

THESE DRAWINGS ARE FOR THE CONSTRUCTION OF THE PROJECT LISTED ABOVE AND ARE NOT TO BE COPIED IN ANY FORM WITHOUT THE EXPRESS WRITTEN PERMISSION OF ZDS, INC.
THE GENERAL CONTRACTOR SHALL NOT SCALE DRAWINGS FOR MEASUREMENTS, BUT SHALL VERIFY ALL LEVELS AND MEASUREMENTS NECESSARY FOR COMPLETE FABRICATION, ASSEMBLY AND INSTALLATION OF THE WORK.
MINOR DETAILS OF THE WORK NOT SPECIFICALLY SHOWN ON THE DRAWINGS SHALL BE ASCERTAINED BY THE CONTRACTOR AT THE SITE OF THE WORK, AND SHALL BE ACCOMPLISHED WITH THE INTENT OF THIS PROJECT.



ADMIRAL ST. MULTI-UNIT DEVELOPMENT

663 ADMIRAL STREET, PROVIDENCE, RI 02908



CLIENT:
JOE COLALUCA
STRIVE PROPERTIES
556 ATWELLS AVE,
PROVIDENCE, RI 02904
+1.401.270.8878
www.striveri.com



ARCHITECTURE AND INTERIORS:
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2 CHARLES STREET, SUITE A1
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+1.401.680.6699
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www.insiteengineers.com



STRUCTURAL ENGINEER:
STRUCTURES WORKSHOP
18 IMPERIAL PLAZA,
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MEP CONSULTANT:
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66 MAIN STREET,
EASTON, MA 02356
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www.ber-engineering.com

CONSTRUCTION DRAWINGS

03/17/2023

GENERAL NOTES

SYMBOLS LEGEND

LOCATION MAP

A: GENERAL

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE TO VISIT THE SITE PRIOR TO BID SUBMITTAL TO BECOME FAMILIAR WITH CONDITIONS AT THE SITE AFFECTING PERFORMANCE OF THE WORK.
2. THE WORK SHALL COMPLY WITH ALL GOVERNING STATE AND LOCAL CODES. ACCESSIBLE SPACES AND WORK SHALL COMPLY WITH ALL APPLICABLE ACCESSIBILITY CODES.
3. UNLESS OTHERWISE AGREED TO IN WRITING WITH THE OWNER, THE CONTRACTOR IS RESPONSIBLE FOR SECURING ALL PERMITS (BUILDING, OCCUPANCY, ETC.) AND FEES FOR SAME, AS REQUIRED BY STATE AND LOCAL RULES AND REGULATIONS.
4. DAMAGES TO THE BUILDING OR PROPERTY DUE TO CONTRACT OPERATIONS MUST BE REPORTED IMMEDIATELY TO THE BUILDING OWNER.
5. THE OWNER RESERVES THE RIGHT TO PERFORM ADDITIONAL WORK THAT IS NOT PART OF THIS CONTRACT WITH HIS OWN FORCES, UNDER SEPARATE CONTRACTS AND/OR WITH OTHER CONTRACTORS OR VENDORS. THE CONTRACTOR SHALL COOPERATE WITH THE OWNER AND OTHER CONTRACTORS AND COORDINATE HIS WORK WITH THE OWNER SO THAT WORK BY OTHERS CAN BE INCORPORATED IN A TIMELY MANNER.
6. THE CONTRACTOR SHALL REPLACE OR REMEDY FAULTY, IMPROPER OR INFERIOR MATERIALS OR WORKMANSHIP WHICH SHALL APPEAR WITHIN ONE (1) YEAR OR AS OTHERWISE SPECIFIED FOR A SPECIFIC COMPONENT AFTER COMPLETION AND ACCEPTANCE OF THE WORK. SUCH WORK IS TO BE COMPLETED AT NO COST TO THE OWNER.
7. FURNISH AND INSTALL MATERIALS IN STRICT ACCORDANCE WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS AND RECOMMENDATIONS. MATERIALS AND METHODS OF INSTALLATION TO CONFORM WITH THE APPROPRIATE NATIONAL TRADE HANDBOOKS; I.E. ARCHITECTURAL WOODWORK INSTITUTE'S QUALITY STANDARDS, UNITED STATES GYPSUM, GYPSUM CONSTRUCTION HANDBOOK, ETC.

B: COORDINATION

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE THE WORK, CONSTRUCTION SEQUENCING, SUBCONTRACTORS, AND INSTALLED LOCATION AND INTERFACE OF THE WORK.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF SYSTEMS AND EQUIPMENT WITH STRUCTURE, ARCHITECTURE, CEILING HEIGHTS, AND OTHER WORK.
3. DISCREPANCIES BETWEEN PORTIONS OF THE CONTRACT DOCUMENTS ARE NOT INTENDED. THE CONTRACT DOCUMENTS ARE COMPLEMENTARY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY WITH AND COORDINATE ALL CONTRACT DOCUMENTS BEFORE INSTALLATION OF THE WORK. THE CONTRACTOR SHALL CLARIFY DISCREPANCIES WITH THE ARCHITECT PRIOR TO COMMENCING THE WORK IN QUESTION.
4. MATTERS WITHIN THE SPECIFICATIONS WHICH MAY HAVE BEEN OMITTED IN THE DRAWINGS OR VICE VERSA SHALL BE CONSTRUED AS THOUGH CONTAINED IN BOTH.
5. SHOULD THE SPECIFICATIONS AND THE DRAWINGS DISAGREE WITH THEMSELVES OR WITH EACH OTHER, PROVIDE THE BETTER QUALITY OR GREATER QUANTITY OF WORK, AS DETERMINED BY THE ARCHITECT, UNLESS OTHERWISE DIRECTED BY APPROVED CHANGE ORDER.

C: MEASUREMENTS & DIMENSIONS

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LAYING OUT THE WORK AND SHALL INFORM THE ARCHITECT OF DISCREPANCIES AFFECTING PROPER COMPLETION OF THE WORK.
2. DO NOT SCALE DRAWINGS TO DETERMINE DIMENSIONS. TAKE WORKING DIMENSIONS FROM THE FIGURED DIMENSIONS, OR BY ACTUAL MEASUREMENTS TAKEN IN THE FIELD. DEVIATION FROM THE DOCUMENTS AND THE DIMENSIONS GIVEN IN THE DRAWINGS MUST BE APPROVED BY THE ARCHITECT IN WRITING PRIOR TO COMPLETION OF THE WORK IN QUESTION.

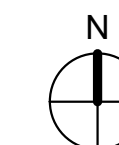
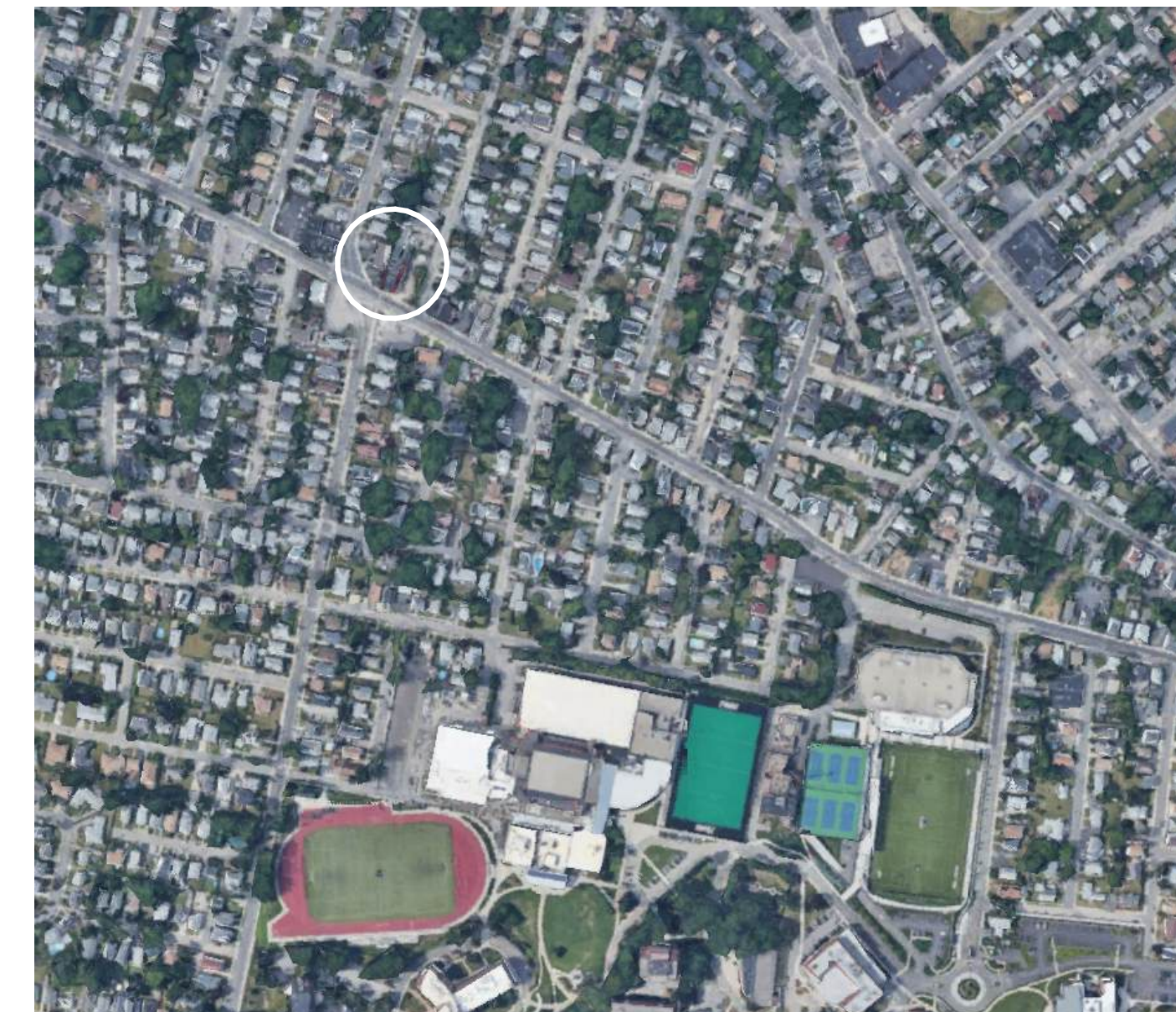
D: MATERIAL REQUIREMENTS

