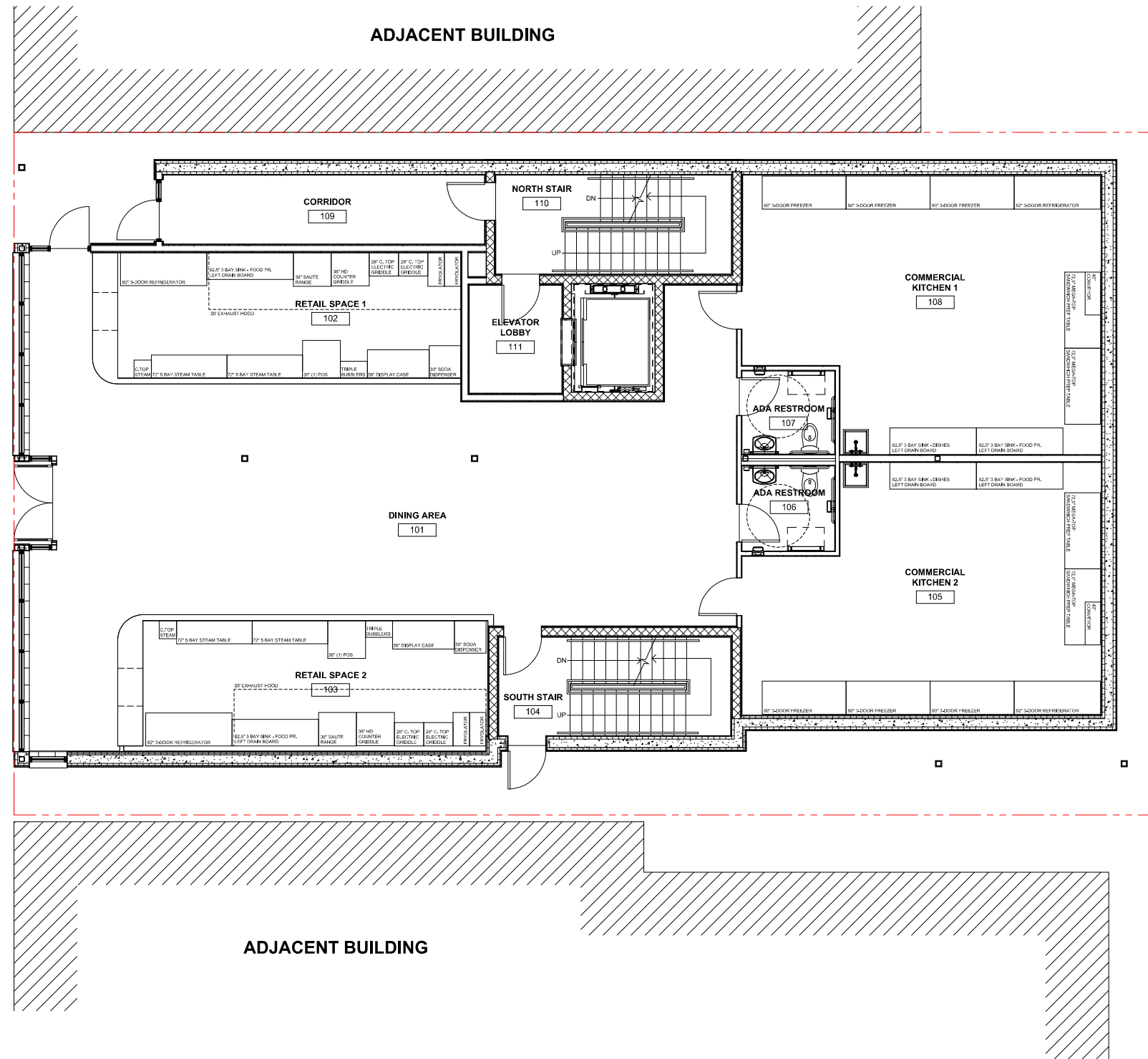
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LEGEND

- EXTERIOR ELEVATION INDICATION**
- ROW ON ELEVATION SHEET WHERE SHOWN
 - DIRECTION OF ELEVATION SHEET WHERE SHOWN
- INTERIOR ELEVATION INDICATION**
- DIRECTION OF ELEVATION NUMBER ON ELEVATION SHEET WHERE SHOWN SHEET WHERE SHOWN
 - DESCRIPTION OF SIMILAR OR OPPOSITE DETAIL NUMBER
 - AREA TO BE DETAILED
- SECTION/ELEVATION**
- DIRECTION OF SECTION/ELEVATION SHEET WHERE SHOWN
- PARTITIONS**
- EXISTING PARTITION
 - NEW PARTITION
 - REFERENCE TO PARTITION TYPE
- ROOM**
- ROOM NAME
 - ROOM NUMBER
- DOOR**
- DOOR NUMBER
- ALIGN**
- ALIGN WITH ESTABLISHED SURFACES
- BLOCKING**
- PROVIDE BLOCKING FOR MILLWORK UNITS
- FINISH**
- PROVIDE LEVEL 4 WALL FINISH AT DESIGNATED WALL FACE
 - PROVIDE LEVEL 5 WALL FINISH AT DESIGNATED WALL FACE
- EXTINGUISHER**
- FIRE EXTINGUISHER CABINET



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DISBANO + ASSOCIATES, INC.
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THAYER STREET
REDEVELOPMENT
279-281 THAYER STREET
Providence, RI
02906

CONSTRUCTION FIRST
FLOOR FLOOR PLAN

ISSUE TYPE: PERMIT SET	REVISED:
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DRAWN BY: TJ	
SCALE: 1/8" = 1'-0"	
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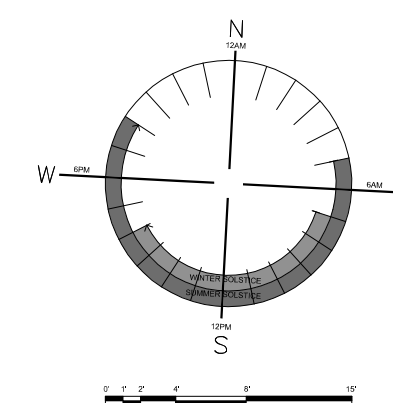
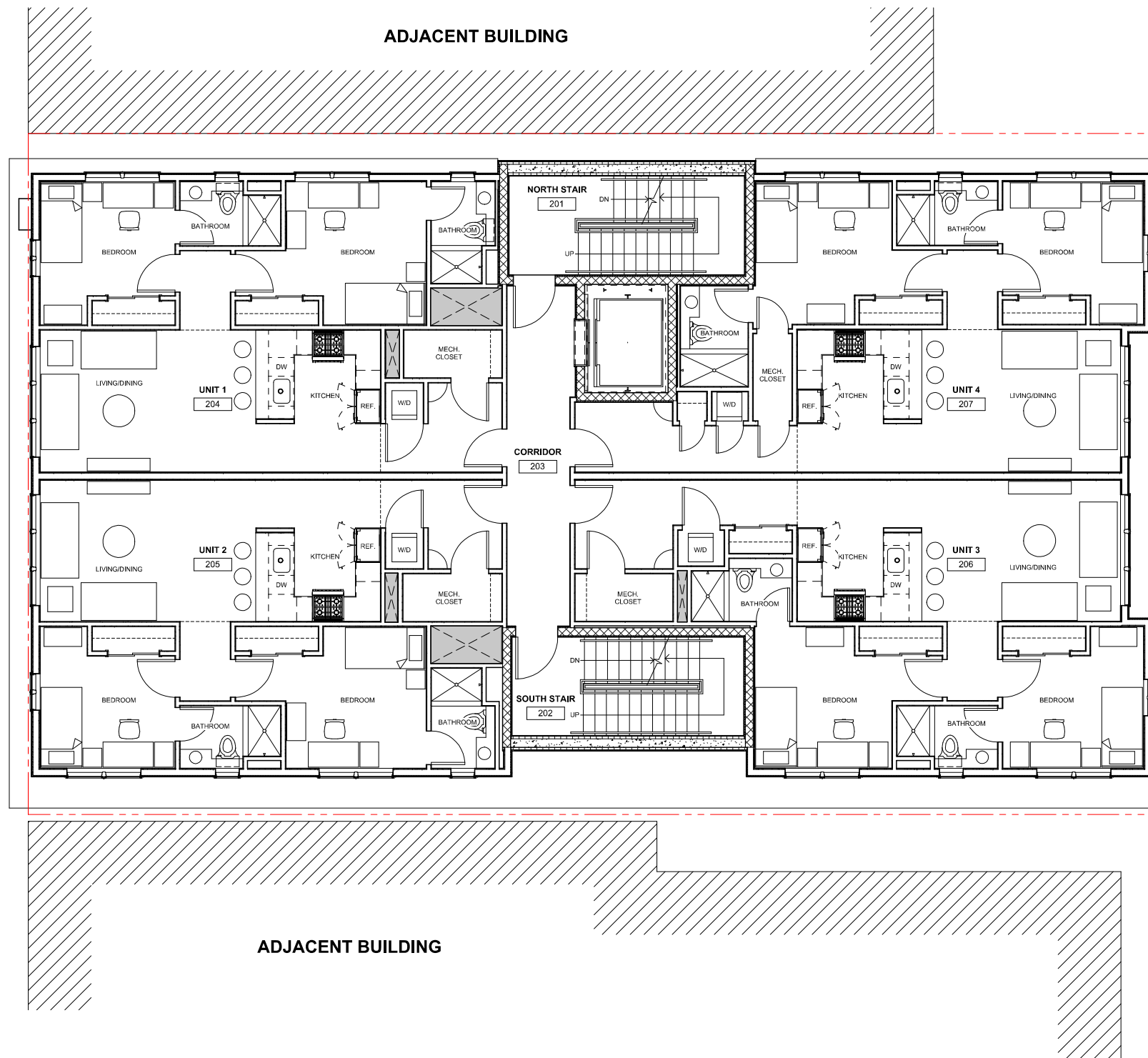
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 - CLASS B: FLAME SPREAD INDEX 26-75, SMOKE DEVELOPED INDEX 0-450
 - CLASS C: FLAME SPREAD INDEX 76-200, SMOKE DEVELOPED INDEX 0-450
- BASEMENT NOT TO HAVE ACCESS FOR OCCUPANTS OF RESIDENTIAL UNITS.

LEGEND

- EXTERIOR ELEVATION INDICATION**
- ROW ON ELEVATION SHEET WHERE SHOWN
 - DIRECTION OF ELEVATION SHEET WHERE SHOWN
- INTERIOR ELEVATION INDICATION**
- DIRECTION OF ELEVATION NUMBER ON ELEVATION SHEET WHERE SHOWN
 - SHEET WHERE SHOWN
 - DESCRIPTION OF SIMILAR OR OPPOSITE DETAIL NUMBER
 - AREA TO BE DETAILED
- SECTION ELEVATION**
- DIRECTION OF SECTION/ELEVATION SHEET WHERE SHOWN
- PARTITIONS**
- EXISTING PARTITION
 - NEW PARTITION
 - REFERENCE TO PARTITION TYPE
- ROOM**
- ROOM NAME
 - ROOM NUMBER
- DOOR**
- DOOR NUMBER
- ALIGN**
- ALIGN WITH ESTABLISHED SURFACES
- BLOCKING**
- PROVIDE BLOCKING FOR MILLWORK UNITS
- LEVEL FINISH**
- PROVIDE LEVEL 4 WALL FINISH AT DESIGNATED WALL FACE
 - PROVIDE LEVEL 5 WALL FINISH AT DESIGNATED WALL FACE
- FIRE EXTINGUISHER CABINET**



NOT FOR CONSTRUCTION

ARCHITECTURE
INTERIOR ARCHITECTURE
SPACE PLANNING
FACILITIES MANAGEMENT
PROJECT MANAGEMENT

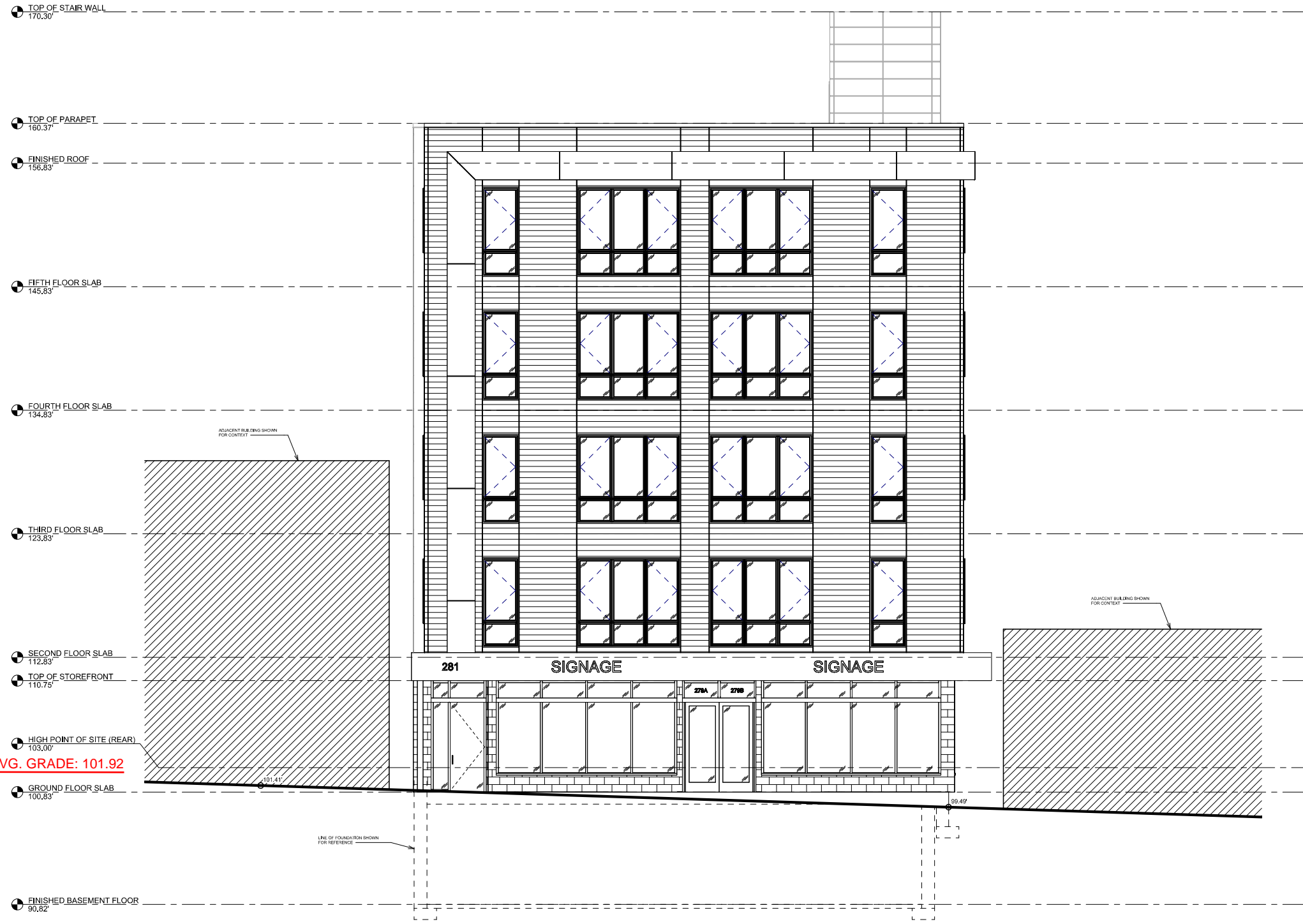
DISABANO + ASSOCIATES, INC.
180 SUN HILLS | 188 VALLEY STREET | PROVIDENCE, RI | 02904
VOICE 401-454-8310 | FAX 401-454-8311 | WWW.BESABANO.COM

THAYER STREET REDEVELOPMENT
279-281 THAYER STREET
Providence, RI
02906

CONSTRUCTION
SECOND-FIFTH FLOOR
PLAN

ISSUE TYPE: PERMIT SET	REVISED:
ISSUE DATE: 06/03/2022	
DRAWN BY: TJ	
SCALE: 1/8" = 1'-0"	
SHA PROJECT NO. 2021-127	

A02.02



AVG. GRADE: 101.92

1 EXTERIOR ELEVATION - WEST (THAYER STREET)
1/4" = 1'-0"

NOT FOR CONSTRUCTION


 ARCHITECTURE
 INTERIOR ARCHITECTURE
 SPACE PLANNING
 FACILITIES MANAGEMENT
 PROJECT MANAGEMENT
BISBANO + ASSOCIATES, INC.
180 WING SQUA HILLS | 188 VALLEY STREET | PROVIDENCE, RI | 02904
 VOICE: 401-454-8310 FAX: 401-454-8311 WWW.BISBANO.COM