- 1. WOOD IN CONTACT WITH CONCRETE OR STEEL TO BE PRESSURE TREATED.
2. COMBUSTIBLE MATERIALS ARE NOT ALLOWED IN CONCEALED SPACES AS DETERMINED BY CODE.
3. STRUCTURE SHALL BE RATED AS NOTED ON CODE DRAWINGS. MAINTAIN RATINGS OF FIRE-RATED ASSEMBLIES.
4. PAINTING, VARNISHING OR THE USE OF OTHER NOXIOUS SUBSTANCES MUST BE ISOLATED FROM ADJOINING SPACES.
5. PROVIDE ATTIC STOCK FOR MATERIALS. COORDINATE QUANTITIES AND SCHEDULE WITH THE OWNER.

E: DEFINITIONS AND METHODOLOGIES

- 1. DIMENSIONS, ANNOTATIONS, NOTES, FINISHES, FIXTURES SHOWN ON TYPICAL FLOOR PLANS, SECTIONS OR DETAILS SHALL APPLY TO SIMILAR, SYMMETRICAL OR OPPOSITE PLANS, SECTIONS OR DETAILS.
2. TYPICAL, OR "TYP" MEANS THAT THE CONDITION IS REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT, UNLESS REQUIRED OTHERWISE.

VIEW REFERENCES:
1 View Name 1/8" = 1'-0" PLAN/ELEVATION/DETAIL TITLE TAG
1 A101 CALLOUT REFERENCE
1 A101 INTERIOR/EXTERIOR ELEVATION REFERENCE TAG
1 A101 BUILDING SECTION TAG
1 A101 WALL SECTION TAG
1 A101 DETAIL REFERENCE
ELEMENT TAGS:
Room name 101 ROOM NAME/NO. CURTAIN WALL PANEL TAG
150 SF 101A DOOR TAG CASEWORK TAG
x' - x" CEILING HEIGHT TAG FINISH/MATL TAG
X WINDOW / CURTAIN-WALL TAG FURNITURE, FIXTURE, & EQUIPMENT TAG
REVISIONS:
TYPE PREFIXES: A = ADDENDUM B = BULLETIN R = REVISION
A 001 TYPE NUMBER



PROJECT DESCRIPTION

APARTMENTS AT 663 ADMIRAL STREET IS A REDEVELOPMENT OF AN UNDERUTILIZED SITE. EXISTING PROPERTY CONSISTS OF THREE LOTS INTENDED TO BE MERGED UNDER AN ADMINISTRATIVE SUBDIVISION. THIS MIXED-USE NEW CONSTRUCTION BUILDING CONSISTS OF 4 STORIES OF TYPE-5B CONVENTIONAL WOOD CONSTRUCTION OVER ONE STORY TYPE-1A CONCRETE PODIUM W/ A BASEMENT, FULLY SPRINKLERED THROUGHOUT. THE BUILDING CONSISTS OF A TENANT SPACE ON THE GROUND LEVEL AND 48 UNITS ON THE SECOND THROUGH FIFTH LEVELS. PARKING IS LOCATED UNDER THE BUILDING ON THE GROUND LEVEL AND OUTSIDE THE FOOTPRINT AT THE REAR OF THE LOT.

ABBREVIATIONS

FINISH TAG LEGEND

UNIT BREAKDOWN

Table of abbreviations including ACoust, ACC, ACS, ACT, ADJ, AFF, A.F.F., ALUM, ANOD, ARCH, AUTO, BD, BLDG, BLKG, CFCT, CJ, CL, CLG, CLO, CLR, CMU, COL, CONC, CONST, CONT, CPT, CT, CTR, DBL, DIA, DIM, DS, DTL, DWG(S), E, EA, EJ, ELEC, ELEV, ELVT, EQ, EQUIP, EXT, EXG, FD, FE, FEC, FIN, FFE, FT, FR, FRT, FRP, GA, GALV, GC, GL, GU, GWB, GYP, HB, HC, HDWR, HH, HM, HR, HT, HVAC, ID, INCL, INSUL, INT, JT, KD, KP, LAM, LAV, LH, LHR, MAS, MAT, MAX, MDO, MECH, MANF, MIN, MISC, MO, MTL, N, NA, N/A, NIC, NOM, NTS, OC, OD, OFCI, OFOI, OP, OH, OPP, PART, PNT/PTD, PL, PLAM, PLUM, PLY/PLYWD, PR, PSI, PT, PVC, RAD, RD, REFR, REINF, REQ/REQ'D, RHR, RM, RO, ROW, R&S, S, SCW, SCHED, SECT, SHT, SIM, SPEC, SQ, SS, STD, STL, STO, STRUC, S-SUSP, SYM, SYS, TELE, TEMP, T&G, TC, TLT, TP, TV, TYP, UNO/UON, VCT, VIF/V.I.F., VWC, W, W/W, WC, WD, WM, W/O, WRB, WTR, WWF, HARD FINISH CODES, EFC CODES.

Table of finish codes including ACT, BA, BP, E, G, H, L, M, P, R, S, SP, SS, T, WD, EFC CODES, AC, AR, C, CH, DL, F, TC, WT, WC, NOTE: REFER TO HARD FINISH SCHEDULE AND FFE SPECIFICATIONS FOR PROJECT INFORMATION.

UNIT TYPE MATRIX table with columns: UNIT TYPE, FLOOR 2, FLOOR 3, FLOOR 4, FLOOR 5, TOTAL. Rows include 1 BEDROOM (TYPE B1, B1+, A), 2 BEDROOM (TYPE B2, B2+), 3 BEDROOM (TYPE B3), and TOTAL BY FLOOR. TOTAL UNITS = 48.

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ARCHITECT: ZDS inc.
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1405 RHODE ISLAND AVE NW WASHINGTON, DC 20005 +1.202.660.0555
STAMP: ERIC N. ZUEHL ARCHITECT