THAYER STREET
 REDEVELOPMENT
 279-281 THAYER STREET
 Providence, RI
 02906

EXTERIOR ELEVATION

ISSUE TYPE: PERMIT SET	REVISED:
ISSUE DATE: 06/03/2022	
DRAWN BY: JL, JS, MS, PS, JC, TJ	

SCALE: 1/8" = 1'-0"	S+A PROJECT NO.:
	0201-127



NOT FOR CONSTRUCTION


 ARCHITECTURE
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180 WINDY HILLS | 188 VALLEY STREET | PROVIDENCE, RI | 02904
 VOICE 401-854-8310 | FAX 401-854-8311 | WWW.BISBANO.COM

THAYER STREET REDEVELOPMENT
 279-281 THAYER STREET
 Providence, RI
 02906

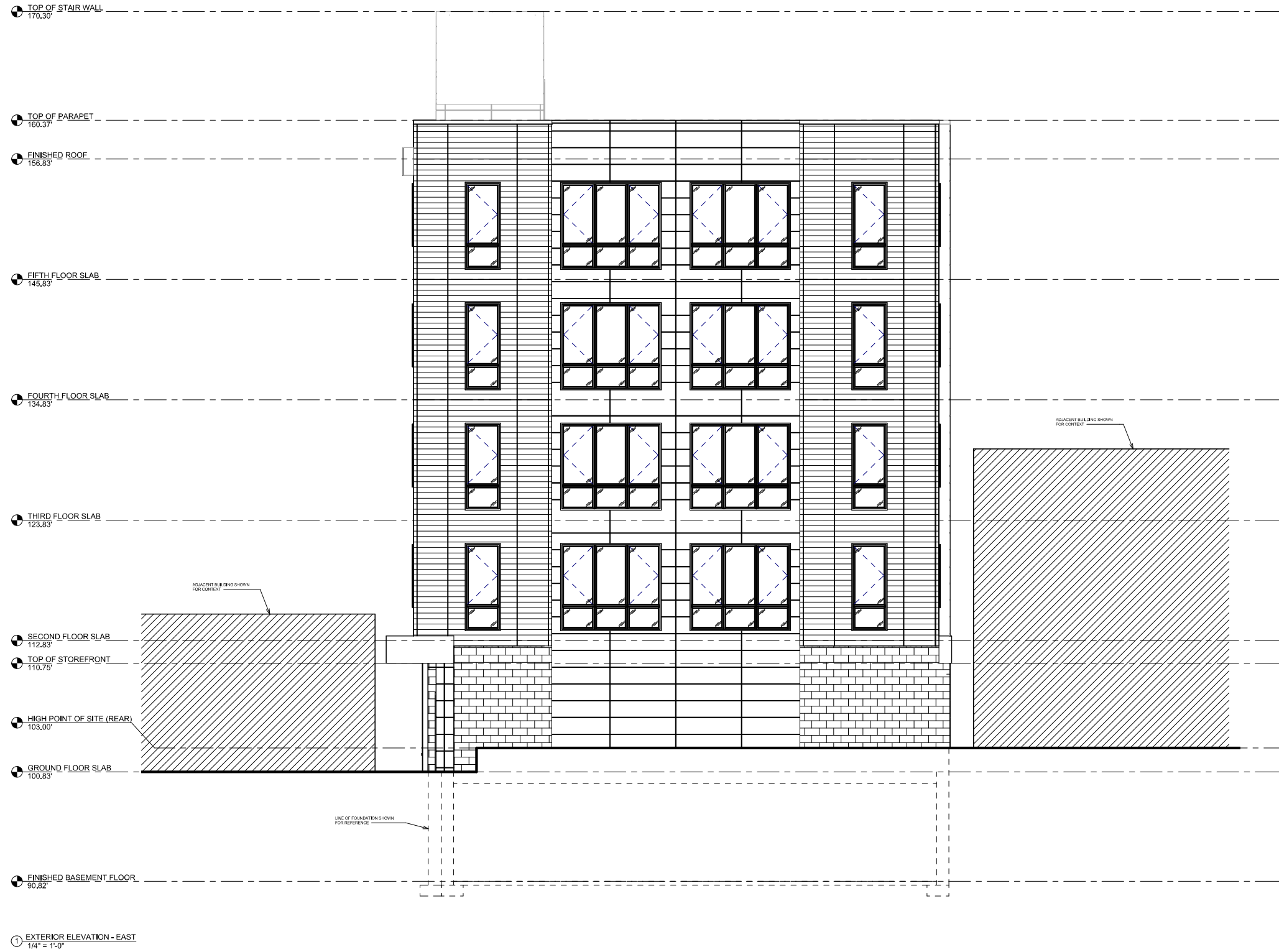
EXTERIOR ELEVATION

ISSUE TYPE: PERMIT SET	REVISED:
ISSUE DATE: 06/03/2022	
DRAWN BY: JL, JS, MS, RS, JC, T2	

SCALE: 1/8" = 1'-0"	S-A PROJECT NO.:
	0201-127

A10.02

EXTERIOR ELEVATION



NOT FOR CONSTRUCTION


 ARCHITECTURE
 INTERIOR ARCHITECTURE
 SPACE PLANNING
 FACILITIES MANAGEMENT
 PROJECT MANAGEMENT
BISBANO + ASSOCIATES, INC.
16500 SUNNYSIDE | 188 WILLEY STREET | PROVIDENCE, RI | 02904
 VOICE 401-404-8310 | FAX 401-404-8311 | WWW.BISBANO.COM

THAYER STREET REDEVELOPMENT
 279-281 THAYER STREET
 Providence, RI
 02906

EXTERIOR ELEVATION

ISSUE TYPE: PERMIT SET	REVISED:
ISSUE DATE: 06/03/2022	
DRAWN BY: JL, JS, MS, PS, JC, TJ	
SCALE: 1/8" = 1'-0"	
S+A PROJECT NO.:	
0201-127	

EXTERIOR ELEVATION

A10.03



TOP OF STAIR WALL
170.30'
 TOP OF PARAPET
160.37'
 FINISHED ROOF
156.83'
 FIFTH FLOOR SLAB
145.83'
 FOURTH FLOOR SLAB
134.83'
 THIRD FLOOR SLAB
123.83'
 SECOND FLOOR SLAB
112.83'
 TOP OF STOREFRONT
110.75'
 HIGH POINT OF SITE (REAR)
103.00'
 GROUND FLOOR SLAB
100.83'
 FINISHED BASEMENT FLOOR
90.82'
 ① EXTERIOR ELEVATION - NORTH
1/4" = 1'-0"

NOT FOR CONSTRUCTION

ARCHITECTURE
 INTERIOR ARCHITECTURE
 SPACE PLANNING
 FACILITIES MANAGEMENT
 PROJECT MANAGEMENT
DISABANO + ASSOCIATES, INC.
180 WINDY HILLS | 188 VALLEY STREET | PROVIDENCE, RI | 02904
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THAYER STREET
 REDEVELOPMENT
 279-281 THAYER STREET
 Providence, RI
 02906

EXTERIOR ELEVATION

ISSUE TYPE: PERMIT SET	REVISED:
ISSUE DATE: 06/03/2022	
DRAWN BY: TJ	

SCALE: 1/4" = 1'-0"	SH-A PROJECT NO.:
	0201-127

EXTERIOR ELEVATION

A10.04

Appendix B

Site Plans

Prepared by Joe Casali Engineering, Inc., dated August 2024

THAYER STREET REDEVELOPMENT

A PROPOSED MIXED-USE BUILDING CONSISTING OF 2 COMMERCIAL UNITS & 16 RESIDENTIAL UNITS

**279 THAYER STREET
PROVIDENCE, RHODE ISLAND
AP 13, LOT 28**

**ZONING DISTRICT: C-2 GENERAL COMMERCIAL DISTRICT &
IE-3 EDUCATIONAL INSTITUTIONAL OVERLAY DISTRICT**



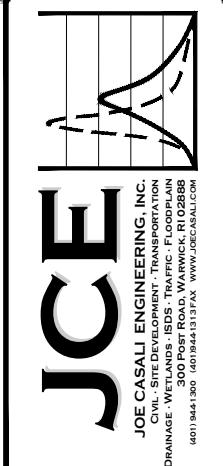
IMAGE COURTESY OF BISBANO + ASSOCIATES, INC., DATED AUGUST 2024

APPROVALS:

- PROVIDENCE CITY PLAN COMMISSION (CPC)- COMBINED MASTER PLAN AND PRELIMINARY PLAN APPROVAL (MAY 17, 2022)
- PROVIDENCE WATER SUPPLY BOARD - DOMESTIC AND FIRE PROTECTION CONNECTION APPROVAL
- NARRAGANSETT BAY COMMISSION - SEWER CONNECTION PERMIT
- CITY OF PROVIDENCE ENGINEERING DIVISION
- PROVIDENCE CITY PLAN COMMISSION (CPC)- FINAL PLAN APPROVAL

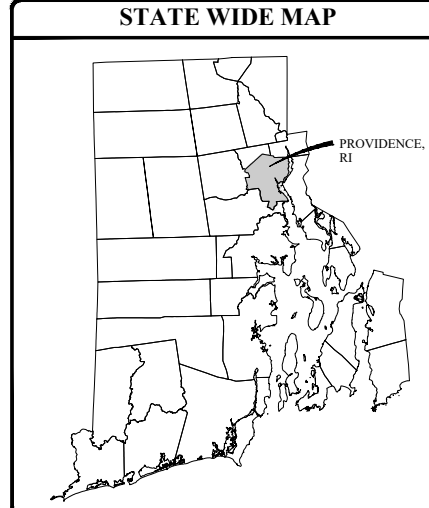
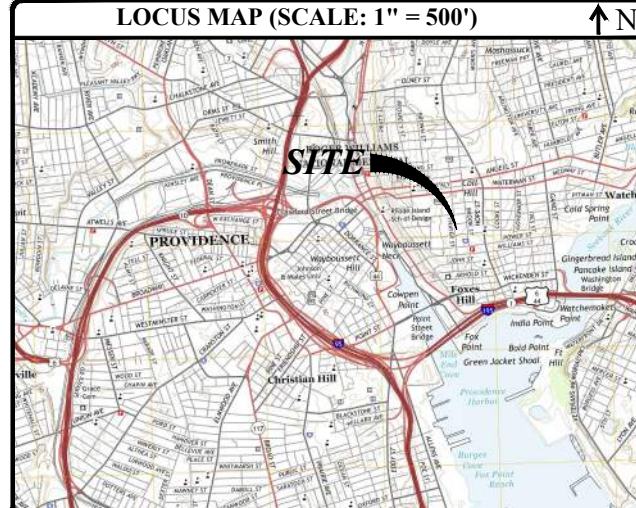
FILINGS:

- PROVIDENCE CITY PLAN COMMISSION (CPC)- MAJOR MODIFICATION



PROPOSED MIXED-USE BUILDING
279 THAYER STREET
PROVIDENCE, RHODE ISLAND
AP 13, LOT 28

PROJECT TEAM			
OWNER/ APPLICANT:	TWO COUSINS, LLC C/O MICHAEL BOUTROS 217 OLD RIVER ROAD LINCOLN, RI 02865 PHONE: 401-965-6852	CIVIL:	JOE CASALI ENGINEERING, INC. 300 POST ROAD WARWICK, RI 02888 PHONE: 401-944-1300 FAX: 401-944-1313
ARCHITECT:	BISBANO & ASSOCIATES, INC. 188 VALLEY STREET PROVIDENCE, RI 02909 PHONE: 401-404-8310 FAX: 401-404-8311	SURVEYOR:	OCEAN STATE PLANNERS, INC. 1255 OAKLAWN AVENUE CRANSTON, RI 02920 PHONE: 401-463-9696



INDEX OF DRAWINGS	
SHEET NO.	PLAN
1	COVER SHEET
2	GENERAL NOTES AND LEGEND
3	EXISTING CONDITIONS & SITE PREPARATION PLAN
4	SITE, GRADING, DRAINAGE & UTILITY PLAN
5	SITE DETAILS

REVISIONS:	
NO.	DATE DESCRIPTION
1	5/2022 DPW COMMENTS
2	9/2022 DPW REQUIREMENTS
3	8/2024 BUILDING REV.

DESIGNED BY:	WMLJR
DRAWN BY:	JAS/SD/SEP
CHECKED BY:	JAC
DATE:	APRIL 2022
PROJECT NO.:	21-73b

PRELIMINARY, NOT FOR CONSTRUCTION

COVER SHEET

SHEET 1 OF 5

C:\21-73 David Rodriguez\21-73b 279 Thayer\Site Plans\Thayer_Site_Plan.dwg, Aug -20, 2024, 1:33pm

GENERAL NOTES:

- 1. THIS PLAN IS BASED ON CLASS I LIMITED CONTENT BOUNDARY SURVEY DATED APRIL 2021, AND A CLASS III TOPOGRAPHIC SURVEY DATED MARCH 2022, PERFORMED BY OCEAN STATE PLANNERS, INC. LOCATED AT 1255 OAKLAWN AVENUE, CRANSTON, RI.

SITE NOTES:

- 1. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND LEGALLY DISPOSING (R&D) OF ALL MATERIALS INDICATED ON THE PLANS.
- 2. ACCESSIBLE ROUTES, PARKING SPACES, RAMPS, SIDEWALKS, AND WALKWAYS SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE FEDERAL AMERICAN WITH DISABILITIES ACT AND WITH ALL APPLICABLE STATE AND LOCAL LAWS AND REGULATIONS, WHICHEVER IS MORE STRINGENT.

MAINTENANCE AND PROTECTION OF TRAFFIC NOTES:

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MAINTENANCE AND PROTECTION OF PEDESTRIAN AND VEHICULAR TRAFFIC INCLUDING POLICE PROTECTION. ALL TEMPORARY AND VEHICULAR SIGNS, BARRICADES AND LANE CLOSURES SHALL BE IN CONFORMANCE WITH THE LATEST REVISIONS OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), 2009 EDITION.

SOIL EROSION AND SEDIMENTATION CONTROL NOTES:

- 1. THE LIMITS OF CLEARING, GRADING, AND DISTURBANCE SHALL BE KEPT TO A MINIMUM WITHIN THE PROPOSED AREA OF CONSTRUCTION. ALL AREAS OUTSIDE OF THESE LIMITS, AS DEPICTED ON THE PLAN SHALL BE TOTALLY UNDISTURBED, TO REMAIN IN NATURAL CONDITION.
- 2. ALL CATCH BASINS SHALL BE PROTECTED WITH SILTSACK SEDIMENT TRAPS DURING CONSTRUCTION ACTIVITIES. ALL PROPOSED STORM WATER DISCHARGE AREAS SHALL BE LINED WITH A RIPRAP SPLASH PAD AND PROTECTED WITH STAKED HAYBALE OUTLET PROTECTION (R.I. STD. 9.1.0), OR STAKED HAYBALE WITH SILT FENCE (R.I. STD. 9.3.0) OUTLET PROTECTION (STAKED HAYBALE OR STAKED HAYBALE WITH SILT FENCE) SHALL ALSO BE INSTALLED AT ALL EXISTING STORMWATER DISCHARGE LOCATIONS WHERE DISTRIBUTING PIPES, CATCH BASINS, AND MANHOLES ARE TO BE CLEANED AND FLUSHED.

MISCELLANEOUS UTILITY NOTES:

- 1. PRIOR TO CONSTRUCTION ALL POTENTIAL UTILITY/DRAINAGE CONFLICTS MUST BE IDENTIFIED BY THE CONTRACTOR. ANY MODIFICATIONS TO THE PROPOSED UTILITIES TO AVOID CONFLICTS MUST BE APPROVED BY THE ENGINEER PRIOR TO CONSTRUCTION.
- 2. OVERHEAD ELECTRIC AND TELEPHONE SERVICES ARE TO BE REMOVED BY THE APPROPRIATE UTILITY COMPANY AND COORDINATED BY THE CONTRACTOR.