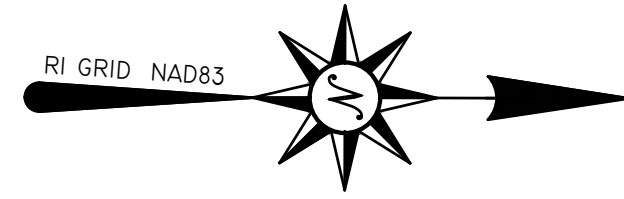
PROJECT NAME: ADMIRAL ST. MULTI-UNIT DEVELOPMENT

663 ADMIRAL STREET, PROVIDENCE, RI 02908
PROJECT NO. 22028
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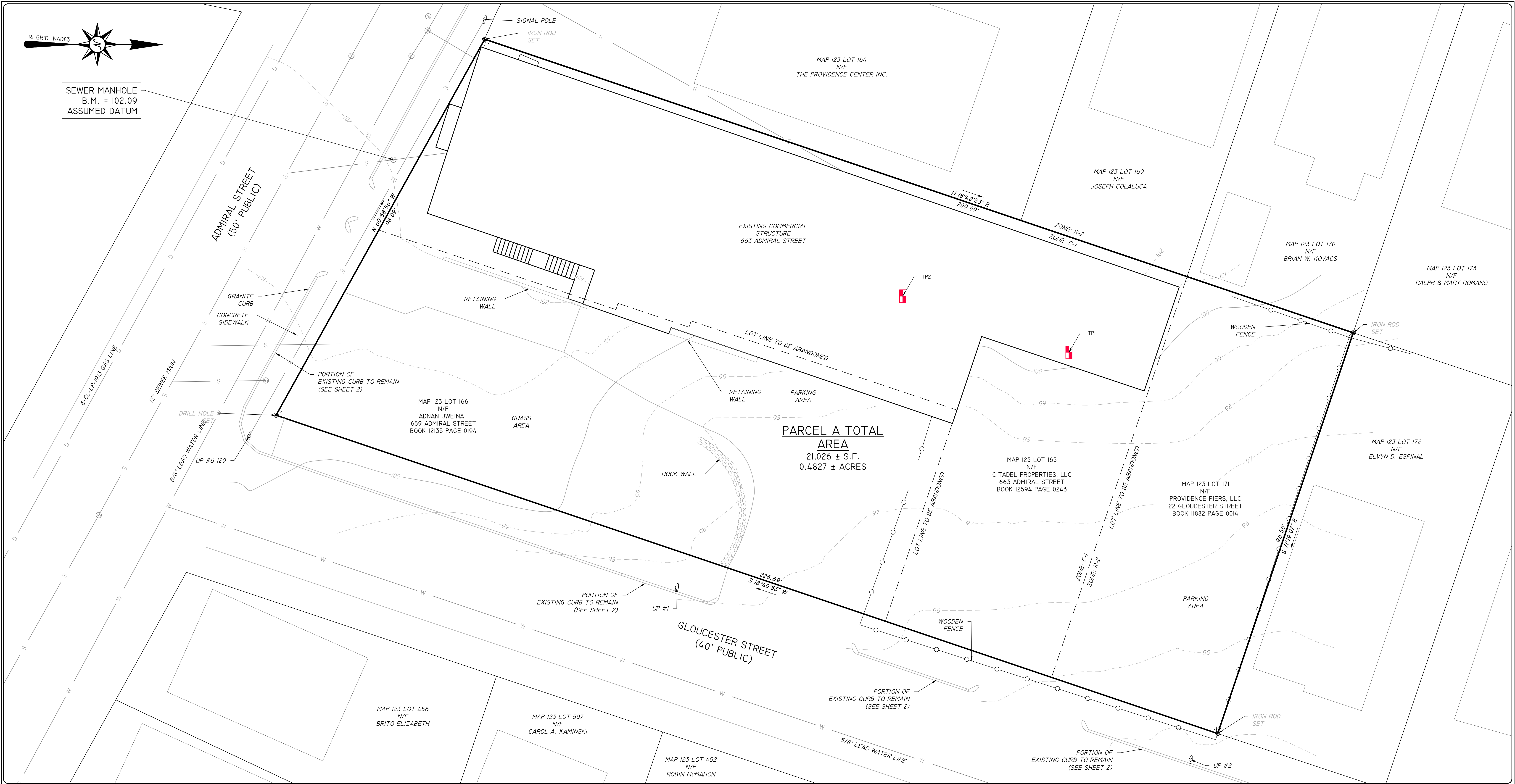
CONSTRUCTION DRAWINGS

ISSUED DATE: 03/17/2023
SHEET TITLE: GENERAL INFORMATION
DRAWING NO.

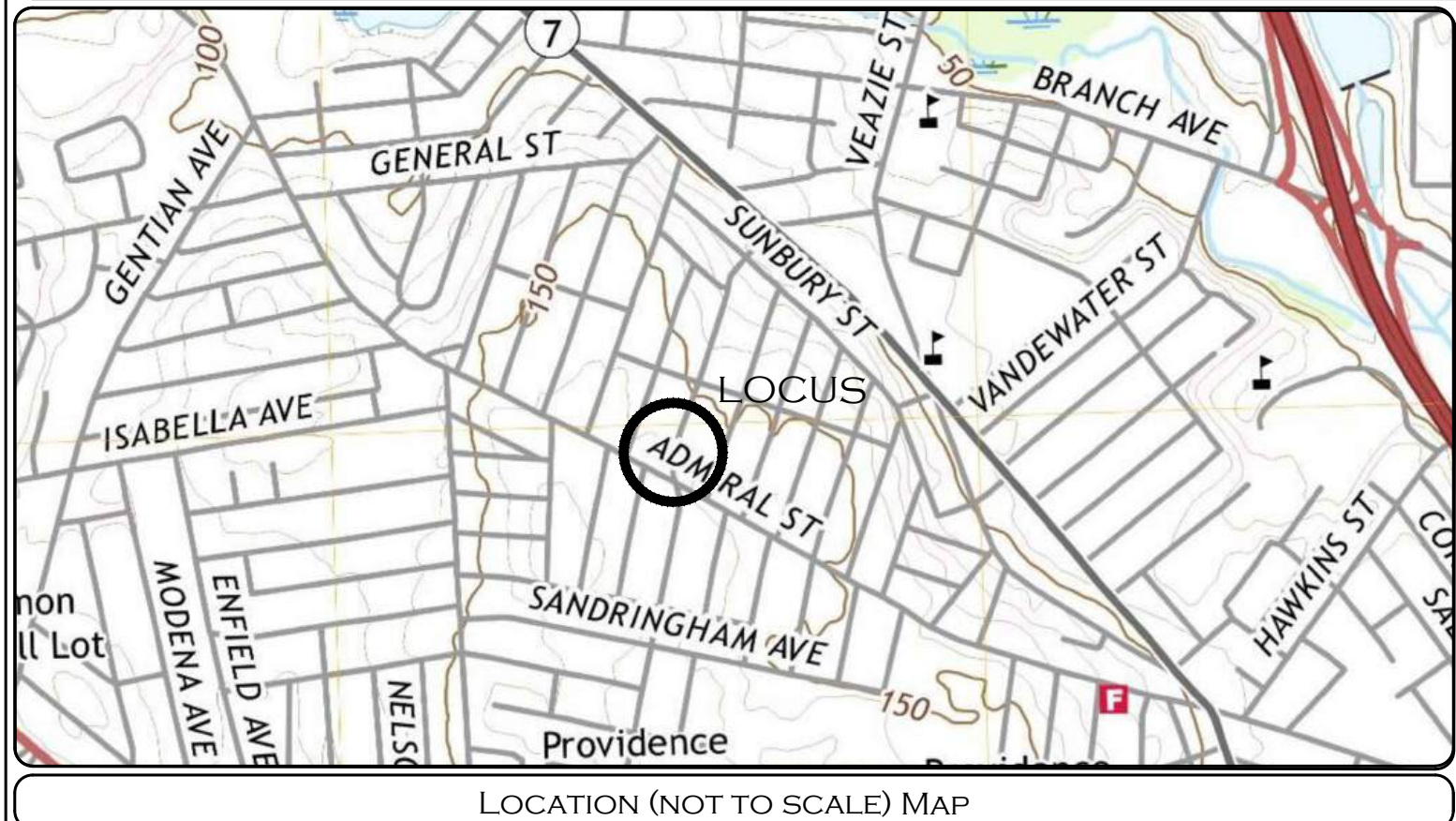
G0.01



SEWER MANHOLE
B.M. = 102.09
ASSUMED DATUM



PARCEL A TOTAL AREA
21,026 ± S.F.
0.4827 ± ACRES



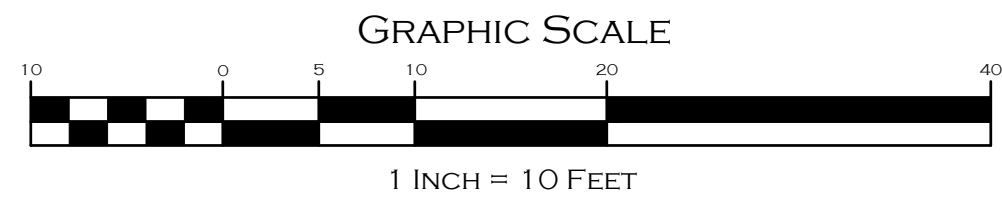
- GENERAL NOTES:**
- LOTS SHOWN IS LOT 165, 166 & 171 ON PROVIDENCE ASSESSORS MAP 123
 - ZONING DISTRICT: COMMERCIAL (C-1)
 - SITE IS LOCATED IN FEMA FLOOD ZONE X (AREA OF MINIMAL FLOOD HAZARD) AS SHOWN ON FIRM PANEL 44.007 C 0302 H EFFECTIVE ON OCTOBER 2, 2015.
 - BASE FILE WAS PROVIDED BY OCEAN STATE PLANNERS ON SEPTEMBER 17, 2021.
 - ELEVATIONS DELINEATED ON THIS PLAN ARE ON AN ASSUMED DATUM.

DIMENSIONAL ZONING REQUIREMENTS:

COMMERCIAL - C-1 - ZONING DISTRICT

MINIMUM AREA	= NONE
MINIMUM FRONTAGE	= NONE
MINIMUM FRONT YARD SETBACK	= BUILT-TO ZONE OF 0 FT. TO 5 FT.
MINIMUM SIDE YARD SETBACK	= 10'
MINIMUM REAR YARD SETBACK	= 20'
MAXIMUM BUILDING HEIGHT	= 45' / 4 STORIES
MAXIMUM % IMPERVIOUS	= NONE

- PLAN REFERENCE:**
- ADMINISTRATIVE SUBDIVISION - "A.P. 123/ LOTS 165, 166 & 171 663 ADMIRAL STREET, PROVIDENCE RI 02608"; BY OCEAN STATE PLANNERS, INC.; DATED SEPTEMBER 17, 2021.
 - BOUNDARY STAKE - OUT SURVEY - "A.P. 123/ LOTS 165, 166 & 171 663 ADMIRAL STREET, PROVIDENCE RI 02608"; BY OCEAN STATE PLANNERS, INC.; DATED SEPTEMBER 17, 2021.



EXISTING CONDITIONS PLAN

PAUL D. CARLSON
No. 7142
REGISTERED PROFESSIONAL ENGINEER
CIVIL
PROFESSIONAL SEAL

"663 ADMIRAL STREET MULTI-UNIT DEVELOPMENT"
663 ADMIRAL STREET, PROVIDENCE, RI 02608
ASSESSORS MAP 123 LOTS 165, 166 & 171

APPLICANT: JOSEPH COLALUCA
566 SMITH STREET, PROVIDENCE, RI 02908

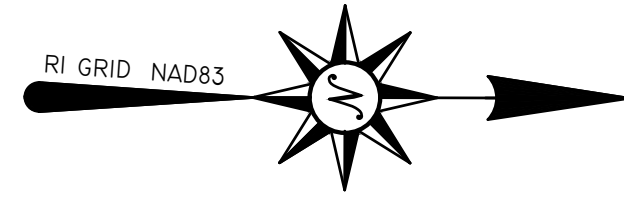
JOB # 22-022 SCALE: 1" = 10' DRAWN BY: LJJ DATE: MARCH 17, 2023

REVISED:

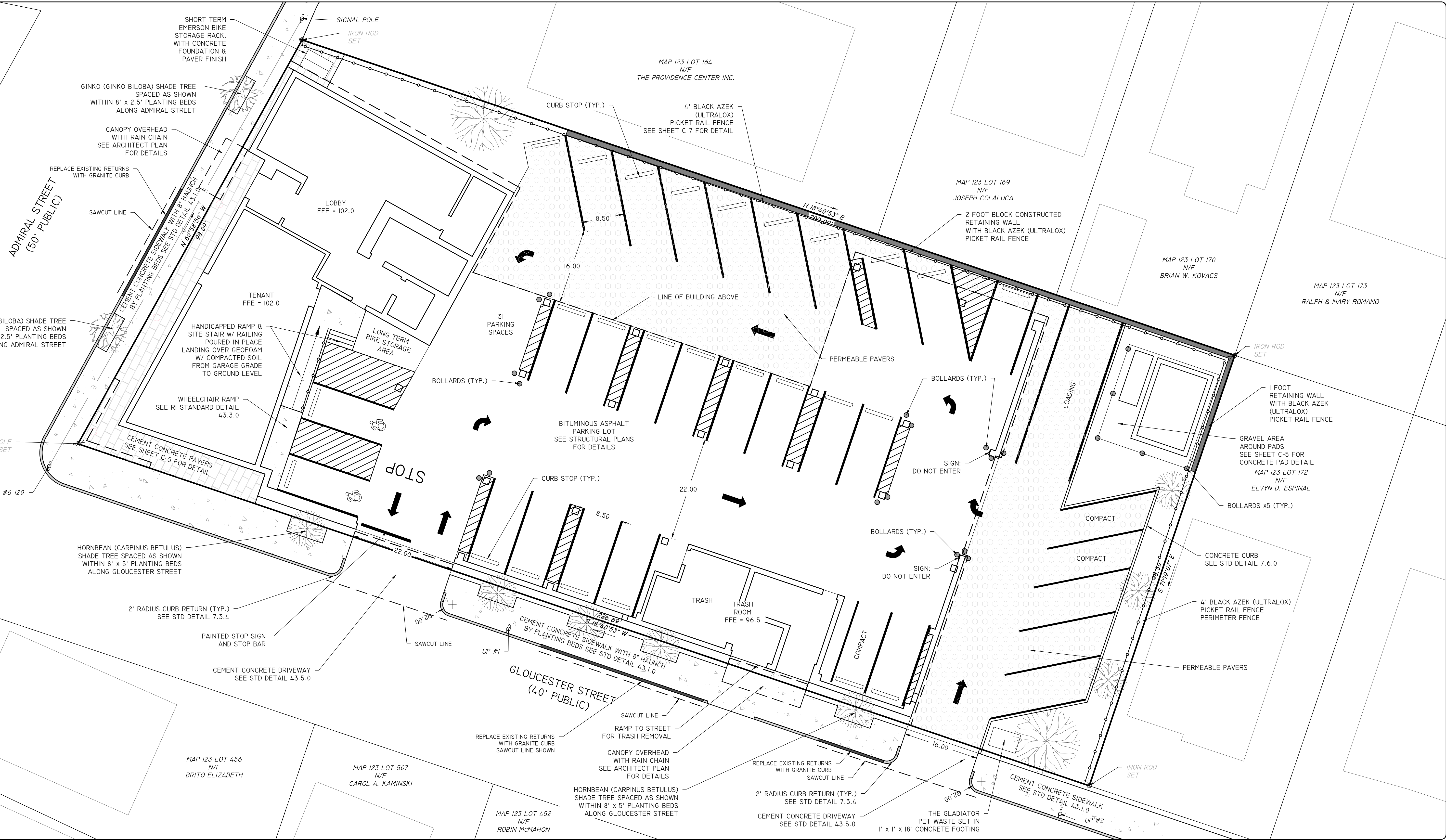
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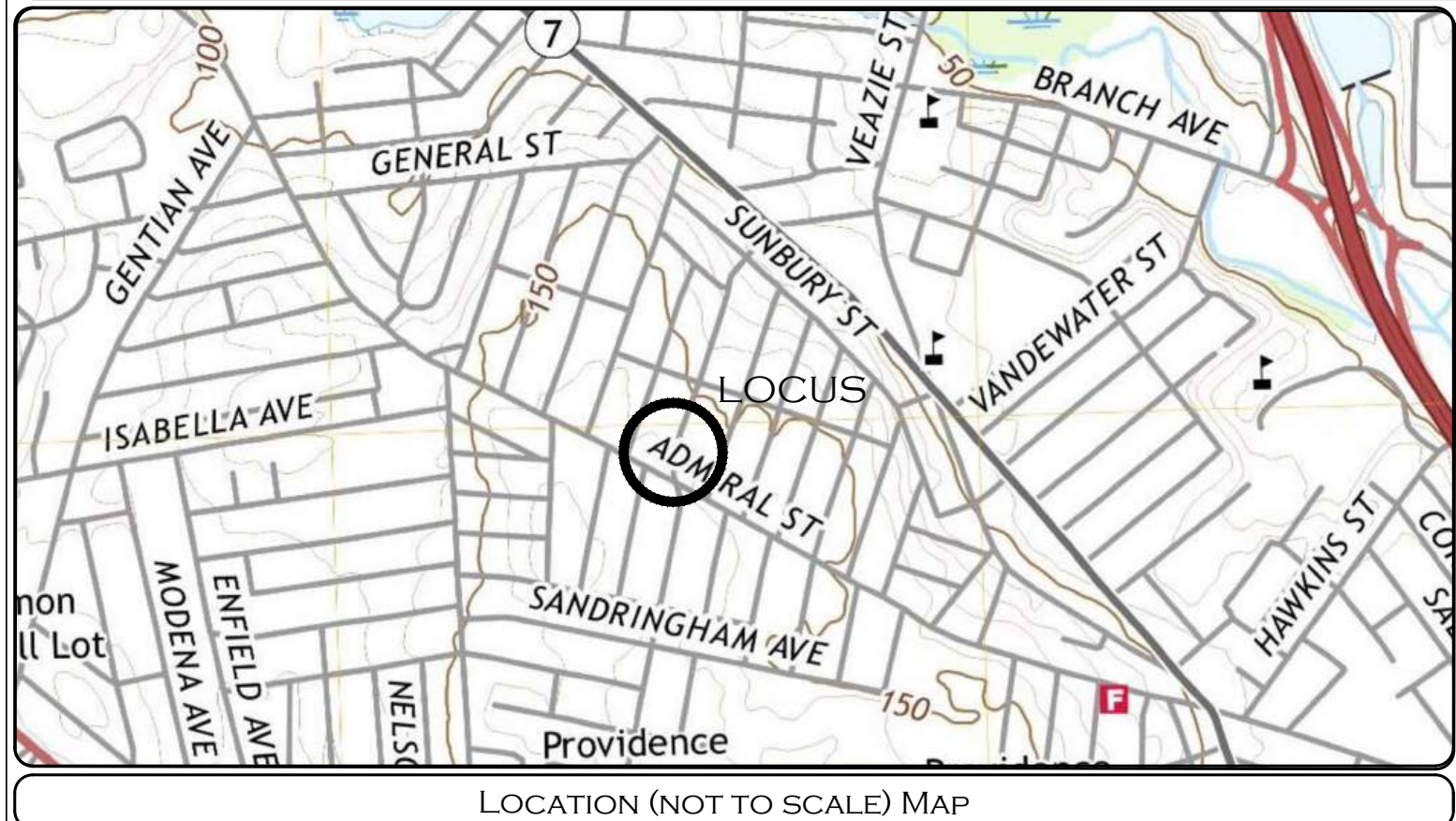
SHEET
C-1
OF 8