DRAINAGE SYSTEM NOTES:

- 1. THE PROPOSED DRAINAGE LINES SHALL BE ADS N-12 HDPE PIPE OR AN APPROVED EQUAL UNLESS OTHERWISE NOTED ON THE SITE PLANS.
- ALL RIM ELEVATIONS SHOWN ARE APPROXIMATE AND ARE TO BE SET FLUSH WITH FINAL GRADES.
- BMP MAINTENANCE SCHEDULE: 1. ALL MAINTENANCE (INCLUDING CLEANING) REQUIRED DURING THE CONSTRUCTION PHASE OF THE PROJECT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL INCLUDE: A. MEASURES NEEDED TO ENSURE THE PROPER OPERATION OF THE STORMWATER RUNOFF (DRAINAGE) AND WATER QUALITY CONTROL SYSTEMS TO INCLUDE INSPECTION, CLEANING AND REPAIRS ALL PIPES, INTAKE AND DISCHARGE STRUCTURES, CATCH BASIN SUMPS, AND MANHOLES.

ROOF DRAIN LEADERS

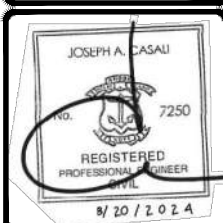
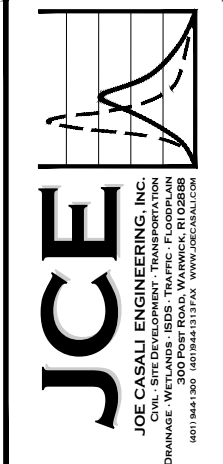
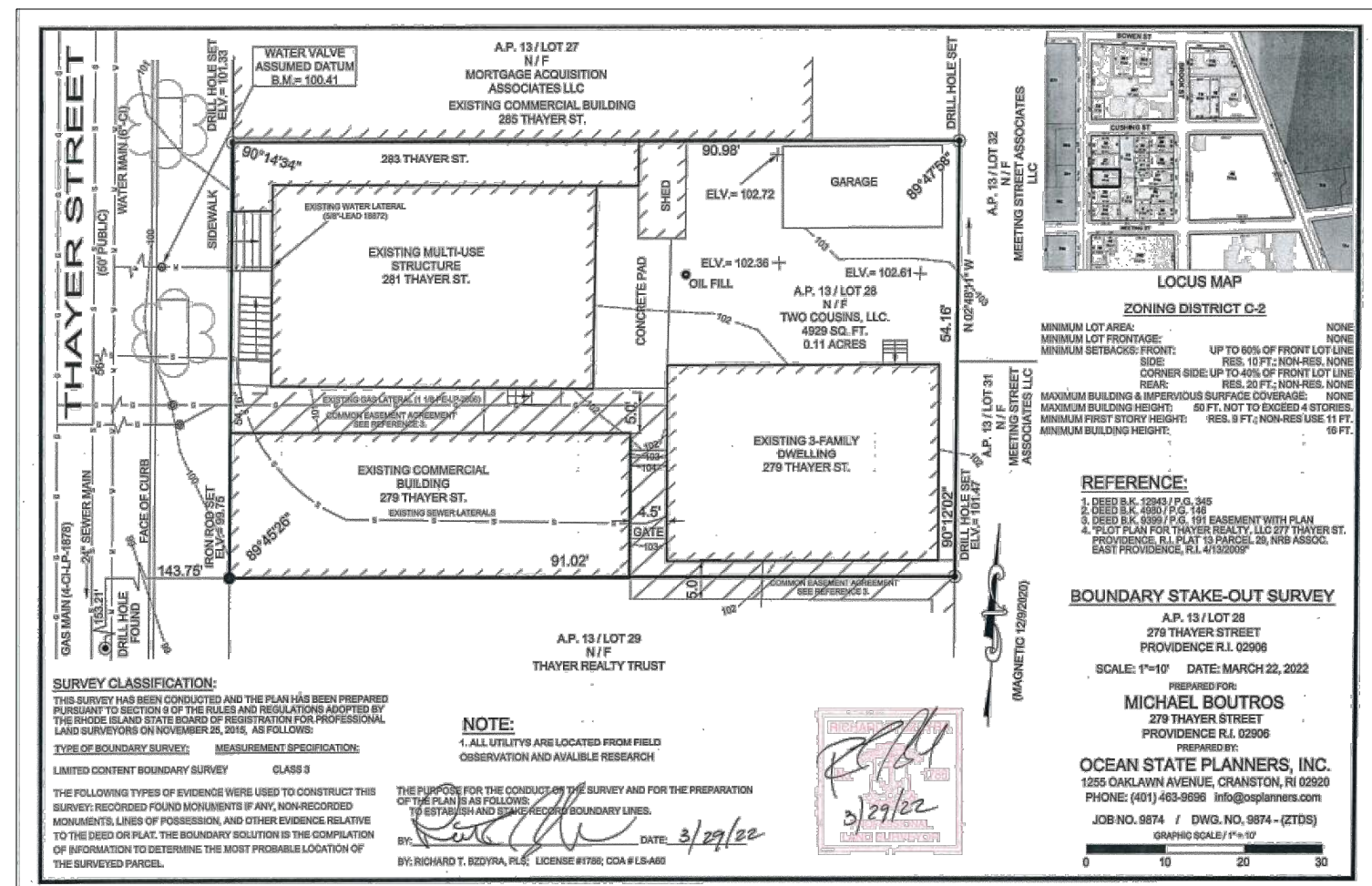
- PERFORM ROUTINE ROOF INSPECTIONS QUARTERLY.
- KEEP ROOFS CLEAN AND FREE OF DEBRIS.
- KEEP ROOF DRAINAGE SYSTEMS CLEAR.

LOAMING & SEEDING

- SEEDING ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH SECTION L.02 SEEDING OF THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADWAY AND BRIDGE CONSTRUCTION, 2010 EDITION (WITH LATEST ADDENDA), AND SHALL ALSO CONFORM TO THE FOLLOWING: 1. AFTER ROUGH GRADING IS COMPLETED, ALL DISTURBED AREAS AND AREAS LABELED AS 'LOAM AND SEED' ARE TO BE BROUGHT TO AN ELEVATION OF 6" BELOW THE PROPOSED FINISHED GRADE. SCARIFY THE SUBGRADE TO A DEPTH OF 12" WITH THE TEETH OF A BACKHOE OR A POWER RAKE TO RESULT IN AN UNCOMPACTED SUBSOIL. 6" OF GOOD QUALITY TOPSOIL IS TO BE APPLIED AND RAKED TO FINISHED GRADE.

LEGEND

- EXISTING PROPERTY LINE
- ABUTTING PROPERTY LINE
- BUILDING SETBACK LINE
- BUILDING SETBACK LINE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING STONE WALL
- EXISTING CURB
- PROPOSED CURB
- EXISTING GUARD RAIL
- EXISTING DRAIN LINE
- PROPOSED DRAIN LINE
- EXISTING DRAINAGE MANHOLE
- PROPOSED DRAINAGE MANHOLE
- EXISTING CATCH BASIN
- PROPOSED CATCH BASIN
- EXISTING UTILITY POLE
- PROPOSED UTILITY POLE
- EXISTING TELECOM DUCTBANK
- EXISTING ELECTRIC DUCTBANK
- RELOCATED ELECTRIC DUCTBANK
- EXISTING GAS LINE
- PROPOSED GAS LINE
- EXISTING WATER LINE
- PROPOSED WATER LINE
- EXISTING WATER SHUT OFF VALVE
- PROPOSED WATER SHUT OFF VALVE
- EXISTING SEWER LINE
- PROPOSED SEWER LINE
- EXISTING SEWER MANHOLE
- PROPOSED SEWER MANHOLE
- N/F - NOW OR FORMERLY
- TREELINE
- SILT FENCE
- LIMIT OF DISTURBANCE
- TEMPORARY LIMIT OF DISTURBANCE
- TEST HOLE



PROPOSED MIXED-USE BUILDING
279 THAYER STREET
PROVIDENCE, RHODE ISLAND
AP 13, LOT 28

REVISIONS:

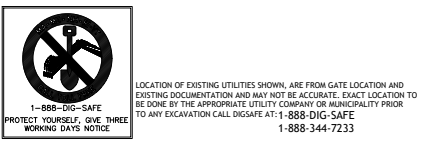
NO.	DATE	DESCRIPTION
1	5/2022	DPW COMMENTS
2	9/2022	DPW REQUIREMENTS
3	8/2024	BUILDING REV.

PRELIMINARY, NOT FOR CONSTRUCTION

GENERAL NOTES AND LEGEND

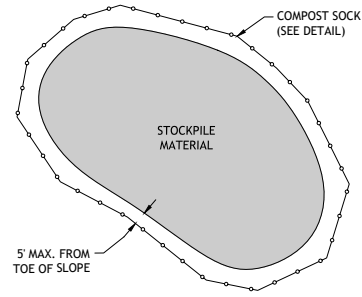
SHEET 2 OF 5

02-21-23 David Rodriguez 2:27h 279 Thayer Street 06-64-00-279 Thayer St. Proj. [Site Plan] - E3.dwg, Aug. 20, 2024, 1:38pm

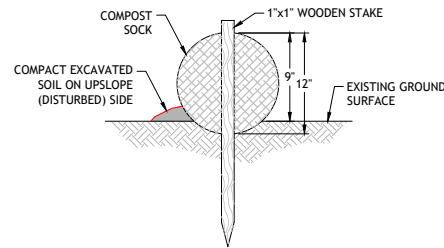


LOCATION OF EXISTING UTILITIES SHOWN, ARE FROM GATE LOCATION AND EXISTING DOCUMENTATION AND MAY NOT BE ACCURATE. EXACT LOCATION TO BE DONE BY THE APPROPRIATE UTILITY COMPANY OR MUNICIPALITY PRIOR TO ANY EXCAVATION CALL DISSAFE AT: 1-888-DIG-SAFE 1-888-344-7233

NOTE TO CONTRACTOR:
CONTRACTOR TO COORDINATE WITH OWNER REGARDING FINAL LOCATION OF CONSTRUCTION TRAILER AND STAGING AREAS.

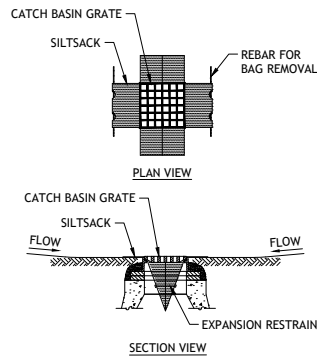


1 STOCKPILE DETAIL
NOT TO SCALE



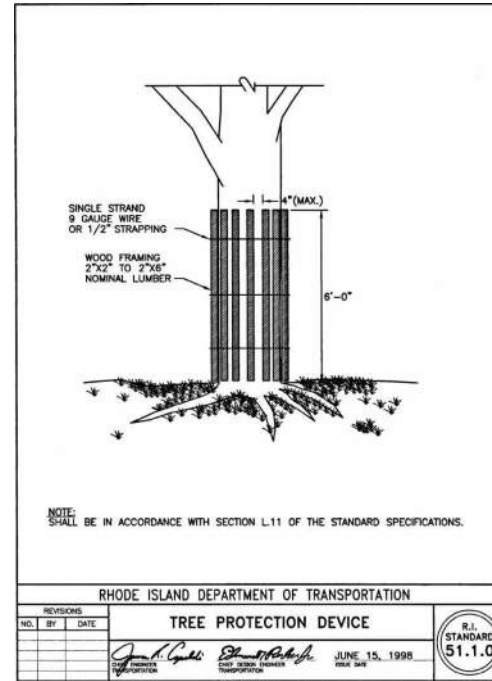
- NOTES:**
- BEGIN WATTLE INSTALLATION BY EXCAVATING A 2 TO 3-INCH-DEEP BY 9" WIDE TRENCH ALONG THE CONTOUR OF THE SLOPE OR ALONG THE EXISTING GROUND SURFACE. EXCAVATED SOIL SHOULD BE PLACED UP-SLOPE OR ON THE DISTURBED SIDE OF THE ANCHOR TRENCH.
 - PLACE WATTLE IN THE TRENCH SUCH THAT IT CONTOURS TO THE EXISTING SOIL SURFACE. COMPACT SOIL FROM THE EXCAVATED TRENCH AGAINST THE WATTLE ON THE UP-SLOPE OR DISTURBED SIDE. ADJACENT WATTLES SHOULD TIGHTLY ABUT.
 - SECURE WATTLE WITH 18 TO 24-INCH-LONG STAKES. INSTALL AN ADDITIONAL STAKE AT EACH END OF THE WATTLE. STAKES SHOULD BE DRIVEN THROUGH THE MIDDLE OF THE WATTLE LEAVING AT LEAST 2 TO 3 INCHES OF STAKE EXTENDING ABOVE. THE STAKES SHOULD BE DRIVEN PERPENDICULAR TO THE SLOPE FACE OR GROUND SURFACE.

2 COMPOST SOCK
NOT TO SCALE



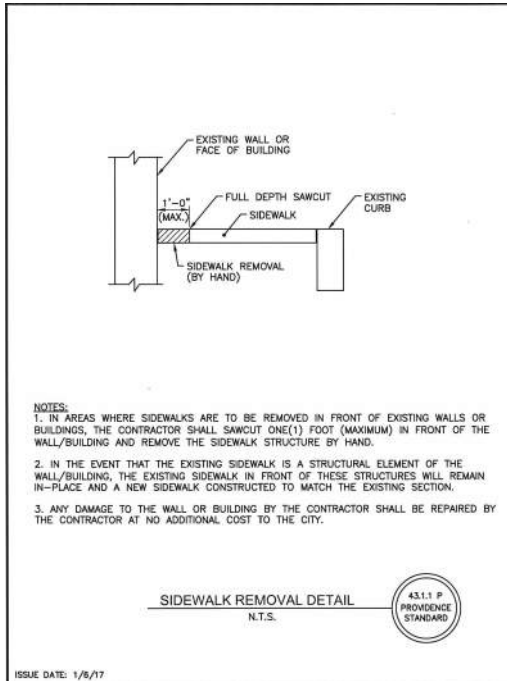
- NOTES:**
- INSTALL SILTSACK IN SELECTED CATCH BASINS IDENTIFIED ON THE EXISTING CONDITIONS AND SITE PREPARATION PLAN BEFORE COMMENCING WORK.
 - GRATE TO BE PLACED OVER SILTSACK. SILTSACK SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS AND CLEANING OR REPLACEMENT SHALL BE PERFORMED PROMPTLY AS NEEDED. MAINTAIN UNTIL UPSTREAM AREAS HAVE BEEN PERMANENTLY STABILIZED.

3 SILT SACK SEDIMENT TRAP
NOT TO SCALE



NOTE: SHALL BE IN ACCORDANCE WITH SECTION L.11 OF THE STANDARD SPECIFICATIONS.

RHODE ISLAND DEPARTMENT OF TRANSPORTATION
TREE PROTECTION DEVICE
R.I. STANDARD 51.1.0
JUNE 15, 1998
DATE



- NOTES:**
- IN AREAS WHERE SIDEWALKS ARE TO BE REMOVED IN FRONT OF EXISTING WALLS OR BUILDINGS, THE CONTRACTOR SHALL SAWCUT ONE(1) FOOT (MAXIMUM) IN FRONT OF THE WALL/BUILDING AND REMOVE THE SIDEWALK STRUCTURE BY HAND.
 - IN THE EVENT THAT THE EXISTING SIDEWALK IS A STRUCTURAL ELEMENT OF THE WALL/BUILDING, THE EXISTING SIDEWALK IN FRONT OF THESE STRUCTURES WILL REMAIN IN-PLACE AND A NEW SIDEWALK CONSTRUCTED TO MATCH THE EXISTING SECTION.
 - ANY DAMAGE TO THE WALL OR BUILDING BY THE CONTRACTOR SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE CITY.

SIDEWALK REMOVAL DETAIL
N.T.S.
43.1.1 P
PROVIDENCE STANDARD

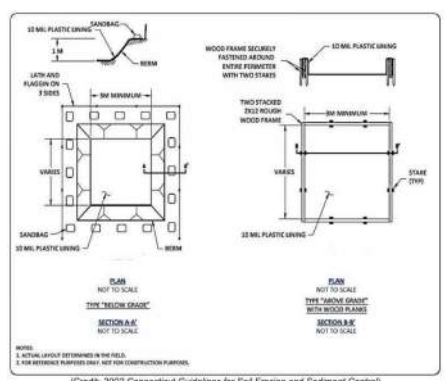
ISSUE DATE: 1/8/17

SOIL EROSION NOTE:

- CONTRACTOR SHALL ESTABLISH SUFFICIENT SOIL EROSION AND SEDIMENTATION CONTROL MEASURES ALONG THE NORTHERN AND EASTERN, DOWN GRADIENT SIDE OF PROJECT AREA INCLUDING BUT NOT LIMITED TO COMPOST SOCK AND SILTSACK SEDIMENT TRAPS ILLUSTRATED ON THE PLANS.