PARCEL A TOTAL AREA
21,026 ± S.F.
0.4827 ± ACRES



1/22/2022 6:53 AM Providence - 2205/CAD/22-022 - RISE Base - 006 - Final Plan & RISEM Resubmittal.dwg, 3/17/2023 10:06:56 AM



ZONING SUMMARY:
 PLAT: 123 LOTS: 165, 166, & 171 (MERGED W/ NO ZONE CHANGE).
 C-1 COMMERCIAL DISTRICT & RESIDENTIAL DISTRICT

DIMENSIONAL ZONING REQUIREMENTS:
COMMERCIAL - C-1 - ZONING DISTRICT
 MINIMUM AREA = NONE
 MINIMUM FRONTAGE = NONE'
 MINIMUM FRONT YARD SETBACK = BUILD-TO ZONE OF 0 FT. TO 5 FT.
 MINIMUM SIDE YARD SETBACK = 10'
 MINIMUM REAR YARD SETBACK = 20'
 MAXIMUM BUILDING HEIGHT = 45' / 4 STORIES
 MAXIMUM % IMPERVIOUS = NONE

APPLICABLE ZONING SECTIONS:
 • ZONING SECTION 202(B)
 • PERMITTED ENCROACHMENTS: TABLE I3-2
 • PERMITTED ENCROACHMENTS INTO PUBLIC RIGHT OF WAY: I3(B)
 SEE ZONING SUMMARY PLAN BY ZDS FOR DETAILED INFORMATION IN THESE SECTIONS.

PARKING REQUIREMENTS:
 COMMERCIAL PARKING REQUIREMENTS: ZONING PARKING EXEMPTION I410 (B)5 - THE FIRST 2,500 SQUARE FEET OF GROSS AREA FOR NON-RESIDENTIAL USES IN THE R-P, C-1, C-2, AND C-3 DISTRICTS ARE EXEMPT FROM ALL OFF-STREET VEHICLE AND BIKE PARKING REQUIREMENTS.

RESIDENTIAL PARKING REQUIREMENTS	REQUIRED	PROVIDED
VEHICLE SPACES: 1 PER SWELLING UNIT	48	31
LOADING SPACES: 1 PER 40,000 GFA	1	1
BICYCLE SPACES 1 PER DWELLING UNITS	10	10 (2 SHORT TERM)
LONG TERM BICYCLE SPACES: 8%	8	8

I402 (D) - 5% REDUCTION PERMITTED IF PROVIDING BIKEOSHARE
 I404 (B) - 10% OF THE REQUIRED SPACES MAY BE UP TO 10% OF THE REQUIRED SPACES (5 SPACES PERMITTED)
 FIGURE I4-1 - STANDARD PARKING SPACE DIMENSIONAL REQUIREMENT 8.5' x 18'
 FIGURE I4-1 COMPACT PARKING SPACE DIMENSIONAL REQUIREMENT 7.5' x 15'
 I405 (B) - BICYCLE PARKING SPACE DIMENSIONAL REQUIREMENT - 2 FEET X 6 FEET
 I405 (A) - SHORT TERM BICYCLE SPACES TO BE LOCATED WITHIN 50FT OF THE PRINCIPAL BUILDING ENTRANCE

R-2 PERMEABLE SPACE:
 R-2 LOT AREA: 3,860 S.F.
 65% MAX. NON-PERMEABLE COVERAGE: 2,509 S.F

LOT COVERAGE:
 BUILDING: 14,210 S.F.
 LOT AREA: 21,027 S.F.
 PERCENTAGE COVERED: 67.6%

1402 (D) - 5% REDUCTION PERMITTED IF PROVIDING BIKEOSHARE
1404 (B) - 10% OF THE REQUIRED SPACES MAY BE UP TO 10% OF THE REQUIRED SPACES (5 SPACES PERMITTED)
FIGURE I4-1 - STANDARD PARKING SPACE DIMENSIONAL REQUIREMENT 8.5' x 18'
FIGURE I4-1 COMPACT PARKING SPACE DIMENSIONAL REQUIREMENT 7.5' x 15'
I405 (B) - BICYCLE PARKING SPACE DIMENSIONAL REQUIREMENT - 2 FEET X 6 FEET
I405 (A) - SHORT TERM BICYCLE SPACES TO BE LOCATED WITHIN 50FT OF THE PRINCIPAL BUILDING ENTRANCE

GRAPHIC SCALE
 1" = 10 FEET

SITE LAYOUT PLAN

"663 ADMIRAL STREET MULTI-UNIT DEVELOPMENT"
 663 ADMIRAL STREET, PROVIDENCE, RI 02608
 ASSESSORS MAP 123 LOTS 165, 166 & 171

APPLICANT: JOSEPH COLALUCA
 566 SMITH STREET, PROVIDENCE, RI 02908

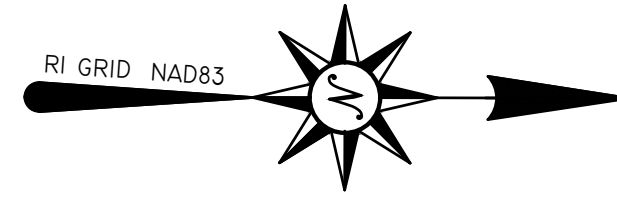
JOB # 22-022 SCALE: 1" = 10' DRAWN BY: LJJ DATE: MARCH 17, 2023
 REVISED:

PAUL D. CARLSON
 No. 7142
 REGISTERED PROFESSIONAL ENGINEER CIVIL
 PROFESSIONAL SEAL

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SHEET C-2 OF 8



SEWER MANHOLE
B.M. = 102.09
ASSUMED DATUM

PARCEL A TOTAL
AREA
21,026 ± S.F.
0.4827 ± ACRES

ADMIRAL STREET
(50' PUBLIC)

MAP 123 LOT 164
N/F
THE PROVIDENCE CENTER INC.