NOTES TO CONTRACTOR:

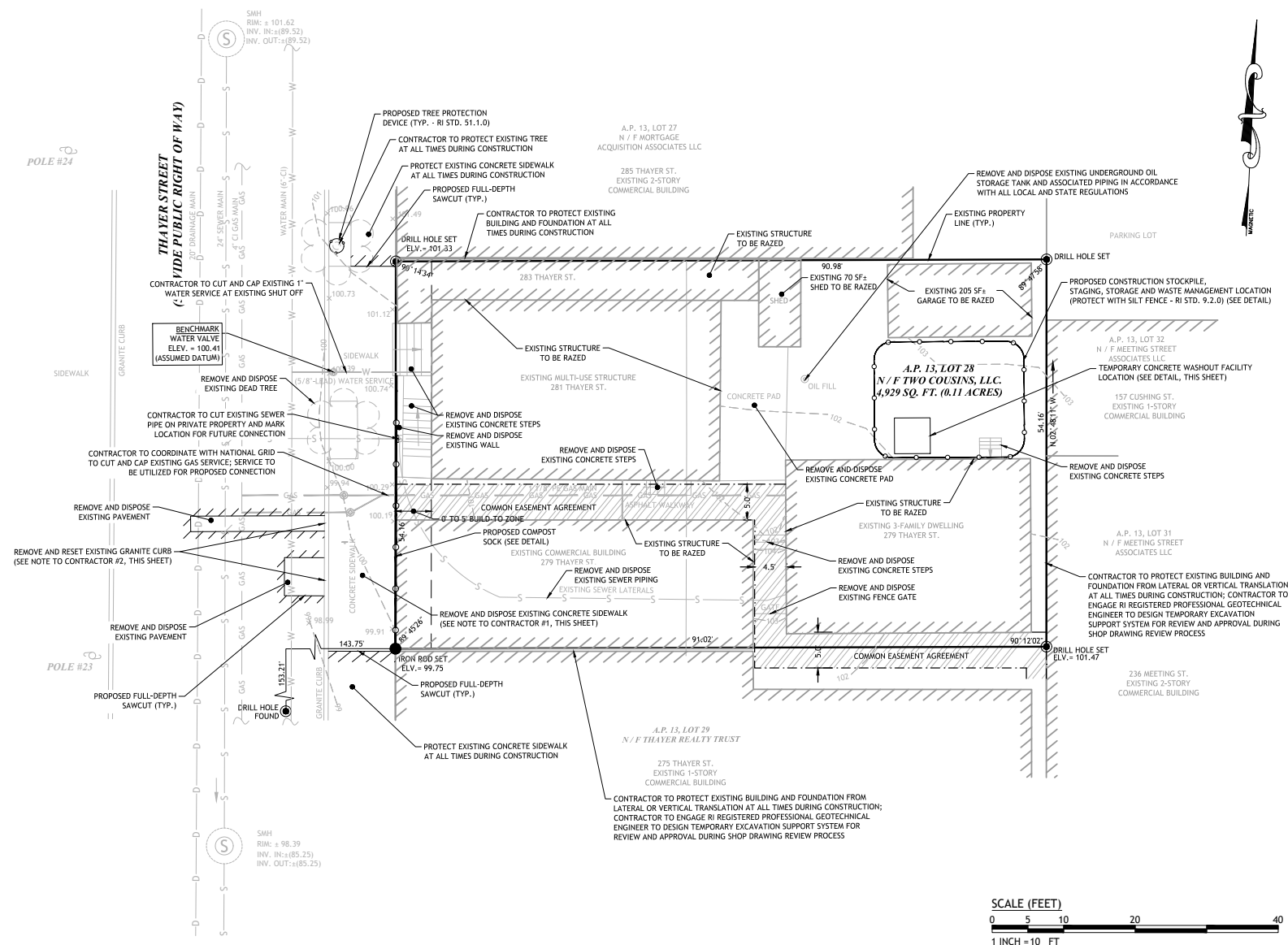
- A PERMIT MUST BE OBTAINED FROM TRAFFIC ENGINEERING AT CITY OF PROVIDENCE DEPARTMENT OF PUBLIC WORKS (DPW) PRIOR TO THE REMOVAL OF SIDEWALK WITHIN THAYER STREET. THE PERMIT APPLICATION MUST ADDRESS ALTERNATIVE PEDESTRIAN PATH OF TRAVEL.
- ANY AND ALL SURPLUS CURB IS THE PROPERTY OF THE CITY OF PROVIDENCE AND SHALL BE TRANSPORTED AND STOCKPILED, AS DIRECTED, AT THE DEPARTMENT OF PUBLIC WORKS (DPW) FACILITY AT 20 ERNEST STREET, PROVIDENCE, RI.



4 TEMPORARY CONCRETE WASHOUT DETAIL
NOT TO SCALE

ZONING CRITERIA	REQUIRED
ZONING DISTRICT	C2
MINIMUM LOT AREA	NONE
MINIMUM BUILDING HEIGHT	16 FT.
MINIMUM FIRST STORY HEIGHT	SEE NOTE 1
MAXIMUM BUILDING HEIGHT	50 FT.
MAXIMUM BUILDING COVERAGE	NONE
TOTAL MAX. IMPERVIOUS SURFACE COVERAGE	NONE
MINIMUM FRONT SETBACK	SEE NOTE 3
MINIMUM SIDE SETBACK	SEE NOTE 4
MINIMUM REAR SETBACK	SEE NOTE 5

- NOTES:**
- 9 FT RESIDENTIAL USE; 11' NON-RESIDENTIAL USE
 - 50 FT, NOT TO EXCEED 4 STORIES
 - BUILD TO ZONE OF 0-5 FT; THE REQUIRED BUILD-TO PERCENTAGE IS 60% ON THE FRONT LOT LINE
 - NONE, UNLESS ABUTTING A RESIDENTIAL DISTRICT, THEN 10 FT
 - NONE, UNLESS ABUTTING A RESIDENTIAL DISTRICT, THEN 20 FT



JCE
JOE CASALI ENGINEERING, INC.
CIVIL ENGINEERING
300 POPE ROAD, WARWICK, RI 02886
401.841.300 401.841.313 FAX WWW.JCEENGINEERING.COM

JOSEPH A. CASALI
NO. 7250
REGISTERED PROFESSIONAL ENGINEER
8/20/2024

PROPOSED MIXED-USE BUILDING
279 THAYER STREET
PROVIDENCE, RHODE ISLAND
AP 13, LOT 28

REVISIONS:

NO.	DATE	DESCRIPTION
1	5/2022	DPW COMMENTS
2	9/2022	DPW REQUIREMENTS
3	8/2024	BUILDING REV.

DESIGNED BY: WMLJR
DRAWN BY: JAS/SD/SEP
CHECKED BY: JAC
DATE: APRIL 2022
PROJECT NO: 21-73b

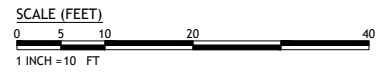
PRELIMINARY, NOT FOR CONSTRUCTION

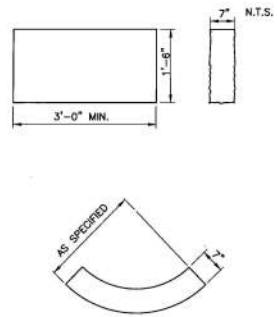
EXISTING CONDITIONS & SITE PREP. PLAN

SHEET 3 OF 5

02-21-23 David Rodriguez 21-73b 279 Thayer St. Providence, RI 02886. Aug. 20, 2024 1:33pm

1-888-DIG-SAFE
PROTECT YOURSELF, QVE THREE WORKING DAYS NOTICE
1-888-344-7233



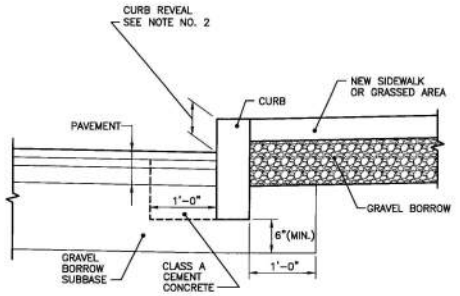


- NOTE:
1. SHALL BE IN ACCORDANCE WITH SECTION 906 OF THE R.I. STANDARD SPECIFICATIONS.
 2. TOP SURFACE TO BE DRESSED BY SAW, REMAINDER TO BE SAWCUT OR QUARRY SPLIT.
 3. MINIMUM LENGTH OR CIRCULAR PIECES TO BE 3'-0".
 4. CIRCULAR CURB IS REQUIRED ON CURVES AS INDICATED. STRAIGHT CURB TO BE USED ON CURVES OF MORE THAN 160'-0" RADIUS.
 5. CURB TO BE SET PER PROVIDENCE CURB SETTING DETAIL.

GRANITE CURB - STRAIGHT AND CIRCULAR
N.T.S.



ISSUE DATE: 1/8/17

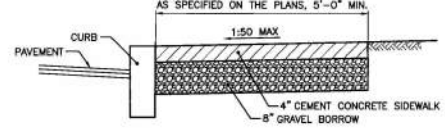


- NOTES:
1. SHALL BE IN ACCORDANCE WITH SECTION 906 OF THE R.I. STANDARD SPECIFICATIONS.
 2. NEW CURBING CONSTRUCTION SHALL BE SET AT A 6 INCH REVEAL OR AS INDICATED ON PLANS OR DIRECTED BY PROVIDENCE DPW. NEW CURBING INSTALLED ADJACENT TO EXISTING CURBING SHALL MATCH THE EXISTING REVEAL OR A MINIMUM OF 4 INCHES, WHICHEVER IS GREATER. IF ADJACENT EXISTING REVEAL IS LESS THAN 4 INCHES, THE FIRST SECTION OF NEW CURB SHALL TRANSITION TO 4" REVEAL.

CURB SETTING DETAIL
N.T.S.



ISSUE DATE: 1/8/17



- NOTES:
1. SHALL BE IN ACCORDANCE WITH SECTION 905 OF THE R.I. STANDARD SPECIFICATIONS.
 2. SEE CURB SETTING DETAIL WHERE APPLICABLE.
 3. RUNNING SLOPE OF SIDEWALK SHALL NOT EXCEED 8.3% (1:12). TYPICALLY, RUNNING SLOPE SHALL MATCH ROAD SLOPE.
 4. CROSS SLOPE OF SIDEWALK SHALL NOT EXCEED 2% (1:50).
 5. SIDEWALK MAY BE SUBJECT TO GRASS STRIP INSTALLATION. CONSULT WITH DPW ENGINEERING.
 6. GRAVEL BORROW BASE SHALL COMPACT TO ACHIEVE SOIL DENSITY VALUES OF 95% MODIFIED PROCTOR DENSITY (ASHFTO T80).
 7. SIDEWALK REPAIRS TWENTY FEET OR LONGER ARE SUBJECT TO REQUIREMENTS HEREIN. SIDEWALK REPAIRS SHORTER THAN TWENTY FEET SHALL MAKE EVERY EFFORT TO MEET REQUIRED SLOPES.
 8. CONTROL JOINTS SHALL BE INSTALLED EVERY 5 FEET IN EACH DIRECTION.
 9. EXPANSION JOINTS SHALL BE INSTALLED EVERY 20 FEET IN EACH DIRECTION AT FOUNDATIONS AND WALLS AND IN A SQUARE PATTERN AROUND MANHOLE COVERS, HYDRANTS, SIGN POSTS AND UTILITY POLES. THE EXPANSION JOINT SHALL BE THE FULL DEPTH OF THE SIDEWALK AND FILLED WITH AN APPROVED TYPE OF PREMOLDED EXPANSION JOINT FILLER.

CEMENT CONCRETE SIDEWALK
N.T.S.



ISSUE DATE: 1/8/17

ZONING CRITERIA	REQUIRED	PROPOSED
ZONING DISTRICT	C2	C2
MINIMUM LOT AREA	NONE	4,929 SF
MINIMUM BUILDING HEIGHT	16 FT.	50 FT.
MINIMUM FIRST STORY HEIGHT	11 FT ¹	12 FT
MAXIMUM BUILDING HEIGHT	50 FT ²	55 FT (5 STORIES) ⁴
MAXIMUM BUILDING COVERAGE	NONE	81.6%
TOTAL MAX. IMPERVIOUS SURFACE COVERAGE	NONE	100%
MINIMUM FRONT SETBACK	SEE NOTE 3	2.97 FT± (76.7%)
MINIMUM SIDE SETBACK	NONE ⁵	0.60 FT±
MINIMUM REAR SETBACK	NONE ⁵	1.75 FT±

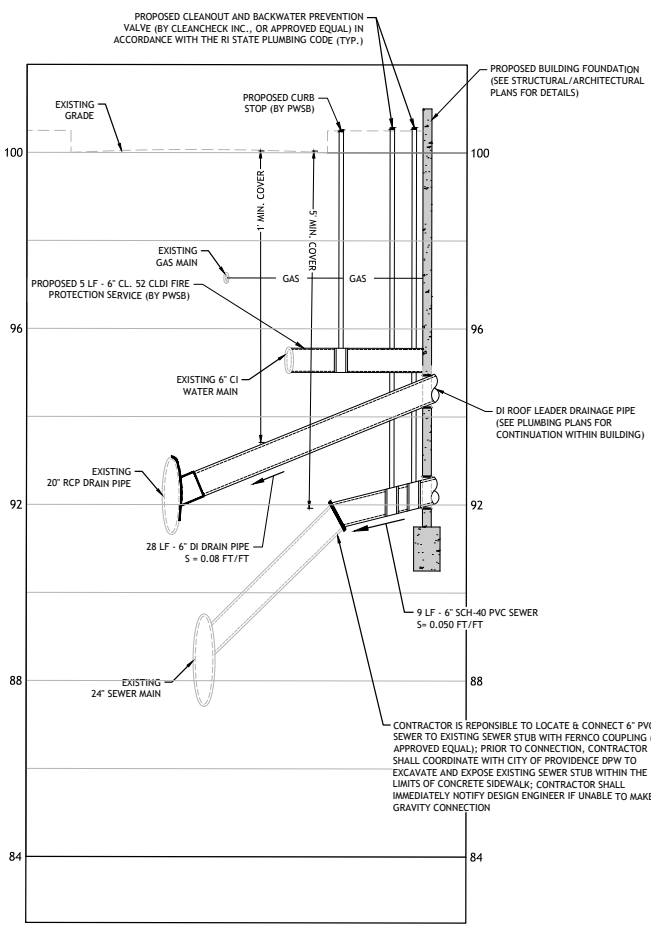
- NOTES:
1. 9 FT RESIDENTIAL USE; 11' NON-RESIDENTIAL USE.
 2. 50 FT, NOT TO EXCEED 4 STORIES.
 3. BUILD TO ZONE OF 0-5 FT; THE REQUIRED BUILD-TO PERCENTAGE IS 60% ON THE FRONT LOT LINE.
 4. NONE, UNLESS ABUTTING A RESIDENTIAL DISTRICT, THEN 10 FT.
 5. NONE; UNLESS ABUTTING A RESIDENTIAL DISTRICT, THEN 20 FT.
 6. ADJUSTMENT REQUESTED FOR ONE (1) ADDITIONAL STORY / 5 FEET

CITY OF PROVIDENCE DEPT. OF PUBLIC WORKS (DPW) NOTES:

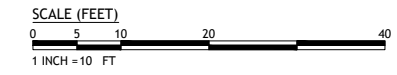
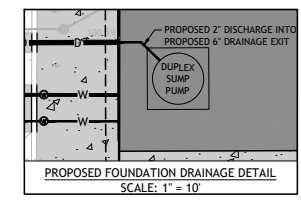
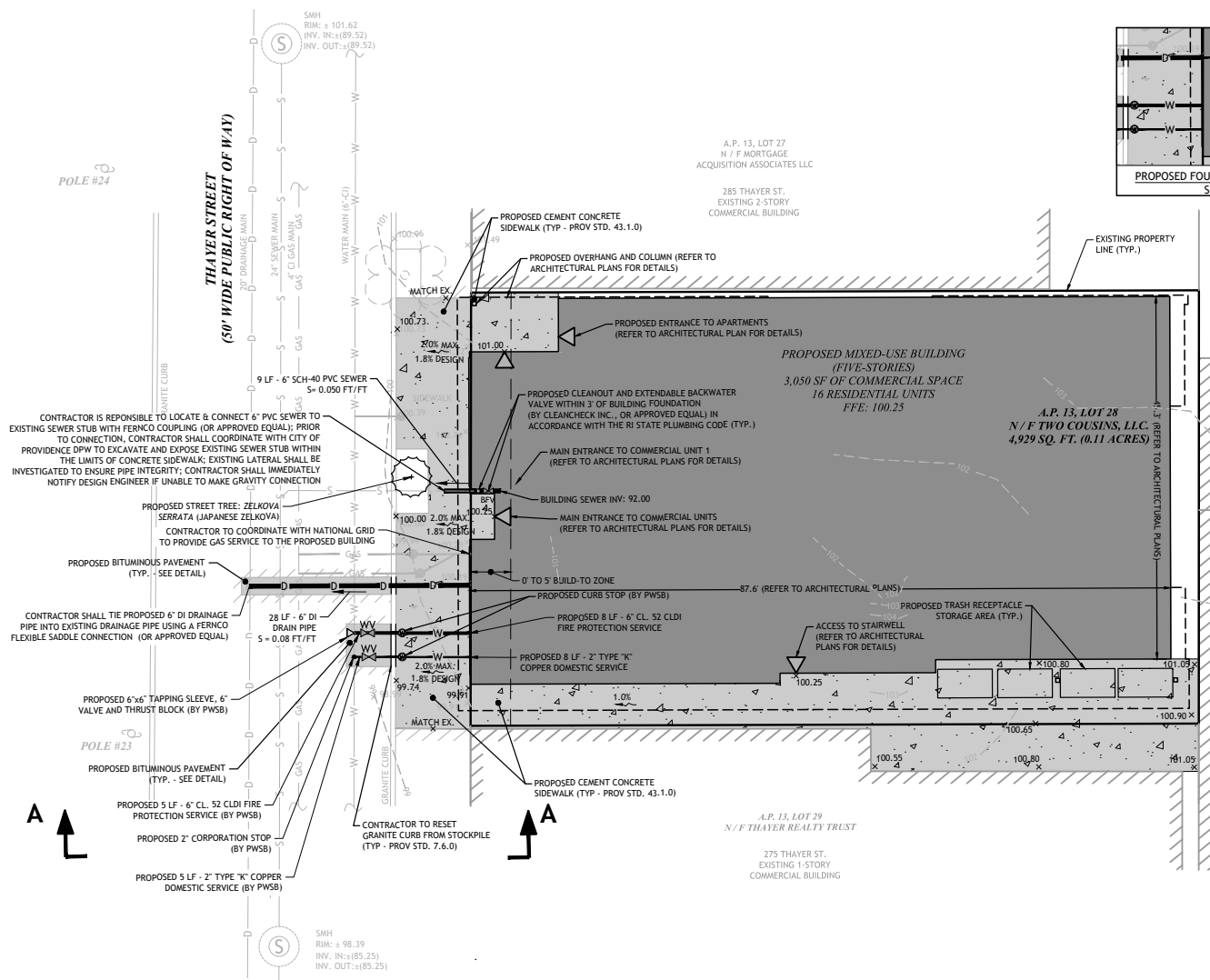
1. CONTACT DPW ENGINEERING BEFORE ANY EXCAVATION IN THE PUBLIC RIGHT-OF-WAY OR SEWER CONNECTION AT 401-680-7525.
2. ALL CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY MUST BE IN ACCORDANCE WITH THE CITY'S STANDARD DETAILS.
3. ANY AND ALL SURPLUS GRANITE CURBING SHALL BE RETURNED TO THE CITY OF PROVIDENCE DEPARTMENT OF PUBLIC WORKS.
4. ANY CONSTRUCTION ACTIVITY THAT HINDERS VEHICLE TRAFFIC OR PEDESTRIAN TRAFFIC MUST BE PERMITTED THROUGH THE CITY TRAFFIC ENGINEER.
5. CONTRACTOR WILL BE RESPONSIBLE FOR OBTAINING A LETTER OF APPROVAL AND SUBMITTING TO THE DEPARTMENT OF STANDARDS. A PHYSICAL ALTERATION PERMIT, ROAD EXCAVATION PERMIT FOR EACH UTILITY AND SEWER PERMITS ARE REQUIRED BEFORE THAT PARTICULAR WORK COMMENCES.
6. ROOF DRAINS SHALL NOT BE TIED INTO THE SANITARY SEWER CONNECTION.

LANDSCAPING REQUIREMENTS:
PER SECTION 1503, - ON-SITE LANDSCAPING AND REQUIRED TREES
SECTION C - REQUIRED TREE CANOPY
(ALL OTHER DISTRICTS: 15% OF THE SF OF THE LOT)
4,929 SF TOTAL LOT AREA x 15% OF LOT AREA
= 739 SF OF TREE CANOPY
REQUIRED: 739 SF OF TREE CANOPY*
PROPOSED: 1,000 SF (1 LARGE TREE)

VEHICLE AND BICYCLE PARKING REQUIREMENTS:
VEHICLE PARKING: PER SECTION 1410.B.7 OF THE PROVIDENCE ZONING ORDINANCE, IN THE C-1 AND C-2 DISTRICTS, ALL LOTS OF 10,000 SQ. FT. OF LESS ARE EXEMPT FROM PARKING REQUIREMENTS. THEREFORE, NO VEHICLE PARKING IS PROPOSED.
BICYCLE PARKING: PER SECTION 1402, TABLE 14-1, OF THE PROVIDENCE ZONING ORDINANCE, ONE (1) BICYCLE SPACE IS REQUIRED PER FIVE (5) DWELLINGS. SIXTEEN (16) DWELLING UNITS ARE PROPOSED, THEREFORE FOUR (4) BICYCLE SPACES ARE PROPOSED. ALL BICYCLE SPACES ARE PROPOSED WITHIN THE BASEMENT OF THE STRUCTURE; REFER TO ARCHITECTURAL PLANS FOR DETAILED LOCATIONS.



UTILITY PROFILE - CROSS SECTION A-A
HORIZONTAL SCALE: 1"=10'
VERTICAL SCALE: 1"=2'



PROPOSED MIXED-USE BUILDING
279 THAYER STREET
PROVIDENCE, RHODE ISLAND
AP 13, LOT 28

REVISIONS:

NO.	DATE	DESCRIPTION
1	5/2022	DPW COMMENTS
2	9/2022	DPW REQUIREMENTS
3	8/2024	BUILDING REV.

DESIGNED BY: WMLJR
DRAWN BY: JAS/SD/SEP
CHECKED BY: JAC
DATE: APRIL 2022
PROJECT NO: 21-73b

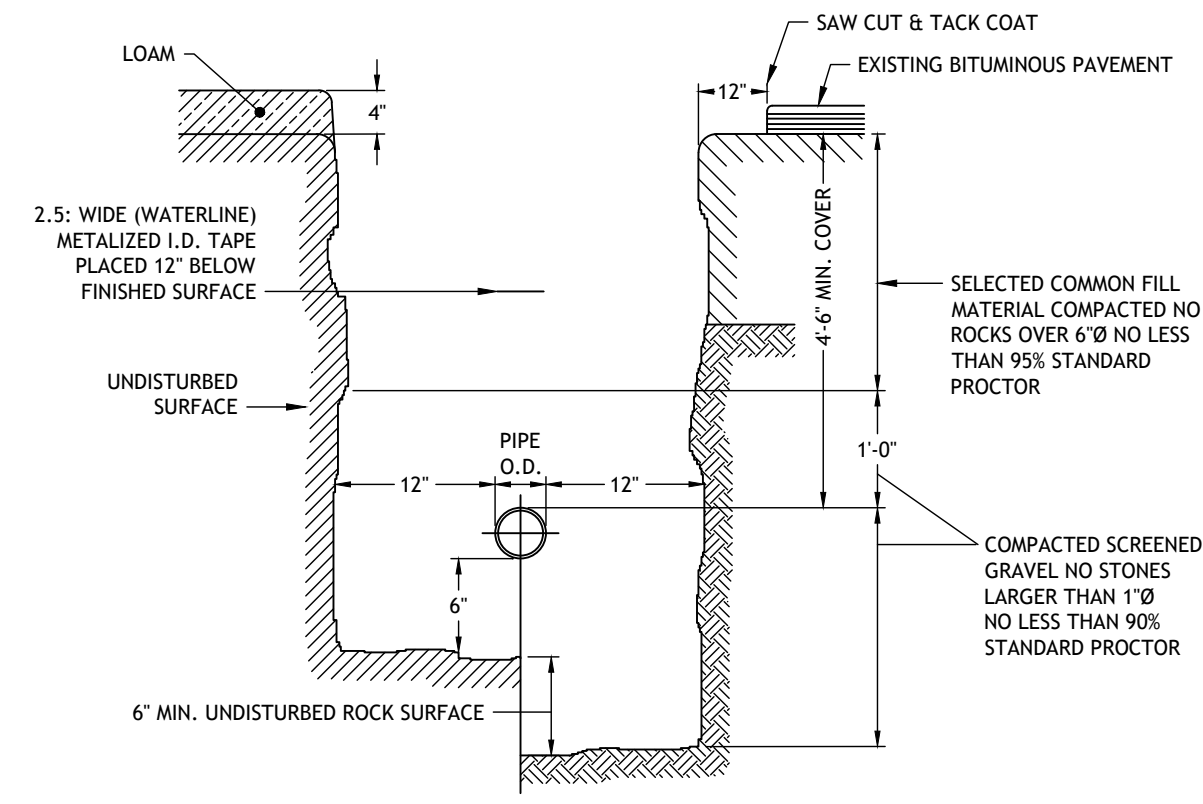
PRELIMINARY, NOT FOR CONSTRUCTION

SITE, GRADING, DRAINAGE & UTILITY PLAN

JCE
JOE CASALI ENGINEERING, INC.
300 POPE ROAD, WARWICK, RI 02888
401.841.300

JOSEPH A. CASALI
NO. 7250
REGISTERED PROFESSIONAL ENGINEER
8/20/2024

C:\21-73 David\Drawings\21-73b-279-Thayer-5b-Prov-[Site Plans] - E3.dwg, Aug. 20, 2024, 1:32pm



5 WATER TRENCH DETAIL
NOT TO SCALE

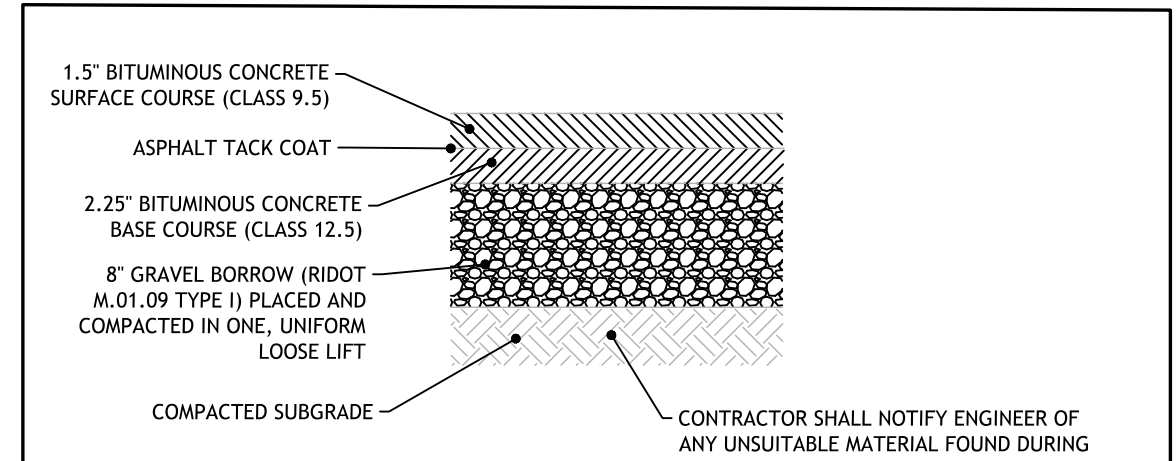
**PROVIDENCE WATER SUPPLY BOARD (PWSB)
WATER SERVICE INSTALLATION/SANITARY SEWER FACILITIES SEPARATION REQUIREMENTS**

PROPOSED WATER SERVICE LINES AND/OR APPURTENANCES SHALL BE INSTALLED AT LEAST 10 FEET HORIZONTALLY FROM ANY EXISTING COMPONENT OF A PUBLIC SANITARY SEWER SYSTEM (PIPELINE, MANHOLE, VAULT, METER PIT, PUMP STATION WET WELL, ETC.). DISTANCE SHALL BE MEASURED PERPENDICULARLY FROM THE EDGE OF PIPE TO THE EDGE OF PIPE. NO VERTICAL SEPARATION IS REQUIRED PROVIDED THE 10 FOOT HORIZONTAL SEPARATION IS MAINTAINED. WHEN THIS CRITERIA CANNOT BE MET, THE FOLLOWING STIPULATIONS APPLY. (SEE BOTTOM OF PAGE FOR INDIVIDUAL SEWAGE DISPOSAL SYSTEMS)

- WHERE IT IS NOT POSSIBLE TO MAINTAIN A 10 FOOT HORIZONTAL SEPARATION, A DEVIATION MAY BE GRANTED ON A CASE-BY-CASE BASIS, SUCH DEVIATION MAY ALLOW INSTALLATION OF THE SEWER CLOSER TO WATER SERVICE, PROVIDED THAT:
 - THE SEWER LINE AND WATER SERVICE ARE LAID IN SEPARATE TRENCHES AND THE CROWN OF THE SEWER LINE SHALL BE AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER SERVICE.
 - THE SEWER LINE AND WATER SERVICE MAY BE INSTALLED IN THE SAME TRENCH WITH THE WATER SERVICE PLACED ON A BENCH OF UNDISTURBED EARTH AND THE CROWN OF THE SEWER LINE SHALL BE AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER SERVICE.
- IN CASES WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER HORIZONTAL AND VERTICAL SEPARATION AS STIPULATED ABOVE (INCLUDES CROSSING OVER) THE FOLLOWING PROTECTION SHALL BE PROVIDED:
 - ENCASEMENT OF THE SEWER PIPE IN CONCRETE WITH A MINIMUM THICKNESS OF 6" IN ALL DIRECTIONS AROUND THE OUTSIDE OF THE PIPE EXTENDING TO A DISTANCE THAT WILL PROVIDE THE REQUIRED 10 FEET HORIZONTAL OR 18 INCH VERTICAL SEPARATION BETWEEN THE UNENCLOSED PORTIONS OF THE PIPES.
 - PLACING EITHER THE SEWER LINE OR WATER SERVICE IN A WATERTIGHT CARRIER PIPE EXTENDING TO A DISTANCE THAT WILL PROVIDE THE REQUIRED 10 FEET HORIZONTAL OR 18 INCH VERTICAL SEPARATION BETWEEN THE UNENCLOSED PORTION OF THE PIPES.

INDIVIDUAL SEWAGE DISPOSAL SYSTEMS (SEPTIC SYSTEMS) ARE REGULATED BY R.I. DEPARTMENT OF ENVIRONMENTAL MANAGEMENT (RIDEM). MINIMUM DISTANCES BETWEEN DRINKING WATER LINES AND SEPTIC SYSTEM COMPONENTS ARE: 25 FEET (MIN.) TO LEACHING TRENCHES, BEDS AND PITS AND 10 FEET (MIN.) TO SEPTIC TANKS, DISTRIBUTION BOXES, GREASE TRAPS, DOSING CHAMBERS, PUMP CHAMBERS, AND BUILDING SEWERS. WHEN THESE DISTANCES CANNOT BE MET, RIDEM REQUIRES ENCASEMENT OF WATER LINES AT LEAST TO THE POINT WHERE THE REQUIRED MINIMUM DISTANCES CAN BE MET. ENCASEMENT MUST BE APPROVED BY RIDEM AND THE APPROVED PLAN MUST BE PRESENTED AS PART OF THE APPLICATION PROCESS TO OBTAIN WATER SERVICE. PRESSURIZED SEWER LINES CANNOT CROSS WATER LINES.