MAP 123 LOT 169
N/F
JOSEPH COLALUCA

MAP 123 LOT 170
N/F
BRIAN W. KOVACS

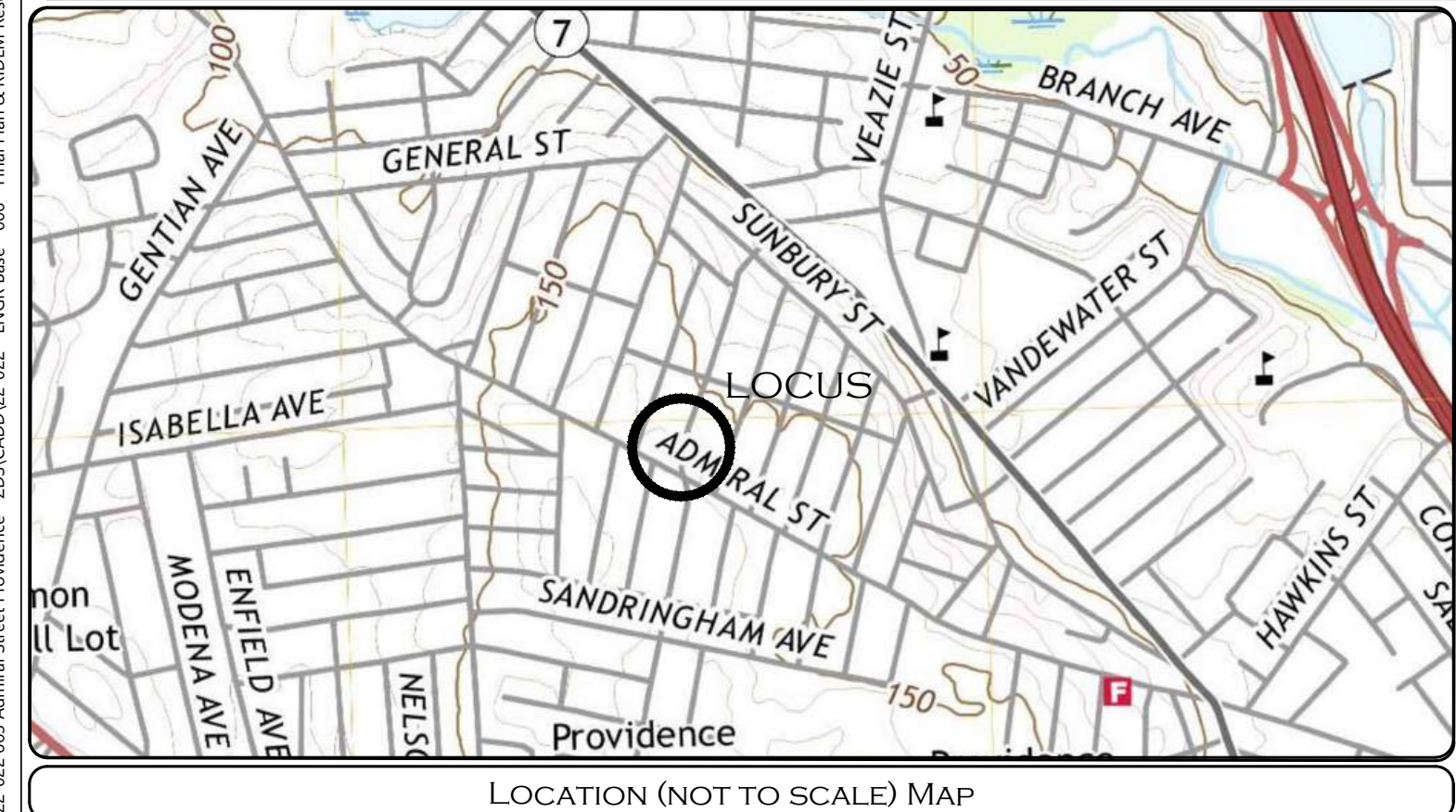
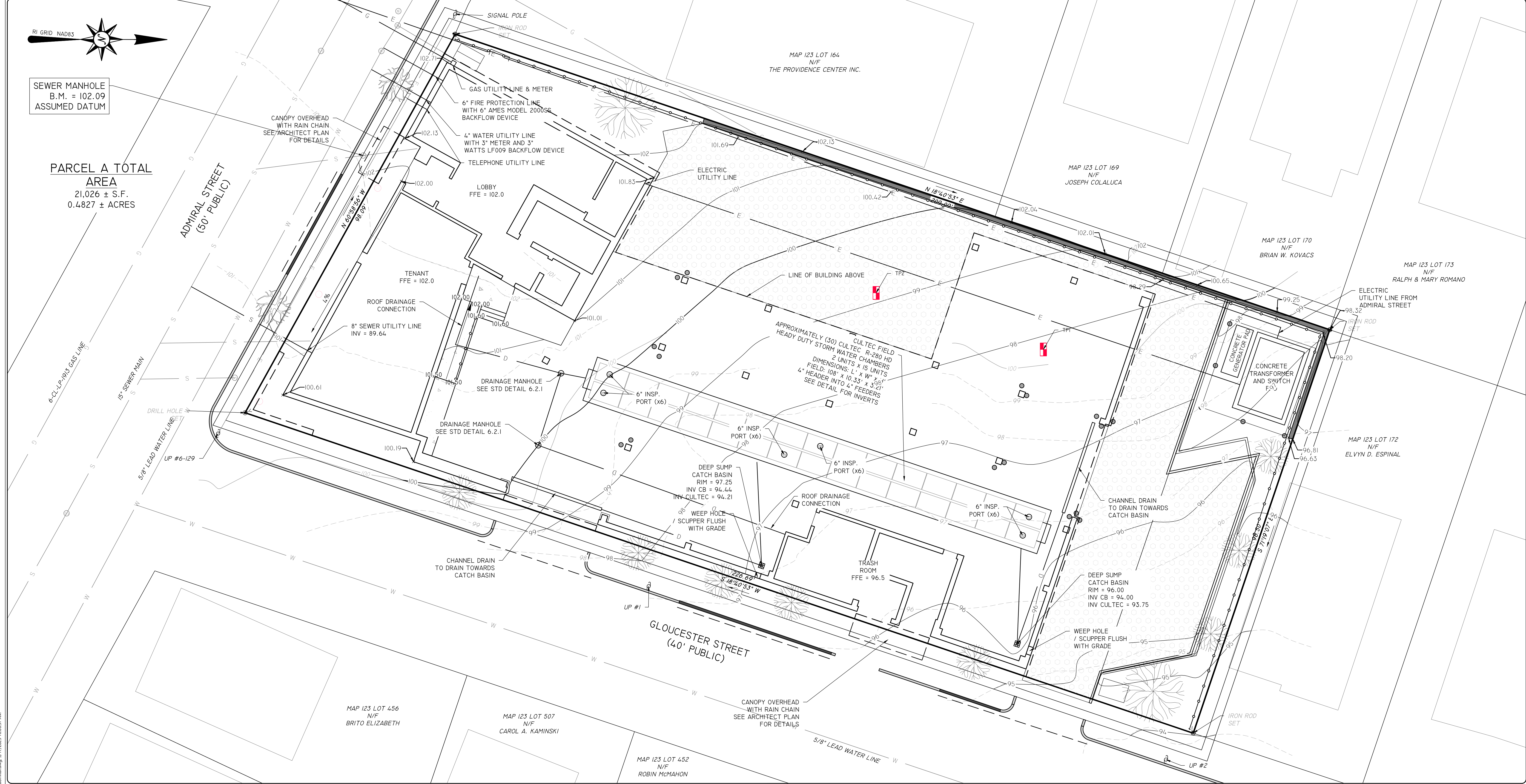
MAP 123 LOT 173
N/F
RALPH & MARY ROMANO

MAP 123 LOT 172
N/F
ELVYN D. ESPINAL

MAP 123 LOT 456
N/F
BRITO ELIZABETH

MAP 123 LOT 507
N/F
CAROL A. KAMINSKI

MAP 123 LOT 452
N/F
ROBIN McMAHON



GRADING, DRAINAGE, & UTILITY PLAN

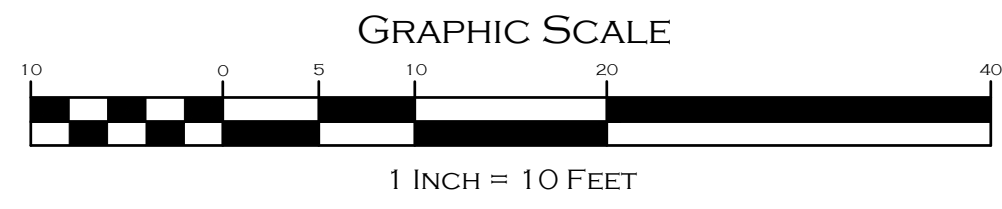
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ASSESSORS MAP 123 LOTS 165, 166 & 171

APPLICANT: JOSEPH COLALUCA
566 SMITH STREET, PROVIDENCE, RI 02908

JOB # 22-022 SCALE: 1" = 10' DRAWN BY: L.J.G. DATE: MARCH 17, 2023

REVISED:

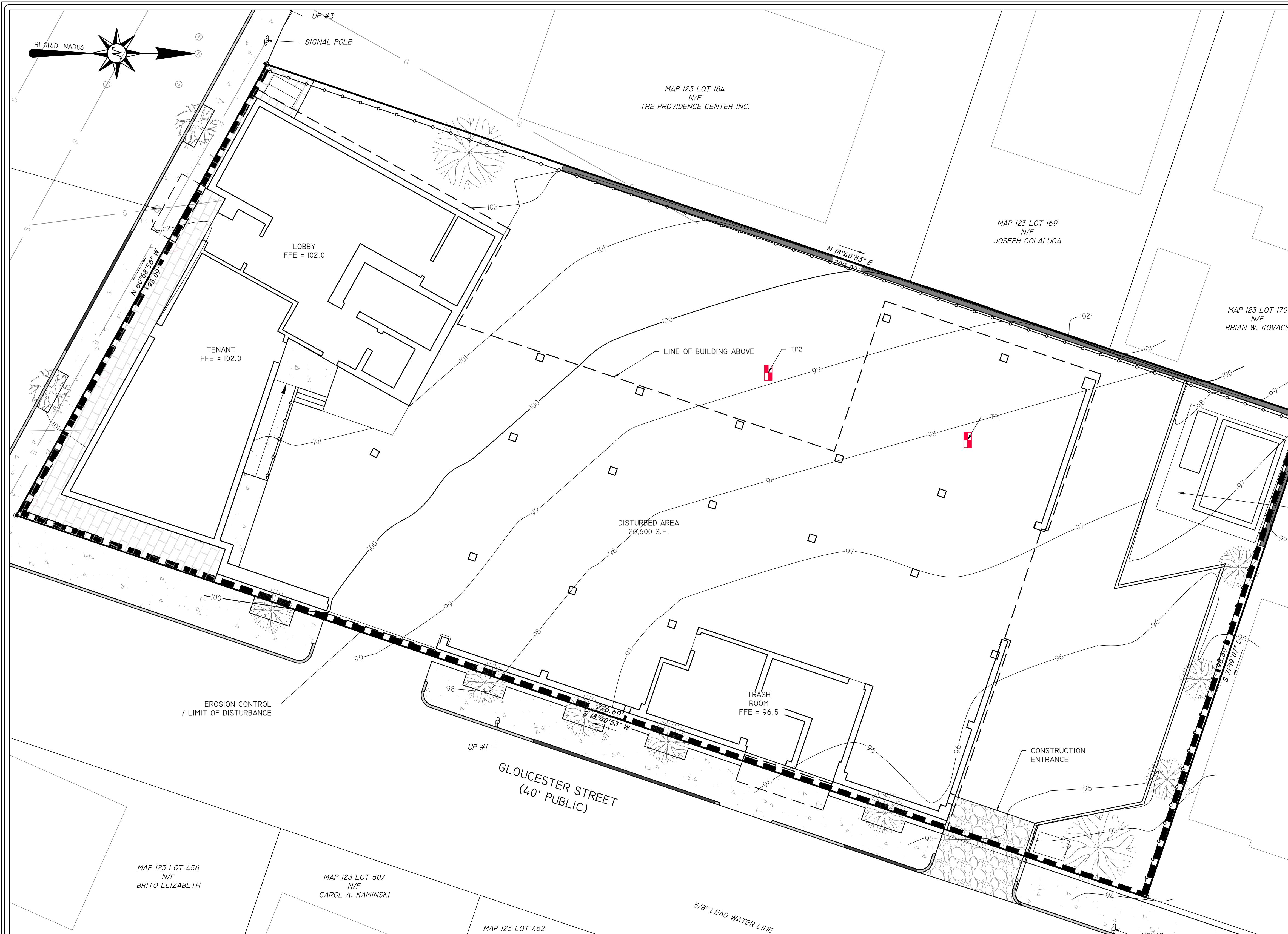


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OF 8

1/22/2023 6:53 AM Admiral Street Providence - 2205-CADD/22-022 - RINGE Base - 006 - Final Plan & RIDEIN Resubmittal.dwg, 3/17/2023 10:06:57 AM



EROSION & SEDIMENT CONTROL NOTES:

1. EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED PRIOR TO THE START OF CONSTRUCTION. GRAVEL CONSTRUCTION ENTRANCE WILL BE INSTALLED BEFORE CONSTRUCTION TRAFFIC INTO AND OUT OF PROJECT AREA BEGINS. STABILIZATION OF ALL REGRADED AND SOIL STOCKPILE AREAS WILL BE INITIATED AND MAINTAINED DURING ALL PHASES OF CONSTRUCTION.
2. ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF PROVIDENCE REGULATIONS. ALL EROSION CONTROL MEASURES ARE TO BE MAINTAINED AND UPGRADED AS REQUIRED TO ACHIEVE PROPER SEDIMENT CONTROL DURING CONSTRUCTION.
3. ADDITIONAL CONTROL MEASURES WILL BE INSTALLED DURING CONSTRUCTION PERIOD, IF DEEMED NECESSARY BY THE ENGINEER OR TOWN AGENCIES.
4. SEED TO APPLIED AT A RATE OF 4 LBS / 1000 S.F. FERTILIZER SHALL BE APPLIED AT A RATE OF 9 LBS / 1000 S.F. PLANTING SEASON SHALL BE APRIL 1 TO OCTOBER 15. AFTER OCTOBER 15 AREAS NOT SEEDED SHALL BE STABILIZED WITH HAY BALE CHECK, FILTER FABRIC OR WOODEN MULCH AS REQUIRED TO CONTROL EROSION.
5. AREAS LEFT BARE BEFORE FINISH GRADING AND SEEDING IS ACHIEVED, SHALL RECEIVE A TEMPORARY SEEDING OF PERENNIAL RYE GRASS APPLIED AT A RATE OF 9 LBS / 1000 S.F. AT A DEPTH OF 1/2". LIMESTONE (EQUIVALENT TO BE 50% CALCIUM PLUS MAGNESIUM OXIDE) SHALL BE APPLIED AS SEEDBED PREPARATION AT A RATE OF 110 LBS / 1000 S.F., WHERE GRASS PREDOMINATES. FERTILIZE ACCORDING TO A SOIL TEST AT A MINIMUM APPLICATION RATE OF 1 LB OF NITROGEN PER 1000 S.F. AREAS TO BE LEFT BARE BEFORE FINISH GRADING AND SEEDING OUTSIDE OF PLANTING SEASONS SHALL RECEIVE AN AIR-DRIED WOOD CHIP MULCH, FREE OF COURSE MATTER, TREATED WITH 12 LBS NITROGEN PER TON, APPLIED AT A RATE OF 185-275 LBS / 1000 S.F.
6. CONTRACTOR SHALL BE ASSIGNED THE RESPONSIBILITY FOR IMPLEMENTING THIS EROSION AND SEDIMENT CONTROL PLAN. THIS RESPONSIBILITY INCLUDES THE INSTALLATION AND MAINTENANCE OF CONTROL MEASURES, INFORMING ALL PARTIES ENGAGED ON THE CONSTRUCTION SITE OF THE REQUIREMENTS AND OBJECTIVES OF THE PLAN, AND NOTIFY THE PROPER TOWN AGENCY OF ANY TRANSFER OF THIS RESPONSIBILITY. THE OWNER SHALL BE RESPONSIBLE FOR CONVEYING A COPY OF THE EROSION AND SEDIMENT CONTROL PLAN IF THE TITLE TO THE LAND IS TRANSFERRED.
7. THE CONTRACTOR SHALL REQUEST THE APPROVING AUTHORITY TO INSPECT AND APPROVE THE INSTALLATION OF ALL EROSION CONTROL MEASURES PRIOR TO THE START OF CONSTRUCTION. PERIODIC INSPECTIONS OF EROSION CONTROL MEASURES MAY BE PERFORMED BY THE AGENT, THE CONTRACTOR SHALL REPAIR, UPGRADE OR REPAIR ANY MEASURES THE AGENT MAY FEEL ARE IN NEED OF SUCH.
8. LOAM SHALL BE STOCKPILED IN DESIGNATED AREAS FOR DURATION OF PROJECT. ALL LOAM MATERIAL SHALL BE REUSED ON SITE UPON FINAL GRADING OF SITE. SIX INCHES (6") OF LOAM SHALL BE USED THROUGHOUT THE SITE.
9. STOCKPILES OF SOIL SHALL BE SURROUNDED BY A SEDIMENT BARRIER. SOIL STOCKPILES TO BE LEFT BARE FOR MORE THAN FIFTEEN (15) DAYS SHALL BE STABILIZED WITH TEMPORARY VEGETATION OR MULCH. IF STOCKPILES ARE TO REMAIN FOR MORE THAN SIXTY (60) DAYS, FILTER FABRIC SHALL BE USED IN PLACE OF HAY BALES. SIDE SLOPES SHALL NOT EXCEED 2:1. STOCKPILES SHALL BE LOCATED AT LEAST 100' FROM REGULATED WETLAND RESOURCE AREAS.
10. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL DUST AND WIND EROSION THROUGHOUT THE LIFE OF HIS CONTRACT. DUST CONTROL SHALL INCLUDE BUT NOT LIMITED TO SPRINKLING WATER ON EXPOSED SOILS AND HAUL ROADS. CONTRACTOR SHALL CONTROL DUST TO PREVENT A HAZARD TO TRAFFIC ON ADJACENT ROADWAYS.
11. SEDIMENT SHALL BE REMOVED ONCE THE VOLUME REACHES 1/4 TO 1/2 THE HEIGHT OF THE STRAW WATTLE OR HAY BALE
12. DISTURBED AREAS REMAINING IDLE FOR MORE THAN 14 DAYS SHALL BE STABILIZED.
13. ALL CONSTRUCTION SEDIMENTATION SHALL BE REMOVED FROM TEMPORARY AND PERMANENT SEDIMENTATION BASINS PRIOR TO COMPLETION OF PROJECT AND ESTABLISHMENT OF ALL SLOPES. BASINS SHALL BE GRADED AND SHAPED TO DESIGN PARAMETERS.
14. SURFACE STONE OF THE ACCESS ROAD SHALL BE SCARIFIED ONCE A YEAR TO PREVENT COMPACTION.

NOTES:

THE ENGINEER SHALL PERFORM FREQUENT INSPECTION OF THE STORMWATER SYSTEM DURING CONSTRUCTION, WITH CLEANING AND MAINTENANCE AS WARRANTED. DURING ACTIVE CONSTRUCTION PERIODS, WEEKLY INSPECTION IS REQUIRED.

IF CONSTRUCTION IS SUSPENDED (E.G., OVER THE WINTER), THEN MONTHLY INSPECTIONS ARE REQUIRED. IN ADDITION, THE SYSTEM SHOULD BE CHECKED AFTER ANY SIGNIFICANT RAINFALL, TO INSURE IT IS FUNCTIONING CORRECTLY AND TO MONITOR SEDIMENT ACCUMULATION FROM THE DISTURBED AREAS OF THE SITE.

ROUGH GRADING

DURING GRADING, THE POTENTIAL FOR EROSION IS HIGH. DURING GRADING OPERATIONS, DISTURBED SLOPES WILL BE MULCHED AND VEGETATION ESTABLISHED TO PREVENT SEDIMENT EROSION TO THE SATISFACTION OF THE ENGINEER.

OPERATION & MAINTENANCE PLAN

THIS PLAN SHOULD BE USED IN CONJUNCTION WITH SEPARATE OPERATIONS AND MAINTENANCE PLAN DOCUMENT

THIS PLAN SHOULD BE USED IN CONJUNCTION WITH SEPARATE STORMWATER POLLUTION PREVENTION PLAN DOCUMENT

THE MAINTENANCE AND UPKEEP ON THE EXISTING ROADWAY WILL INCLUDE THE FOLLOWING ELEMENTS:

CONSTRUCTION VEHICLES SHALL BE LIMITED TO ONE ACCESS POINT ON EACH LOT WHERE A CRUSHED-STONE CONSTRUCTION PAD ENTRANCE SHALL BE INSTALLED IN THE AREA OF THE PERMANENT DRIVEWAY TO ENSURE THAT MUD AND DEBRIS ARE NOT TRACKED ONTO THE ROADWAY. IF MUD IS INADVERTENTLY TRACKED ONTO THE ROAD, IT SHOULD BE REMOVED PROMPTLY.