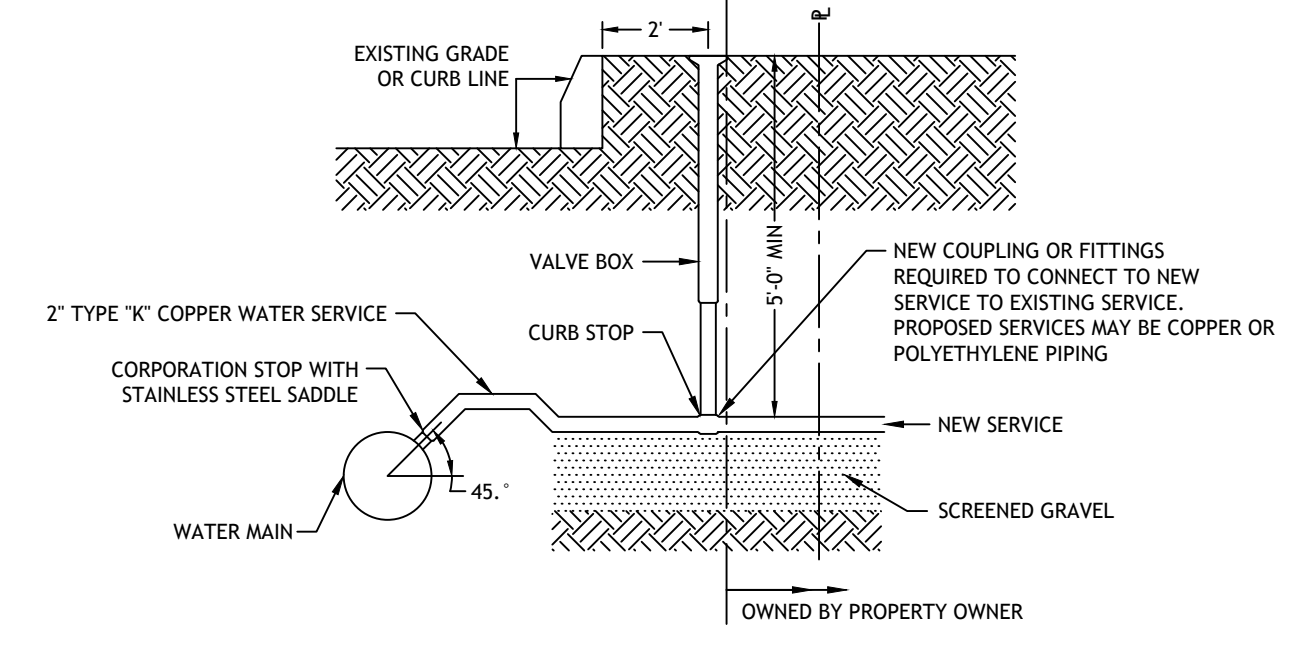
- DOMESTIC WATER SERVICE TO BE INSPECTED BY PWSB PRIOR TO BACKFILLING AND THE CONTRACTOR MUST GIVE PWSB 48 HOURS NOTIFICATION.
- CONTRACTOR SHALL ADHERE TO ALL REQUIREMENTS OF THE PWSB AS INDICATED IN SECTION 400 - CONSTRUCTION PROCEDURES.



CONTRACTOR SHALL NOTIFY ENGINEER OF ANY UNSUITABLE MATERIAL FOUND DURING EXCAVATION. UNSUITABLE MATERIAL TO BE REMOVED AND DISPOSED TO A DEPTH DETERMINED IN THE FIELD BY THE ENGINEER.

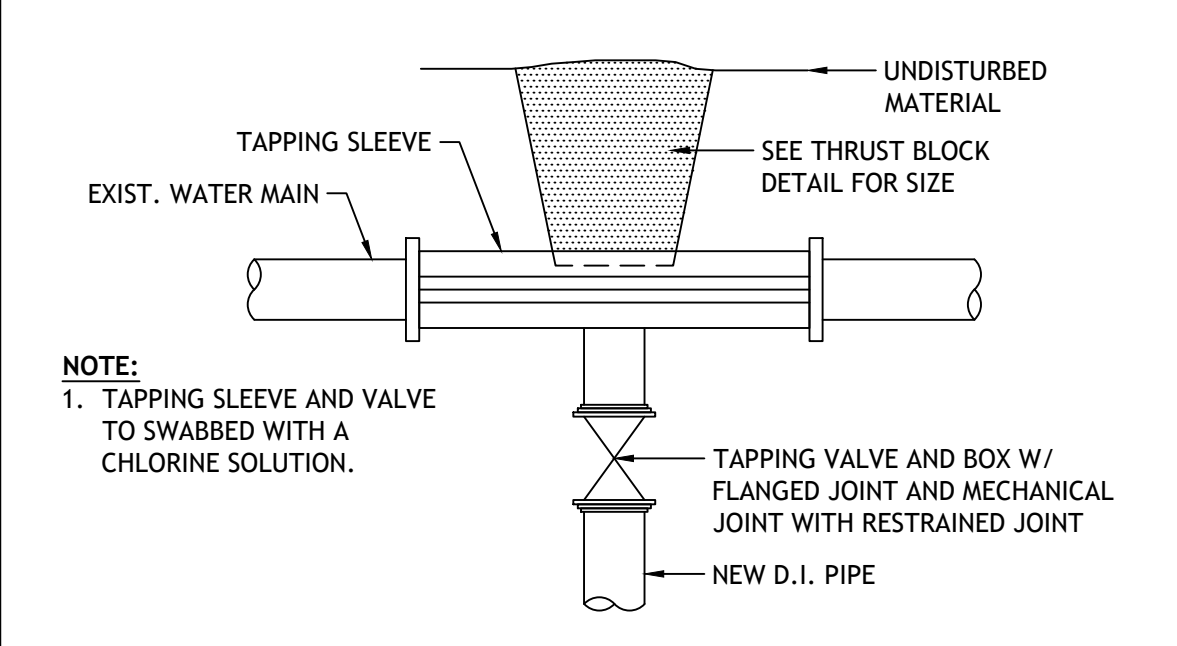
- NOTES:**
- IF UNSUITABLE MATERIALS ARE ENCOUNTERED AT SUBGRADE ELEVATION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER. THE DEPTH OF UNSUITABLE MATERIAL TO BE REMOVED WILL BE DETERMINED IN THE FIELD. THE CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE THE UNSUITABLE MATERIALS AND REPLACE WITH SUITABLE MATERIAL APPROVED BY THE ENGINEER.
 - MINIMUM COMPACTION FOR GRAVEL BORROW SUB-BASE AND SUBGRADE: 95% MODIFIED PROCTOR.

12 BITUMINOUS CONCRETE PAVEMENT
NOT TO SCALE



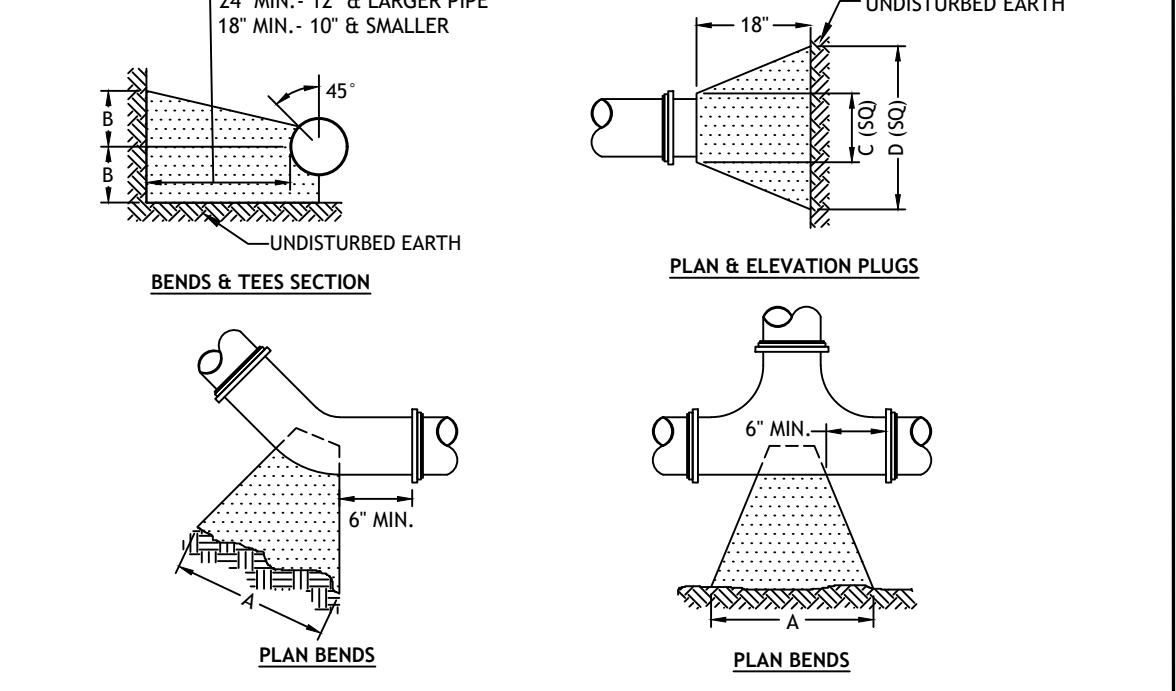
NOTE:
1. SERVICE LINE FROM CURB BOX TO BUILDING SHALL BE INSPECTED, TESTED AND APPROVED BY THE LOCAL PLUMBING INSPECTOR.

6 TYPICAL WATER SERVICE CONNECTION
NOT TO SCALE



NOTE:
1. TAPPING SLEEVE AND VALVE TO SWABBED WITH A CHLORINE SOLUTION.

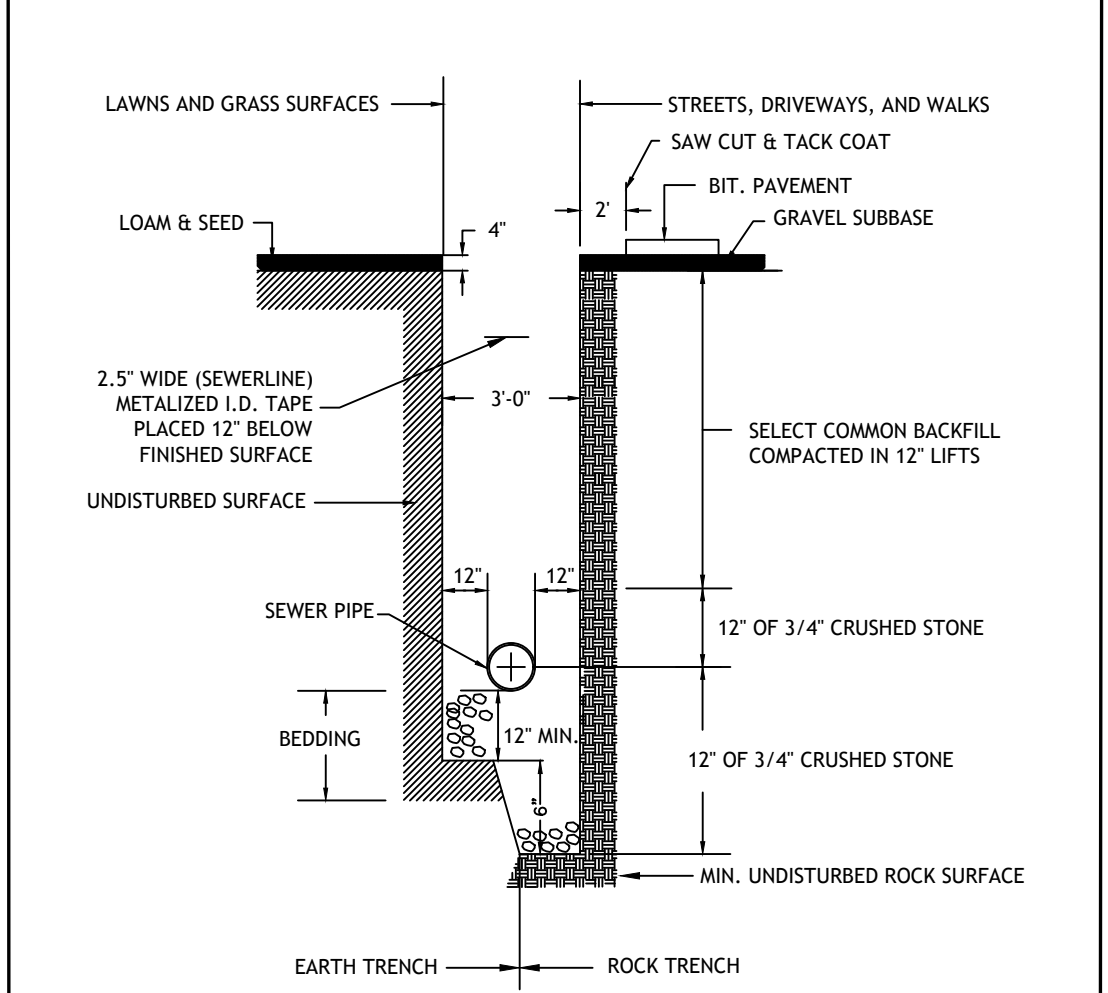
7 TAPPING SLEEVE AND VALVE
NOT TO SCALE



- NOTE:**
- ALL CONCRETE SHALL BE 4000 P.S.I. @ 28 DAYS.
 - CONCRETE THRUST BLOCKS SHALL BEAR AGAINST UNDISTURBED EARTH.
 - FORMS TO BE USED AS NECESSARY.
 - ALL BOLTS AND NUTS TO BE PROTECTED FROM CONCRETE AND EASILY ACCESSIBLE WHEN THRUST BLOCK INSTALLED.

SIZE	TEES				PLUGS				90° BEND		45° BEND		22 1/2° BEND		11 1/4° BEND	
	A	B	C	D	A	B	C	D	A	B	A	B	A	B	A	B
4"	22"	12"	22"	12"	24"	16"	20"	10"	14"	7"	11"	5"				
6"	30"	18"	30"	18"	35"	22"	27"	15"	19"	12"	13"	8"				
8"	38"	24"	38"	24"	46"	29"	33"	22"	25"	14"	19"	10"				
10"	41"	28"	41"	28"	48"	34"	36"	24"	27"	17"	21"	11"				

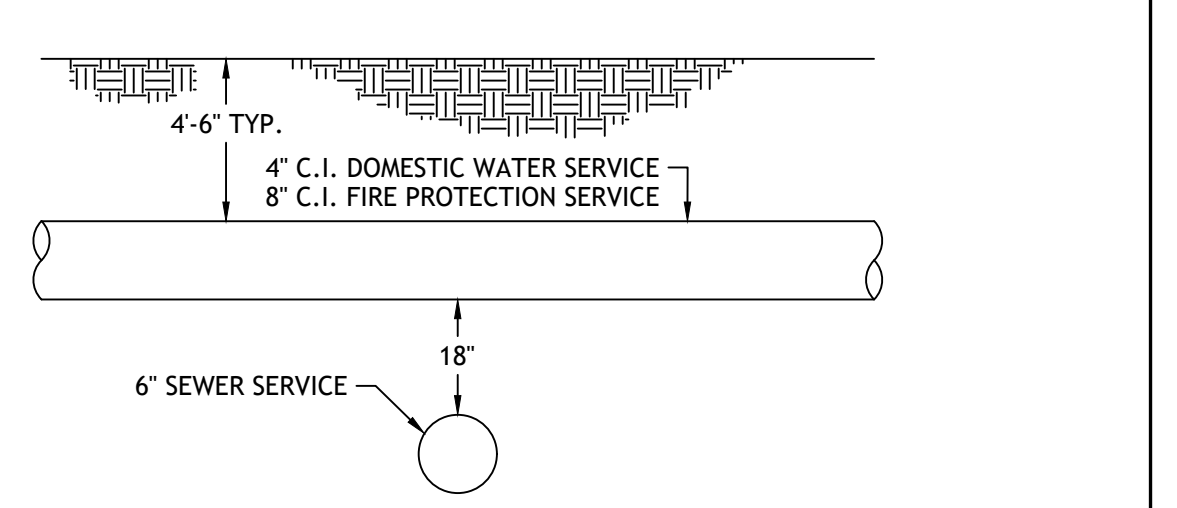
8 THRUST BLOCK DETAIL
NOT TO SCALE



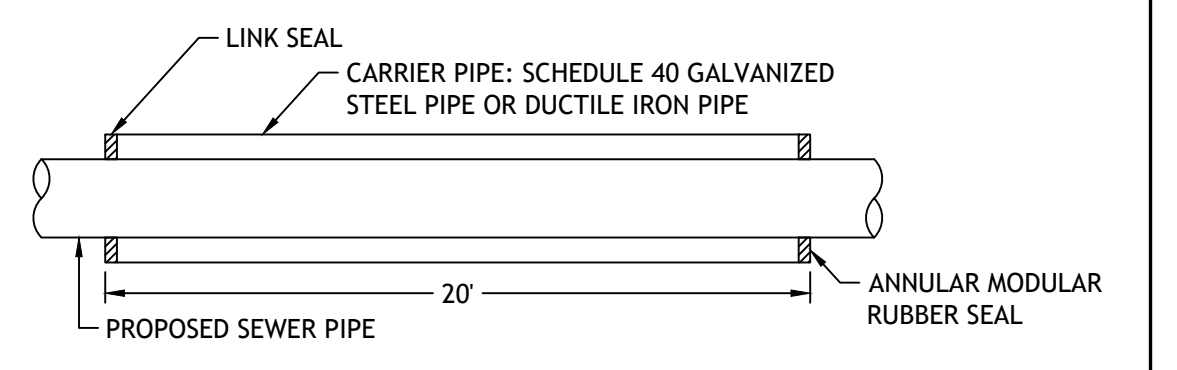
NOTES:

- 3/4-INCH CRUSHED STONE FOUNDATION SHALL BE PLACED 12" UNDER THE PIPE UP TO THE PIPE GRADE. THE PIPE LAID THEREON, AND 3/4-INCH CRUSHED STONE PULLED AGAINST THE PIPE SIDE TO FIRMLY HOLD THE PIPE IN PLACE. NO BLOCKS OR STONES SHALL BE USED TO SUPPORT THE PIPE.
- 3/4-INCH CRUSHED STONE HAUNCHING SHALL BE BROUGHT LEVEL TO THE TOP OF THE PIPE AND OUT TO THE TRENCH WALL AT THIS ELEVATION FOR ALL PIPE. 3/4-INCH CRUSHED STONE BLANKET SHALL BE PLACED 12" ABOVE THE PIPE.

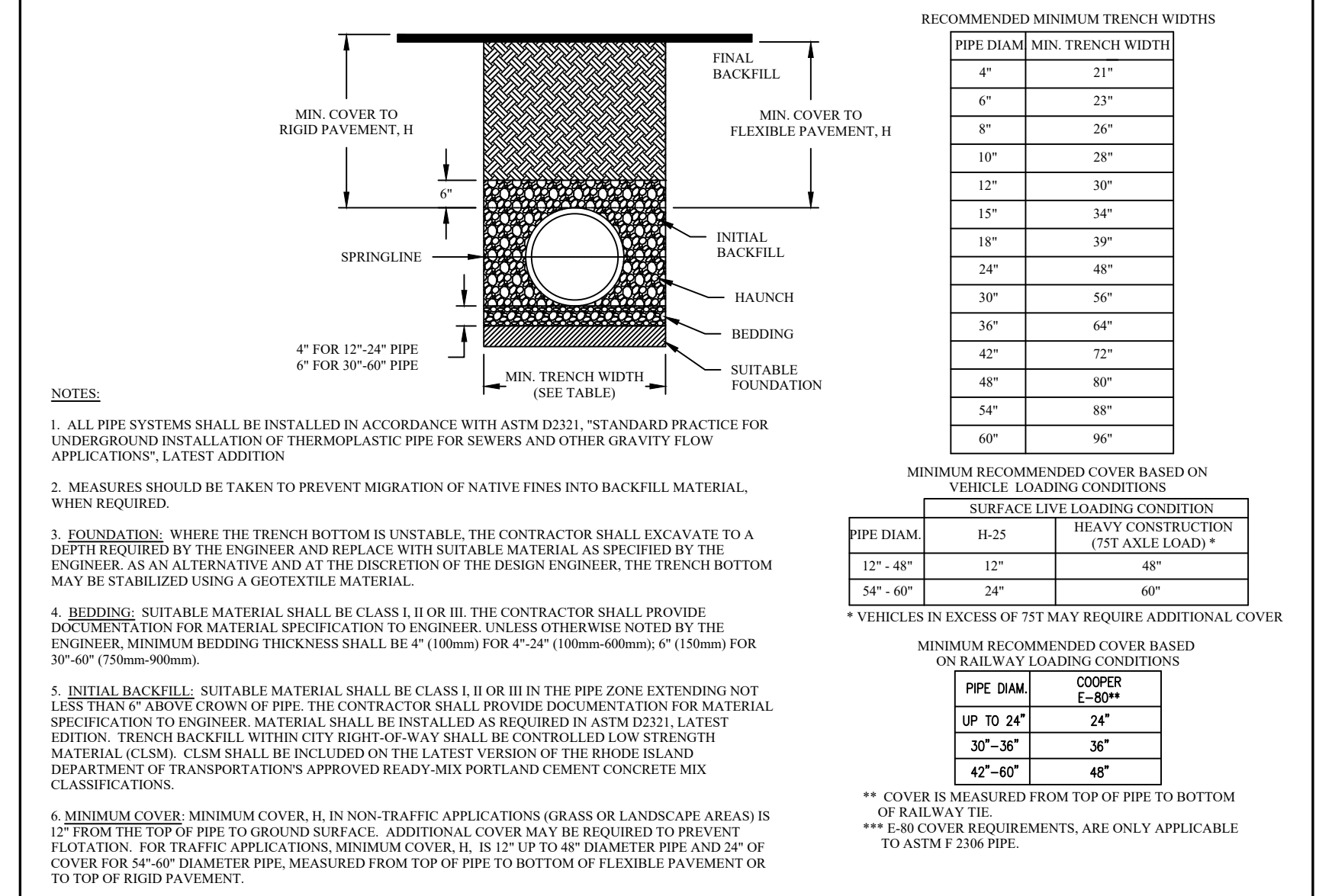
9 TYPICAL SEWER LINE TRENCH DETAIL
NOT TO SCALE



- NOTES:**
- THE VERTICAL SEPARATION BETWEEN THE WATER MAIN AND THE PROPOSED SEWER SHALL BE A MINIMUM OF 18 INCHES.
 - THE HORIZONTAL SEPARATION BETWEEN THE WATER MAIN AND THE PROPOSED SEWER SHALL BE MINIMUM OF 10 FEET.
 - IF 1 OR 2 CANNOT BE MAINTAINED THE PROPOSED SEWER SHALL BE INSTALLED WITHIN A CARRIER PIPE. SEWER MAIN AND SERVICES ARE NOT ALLOWED TO CROSS OVER THE TOP OF WATER MAIN.
 - SEWER PIPE SHALL BE SUPPORTED WITHIN THE CARRIER PIPE TO MAINTAIN A CONSTANT SLOPE WITHIN THE CARRIER PIPE.



10 SEWER/WATER SEPARATION DETAIL
NOT TO SCALE



- NOTES:**
- ALL PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2231. STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS. LATEST ADDITION.
 - MEASURES SHOULD BE TAKEN TO PREVENT MIGRATION OF NATIVE FINES INTO BACKFILL MATERIAL, WHEN REQUIRED.
 - FOUNDATIONS: WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH SUITABLE MATERIAL AS SPECIFIED BY THE ENGINEER AS AN ALTERNATIVE AND AT THE DISCRETION OF THE DESIGN ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTEXTILE MATERIAL.
 - BEDDING: SUITABLE MATERIAL SHALL BE CLASS II OR III IN THE PIPE ZONE EXTENDING NOT LESS THAN 6" ABOVE CROWN OF PIPE. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. MATERIAL SHALL BE INSTALLED AS REQUIRED IN ASTM D2231, LATEST EDITION. TRENCH BACKFILL WITHIN CITY RIGHT-OF-WAY SHALL BE CONTROLLED LOW STRENGTH MATERIAL (CLSM). CLSM SHALL BE INCLUDED ON THE LATEST VERSION OF THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION'S APPROVED READY-MIX PORTLAND CEMENT CONCRETE MIX CLASSIFICATIONS.
 - INITIAL BACKFILL: SUITABLE MATERIAL SHALL BE CLASS II OR III IN THE PIPE ZONE EXTENDING NOT LESS THAN 6" ABOVE CROWN OF PIPE. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. MATERIAL SHALL BE INSTALLED AS REQUIRED IN ASTM D2231, LATEST EDITION. TRENCH BACKFILL WITHIN CITY RIGHT-OF-WAY SHALL BE CONTROLLED LOW STRENGTH MATERIAL (CLSM). CLSM SHALL BE INCLUDED ON THE LATEST VERSION OF THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION'S APPROVED READY-MIX PORTLAND CEMENT CONCRETE MIX CLASSIFICATIONS.
 - MINIMUM COVER: MINIMUM COVER, H, IN NON-TRAFFIC APPLICATIONS (GRASS OR LANDSCAPE AREAS) IS 12" FROM THE TOP OF PIPE TO GROUND SURFACE. ADDITIONAL COVER MAY BE REQUIRED TO PREVENT FLOATION. FOR TRAFFIC APPLICATIONS, MINIMUM COVER, H, IS 12" UP TO 48" DIAMETER PIPE AND 24" OF COVER FOR 54" DIAMETER PIPE. MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF RIGID PAVEMENT.

RECOMMENDED MINIMUM TRENCH WIDTHS

PIPE DIAM.	MIN. TRENCH WIDTH
4"	21"
6"	23"
8"	26"
10"	28"
12"	30"
15"	34"
18"	39"
24"	48"
30"	56"
36"	64"
42"	72"
48"	80"
54"	88"
60"	96"

MINIMUM RECOMMENDED COVER BASED ON VEHICLE LOADING CONDITIONS

PIPE DIAM.	HEAVY CONSTRUCTION (75T AXLE LOAD) *
12" - 48"	12"
54" - 60"	24"
66" - 72"	36"
78" - 84"	48"

MINIMUM RECOMMENDED COVER BASED ON RAILWAY LOADING CONDITIONS

PIPE DIAM.	COPER E-300*
UP TO 24"	24"
30" - 36"	36"
42" - 60"	48"

** COVER IS MEASURED FROM TOP OF PIPE TO BOTTOM OF RAILWAY TIE
*** E-300 COVER REQUIREMENTS, ARE ONLY APPLICABLE TO ASTM F 2306 PIPE.

11 DRAIN PIPE TRENCH INSTALLATION DETAIL
NOT TO SCALE

JOE CASALI ENGINEERING, INC.
CIVIL ENGINEERING, SITE DESIGN, SURVEYING, PLANNING
300 POST ROAD, WARWICK, RI 02888
(401) 941-3300 WWW.JOECASALI.COM

JOSEPH A. CASALI
No. 7250
REGISTERED PROFESSIONAL ENGINEER
CIVIL
8/20/2024

PROPOSED MIXED-USE BUILDING
279 THAYER STREET
PROVIDENCE, RHODE ISLAND
AP 13, LOT 28

REVISIONS:

NO.	DATE	DESCRIPTION
1	5/2022	DPW COMMENTS
2	9/2022	DPW REQUIREMENTS
3	8/2024	BUILDING REV.

DESIGNED BY: WMLJR
DRAWN BY: JAS/SD/SEP
CHECKED BY: JAC
DATE: APRIL 2022
PROJECT NO: 21-73b

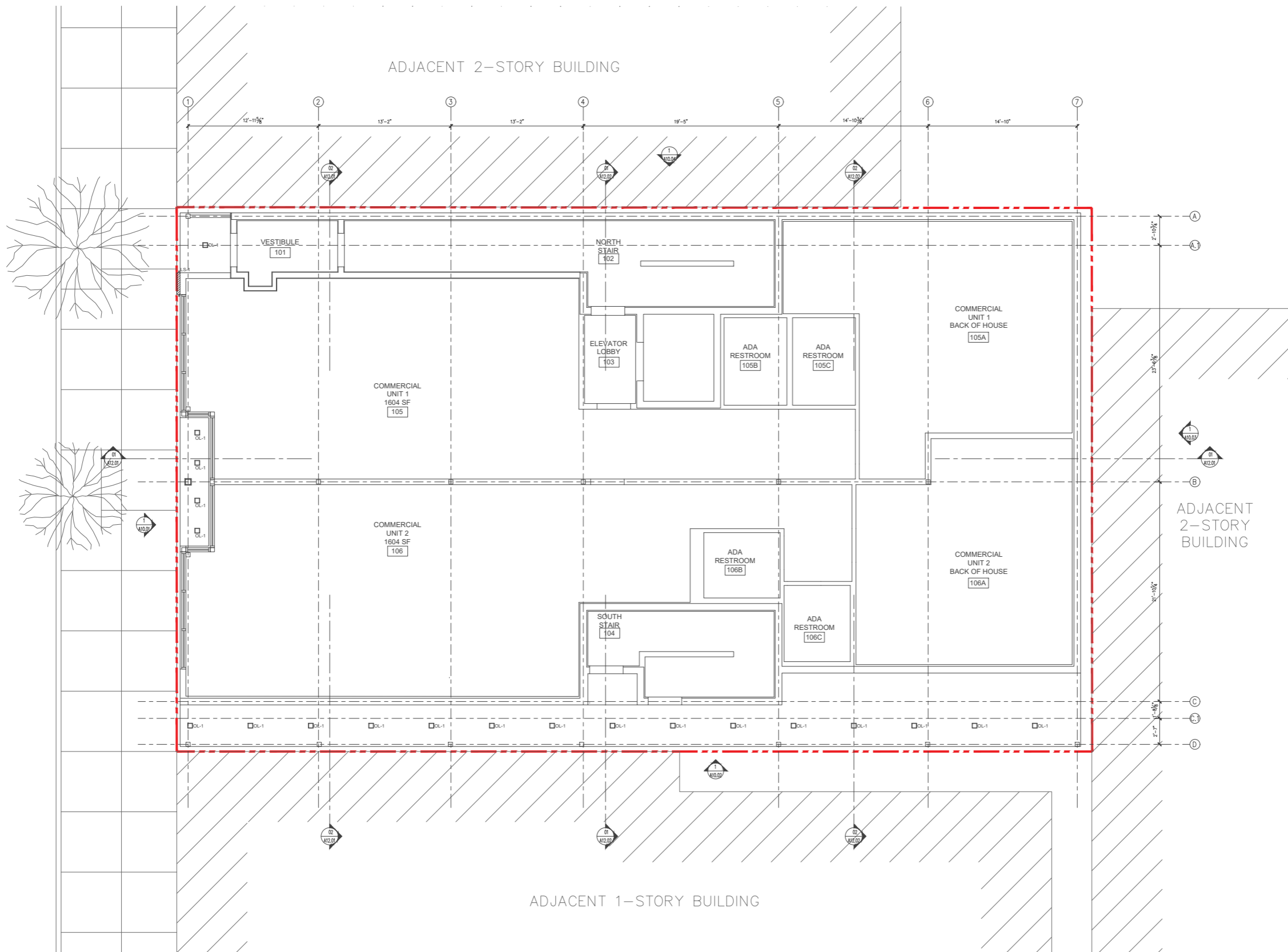
PRELIMINARY, NOT FOR CONSTRUCTION

SITE DETAILS

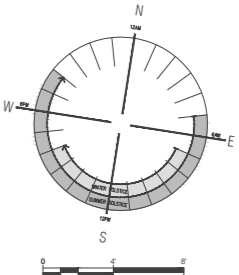
SHEET 5 OF 5

Appendix C

Lighting Plan along with exterior light fixture specifications



LIGHT FIXTURE SCHEDULE					
SYMBOL	DESCRIPTION	MANUFACTURER	MODEL NO.	LAMP	REMARKS
EXTERIOR FIXTURES					
OL-1	RECESSED SQUARE DOWN LIGHT	SPECTRUM	MODEL: S2EF6SLEDOS4L40K1 TRIM: FCD3660SANML	TBD	LOCATION: EXTERIOR - CANOPIES
LIGHT STRIPS					
LS-1	OUTDOOR LIGHT STRIP	KELVIX	MODEL: SWS-XX-35K-E-S-IP67	TBD	LOCATION: EXTERIOR - METAL PANEL



THAYER STREET REDEVELOPMENT
279 THAYER STREET
Providence, RI 02906

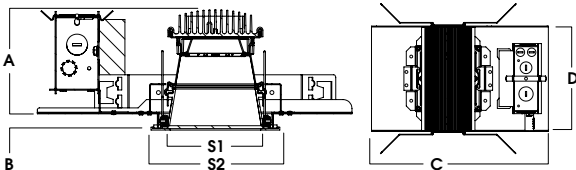
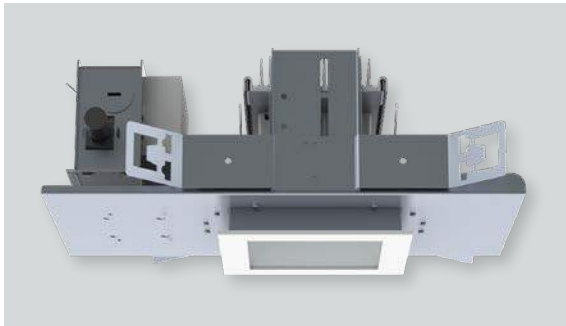
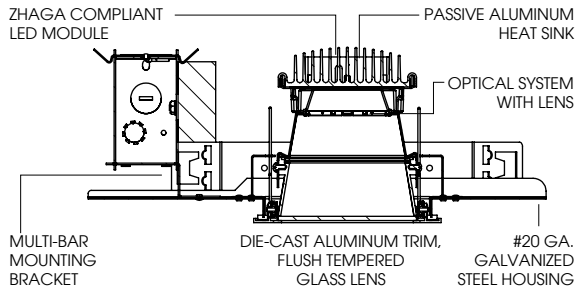
CONSTRUCTION
FIRST FLOOR REFLECTED
CEILING & LIGHTING PLAN

ISSUE TYPE: CONSTRUCTION DOCUMENTS
ISSUE DATE: XX/XX/2022
DRAWN BY: JR

SCALE: 1/4" = 1'-0"
B/A PROJECT NO: 2021.127

6" SQUARE LED FLUSH LENS

OS SERIES / 4500 LUMENS MAX



A	B	C	D	S1	S2
4.9	0.625	14.2	7.9	5.8	7.5
124.5 mm	15.9 mm	360.7 mm	200.7 mm	147.3 mm	190.5 mm

SGEF6SQLEDOS - TRIM FLANGE / NON-IC RATED

APPLICATION

LED Recessed Flush Lens square aperture downlight with die cast aluminum trim. Wide light distribution and wet location available.

FEATURES

Two-stage optical system for smooth light distribution. Zhaga International Standard LED module for ease of maintenance and replacement. Tool-less LED module, driver and J-Box access. Multi-Bar mounting brackets. BH27 Standard mounting bars included. Posi-lock trim retention torsion springs. Integral 0.625" collar.

TRIM FINISH

A variety of powdercoat and anodized finishes are available for flange / trim.

ELECTRONICS

LED module features high brightness white Osram LEDs. 3-step MacAdam Ellipse binning and CRI 84 minimum. Full range of electronic 120V/277V and dimming drivers.

CONSTRUCTION

Housing/frame constructed of #20 ga. galvanized steel to resist corrosion. Die-Cast aluminum trim with tempered glass flush lens. Passive machined aluminum heatsink.

CODE COMPLIANCE

BAA Compliant. Non-IC rated. ETL certified to meet US and Canadian standards. Suitable for dry or damp locations. Optional Wet location. LM79/LM80/TM21 data available. Manufactured and tested to UL standards No. 1598/8750.

WATTAGE TO LUMENS UPDATE

CURRENT PART NUMBER EXAMPLE	PREVIOUS PART NUMBER EXAMPLE	SOURCE LUMENS ¹	DELIVERED LUMENS ²	SYSTEM WATTS	LPW
SGEF6SQLEDOS10L	SGEF6SQLEDOS14W	1100	687	11	62
SGEF6SQLEDOS15L	N/A	1500	754	13	58
SGEF6SQLEDOS20L	SGEF6SQLEDOS25W	2000	1121	20	56
SGEF6SQLEDOS30L	SGEF6SQLEDOS35W	3000	1679	28	60
SGEF6SQLEDOS45L	N/A	4500	2468	41	60

SERIES	LUMENS ¹	CCT	DRIVER / VOLTAGE ³	OPTIONS ⁴	TRIM	FINISH	TRIM OPTIONS	
SGEF6SQLEDOS	10L	1100 Lm	27K 2700K	E Electronic Driver	1 120V	FC0366OS 6" SQ Flush Casting	MW ⁹ Matte White MB Matte Black PT Platinum Silver BZ Bronze OB Oil Rubbed Bronze CH Charcoal AS Anodic Sapphire AN Anodic Natural AC Anodic Champagne AZ Anodic Bronze AK Anodic Black AM Anodic Malachite SN Sun Gold CO Copper Metallic GH Graphite CC ¹⁰ Custom Color	
	15L	1500 Lm	30K 3000K	DS10_ 10%, 0-10V	2 277V			BH27 ⁵ 27" Solid Bars
	20L	2000 Lm	35K 3500K	DO10_ 1%, 0-10V				H12 12" - 24" Expandable Bars
	30L	3000 Lm	40K 4000K	DS2W1 1%, ELV/MLV, 120V				H06 6" - 12" Expandable Bars
	45L	4500 Lm		DLTE1 1% Lutron® 2-Wire Forward Phase, 120V				CB24 24" C-Channel Bars
			DL3E_ 1% Lutron® EcoSystem®, Fade		FS Fusing	EB Fixture Painted Black		
			EL10_ 1%, eldoLED		CR Corrosion Resistant	EB Fixture Painted Black	CR Corrosion Resistant	
			ED01_ 0.1%, eldoLED		PR ⁸ Deep Ceiling Extension	CR Corrosion Resistant	PR ⁸ Deep Ceiling Extension	
			DALI_ DALI Control		GR Goof Ring	GR Goof Ring	GR Goof Ring	
					ZIG ⁷ ZigBee Module	ZIG ⁷ ZigBee Module	ZIG ⁷ ZigBee Module	
					BLU ⁷ Bluetooth LE	BLU ⁷ Bluetooth LE	BLU ⁷ Bluetooth LE	
					EM ⁸ 7W Emergency Battery Test Switch Remote	EM ⁸ 7W Emergency Battery Test Switch Remote	EM ⁸ 7W Emergency Battery Test Switch Remote	
					AMB Anti-Microbial Finish	AMB Anti-Microbial Finish	AMB Anti-Microbial Finish	
							SO ¹¹ Micro Prism Solite™ Lens	
							FO90 White Optical Acrylic	
							FG Frosted Glass Lens	
							GS Gasket	
							WL Wet Location	
							PF ¹² Polished Flange	
							AMB Anti-Microbial Finish	

EXAMPLE: SGEF4SQLEDOS20L35KE1/FC0244OSMWSO

NOTES:
 1 Nominal Source Lumens at 35K 2 Nominal Delivered Lumens at 35K with MW SO 3 Contact Factory for Additional Options 4 See Product Options Page for Details 5 Standard Bar Hangers 6 Contact Factory
 7 Order DS101/2 When Specifying ZigBee or BLU 8 Standard EM 9 Standard Finish 10 Contact Factory for Special Finishes 11 Standard Lens 12 Flange and Reflector Same Finish



PROJECT: _____
 TYPE: _____



Dimensions and values shown are nominal. Spectrum Lighting continually works to improve products and reserves the right to make changes which may alter the performance or appearance of products.



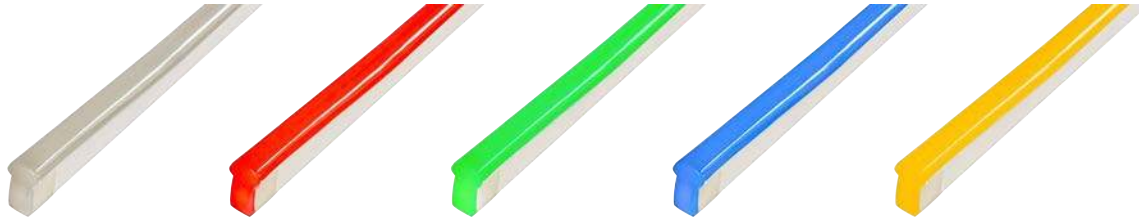
SIGNWAVE® 5 (INDOOR/OUTDOOR)

SW5-SERIES | WIDE VIEW FLEXIBLE LIGHTING SYSTEM

Fixture Type: Exterior Linear Accent

Project: 279 Thayer Street

Location: 279 Thayer St, Providence, RI 02906



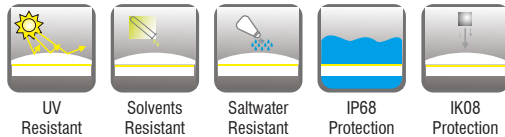
Color/Kelvin	WHITE (Specify CCT)	RED	GREEN	BLUE	AMBER	RGBW	CT (2500+5000K)
Wavelength	N/A	620-630nm	520-530nm	465-475nm	585-595nm	N/A	N/A
Wattage	3.7W/ft	2.2W/ft	3.7W/ft	3.7W/ft	2.2W/ft	4.6W/ft	3.7W/ft
Power Feed	Every 26ft	Every 39ft	Every 26ft	Every 26ft	Every 39ft	Every 21ft	Every 26ft
Production Intervals	3.25"	4.938"	3.25"	3.25"	4.938"	4.938"	3.25"

PRODUCT FEATURES

- Dimmable
- 50,000 hour life
- Domed profile for large beam angle
- UL-listed for indoor and outdoor use
- IP67 or IP68 option
- Factory-installed power feed
- Injection-molded flush end caps
- For use with 24V power supplies

SPECIFICATIONS

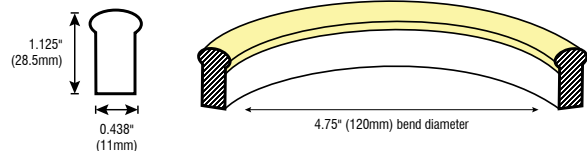
Series	SW5 - Signwave® 5
Input Voltage	24V DC
Lumens	162 Lm/ft
Max Run Length	Unlimited, Refer to Power Feed Above
Beam Angle	320°
Dimensions	0.438" (11.5mm) × 1.125" (29mm)
CRI	80+
Dimming Options	PWM, Triac, 0-10V, DMX, Hi-lume
Temp Range	-4°F (-20°C) to 113°F (45°C)



Dry Wire ferrule located 115mm (+/- 5mm) from the cable connector. Protects against damage from water ingress inside cable wire.

Included in every run.

DOMED PROFILE DIMENSIONS



Conforms to ANSI/UL Standard 2108
 Certified to CAN/CSA Standard C22.2 No. 250.0

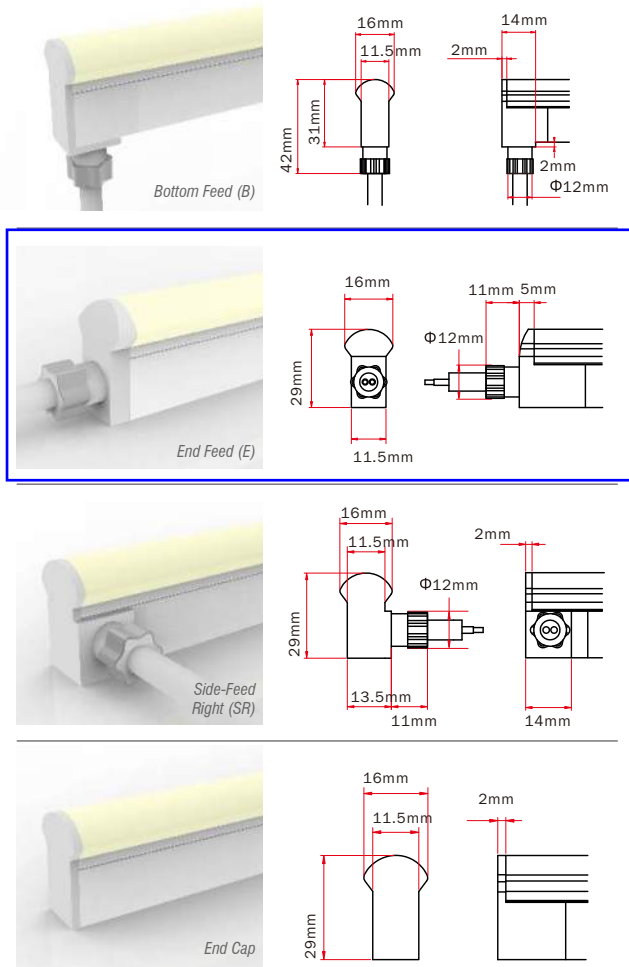




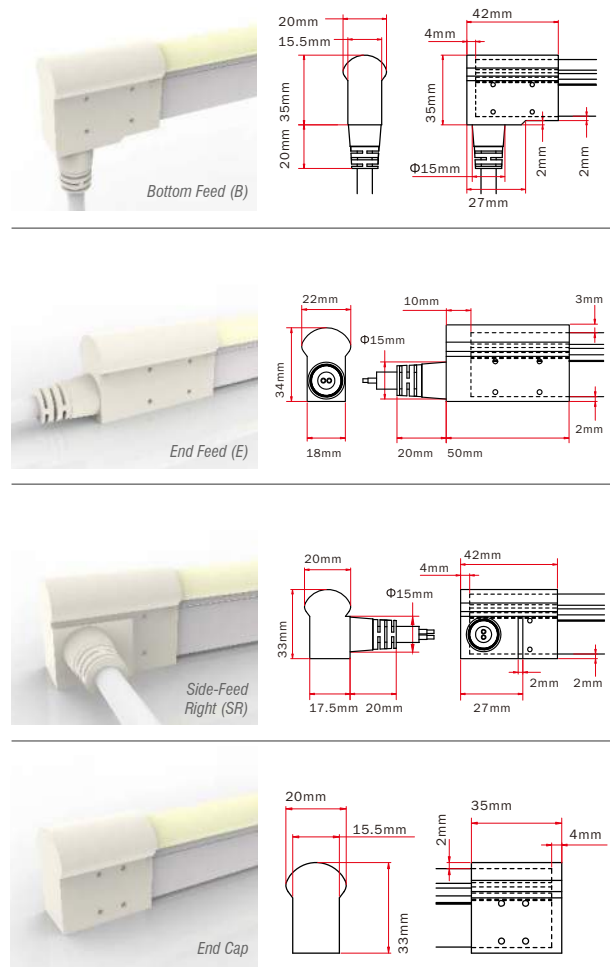
SIGNWAVE® 5 (INDOOR/OUTDOOR)

SW5-SERIES | WIDE VIEW FLEXIBLE LIGHTING SYSTEM

IP67 OPTIONS



IP68 OPTIONS



ORDERING INFORMATION

Example: **SW5-36-CT-SL-24-IP68**

Series	Length (Unlimited)	Color	Feed Point	Feed Length	Rating
SW5	TBD	35K	E	S	IP67

SW5 - Signwave 5

Inches

27K - 2700K
 30K - 3000K
 35K - 3500K
 40K - 4000K
 45K - 4500K
 50K - 5000K
 RD - Red
 GRN - Green
 BL - Blue
 AM - Amber
 RGBW - Color Changing
 CT - Color Tuning

B - Bottom Feed
 SL - Side-Feed Left
 SR - Side-Feed Right
 E - End Feed

S - Standard (118 inch)
 Inches - Custom length
 (inches).

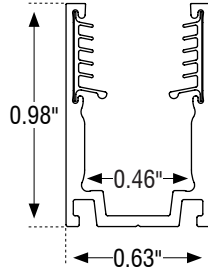
IP67
 IP68



SIGNWAVE® WIDE VIEW ACCESSORIES

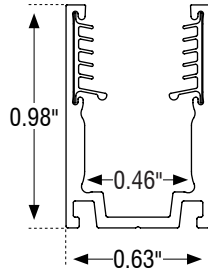
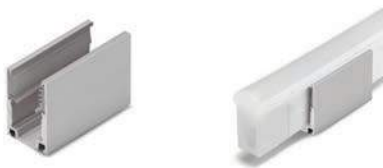
FOR SIGNWAVE™ 1, 2, 5, & 7 SERIES

ALUMINUM SERRATED CHANNEL



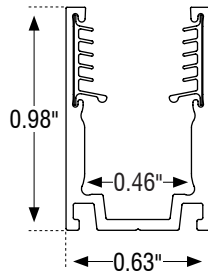
Model	SW-E-AL-CH-SR-2M
Material	Aluminum
Length	78.75" (2m)
Width	0.63" (15.9mm)
Height	0.98" (24.8mm)
Internal Width	0.46" (11.8mm)

ALUMINUM SERRATED CLIP



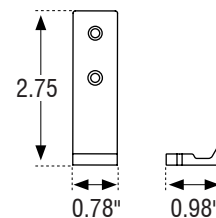
Model	SW-E-CLP-AL-SR
Material	Aluminum
Length	0.79" (20mm)
Width	0.63" (15.9mm)
Height	0.98" (24.8mm)
Internal Width	0.46" (11.8mm)

ALUMINUM SERRATED FLEX CHANNEL



Model	SW-E-CH-AL-FLX-1M
Material	Aluminum
Length	39.3" (1m)
Width	0.63" (15.9mm)
Height	0.98" (24.8mm)
Internal Width	0.46" (11.8mm)

SIDE MOUNTING BRACKET



Model	SW-CLP-RA
Material	Aluminum
Length	0.78" (20mm)
Width	0.98" (25mm)
Height	2.75" (70mm)

REQUIRED: Must be paired with channel.