GENERAL MAINTENANCE OF EROSION CONTROL ELEMENTS INCLUDING REGRAVING, REVEGETATION, REPLACING RIPRAP, ETC., ON AN AS NEEDED BASIS.

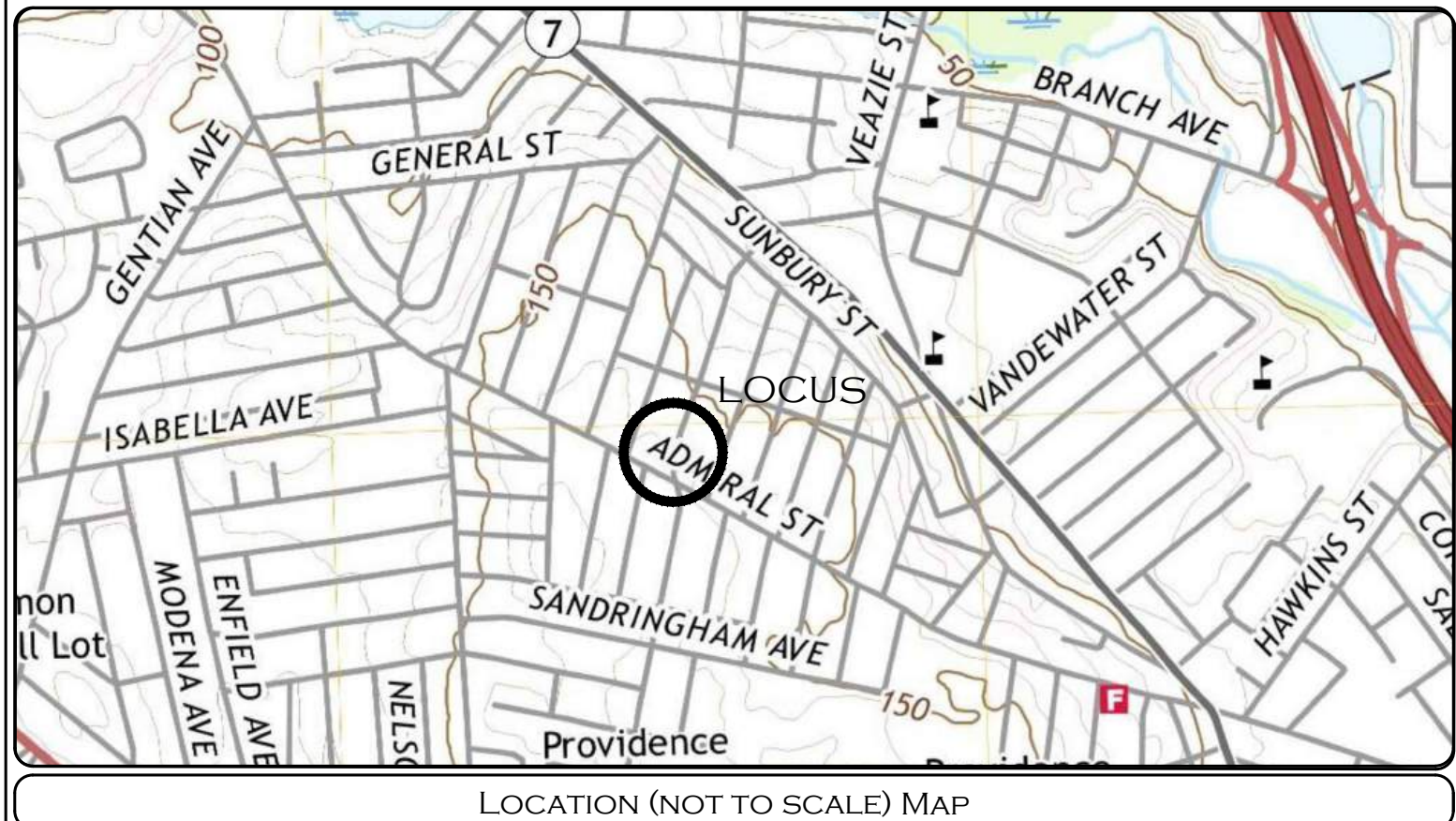
INFILTRATION FACILITY AND CATCH BASINS WILL BE INSPECTED SEMI-ANNUALLY BY THE OWNER AND WILL BE MAINTAINED AS REQUIRED.

BUILD UP OF SEDIMENTATION AND DEBRIS SHALL BE MONITORED AND REMOVED ON A SEMI-ANNUALLY BASIS IN ORDER TO KEEP THE DISCHARGES AND FLOWS INTO THE INFILTRATION FACILITY FUNCTIONING PROPERLY.

ALL STORMWATER MANAGEMENT SYSTEMS MUST HAVE AN OPERATION AND MAINTENANCE PLAN TO ENSURE THAT SYSTEMS FUNCTION AS DESIGNED.

THE OWNER WILL BE RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF THE STORMWATER MANAGEMENT SYSTEM AND ALL OF ITS APPURTENANCES. THE FOLLOWING MAINTENANCE PROGRAM SHALL BE IMPLEMENTED:

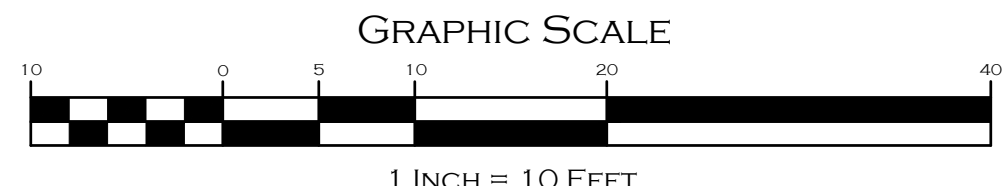
THE OWNER SHALL KEEP A WRITTEN RECORD OF INSPECTION DATES AND FINDINGS, MAINTENANCE OPERATIONS, AND ALL REPAIRS. AN INSPECTION/MAINTENANCE CHECKLIST SHALL BE USED IN THE SPECIFIED INSPECTIONS, RECORDS OF INSPECTIONS AND MAINTENANCE SHALL BE KEPT FOR AT LEAST THREE YEARS, AND AVAILABLE ON REASONABLE NOTICE FOR INSPECTION BY THE APPROPRIATE TOWN AGENCY.



NOTES:

- CONSTRUCTION PROCEDURES AND SEQUENCING**
- THE ENGINEER SHALL HAVE THE SOLE RESPONSIBILITY FOR THE DESIGN IMPLEMENTATION. HE SHALL BE RESPONSIBLE FOR ENSURING THAT ALL CONTRACTORS AND SUBCONTRACTORS ARE AWARE OF THE PROVISIONS ON THE PLANS.
- THE CONTRACTOR SHALL ORGANIZE SITE CONSTRUCTION IN A MANNER WHICH WILL ENSURE THE IMMEDIATE STABILIZATION OF SURFACES. PERIMETER CONTROLS EQUAL APPROVED PROJECT LIMITS.
- PRIOR TO ANY CONSTRUCTION ON SITE, THE CONTRACTOR SHALL SETUP PRE-CONSTRUCTION MEETING WITH OWNER, ENGINEER, TOWN PLANNING AND DPW PERSONAL.
- PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, A LINE OF STAKED STRAW WATTLE AND OR HAYBALES, WILL BE PLACED AT ALL CONSTRUCTION TOE OF SLOPES IN THE AREA OF ROADWAY, PONDS, LANDSCAPED AREAS, AND ALONG PERIMETER OF PROJECT LIMIT OF DISTURBANCE WHERE INDICATED ON PROJECT PLANS.
- RESERVE EROSION CONTROL DEVICES SHALL BE STOCKPILED ON SITE IN THE EVENT OF EMERGENCIES AND SHALL BE LOCATED 100' FROM REGULATED WETLAND RESOURCE AREAS.
- THE CONTRACTOR SHALL MAKE ALL NECESSARY PROVISIONS FOR THE PROPER STORAGE AND/OR REMOVAL OF DEBRIS ON SITE TO AVOID UNNECESSARY ACCUMULATION ON SITE.
- DRAINAGE STRUCTURES SHALL BE CONSTRUCTED FROM DOWNSTREAM UP AND CONSTRUCTION SHALL INCLUDE THE PLACEMENT OF STONE AT THE FLARED PIPE ENDS AND OUTLET STRUCTURE INLETS AND OUTLETS AS SHOWN ON PROJECT PLANS.

- IN STREAM CONTROLS SUCH AS HAYBALE CHECK DAMS SHALL BE ESTABLISHED PRIOR TO CONSTRUCTION.
- TO PROTECT THE INFILTRATION SURFACES (BENEATH AND ADJACENT TO THE RECHARGE SYSTEMS) FROM DEGRADATION BY CONSTRUCTION ACTIVITIES INCLUDE:
1. PREVENTION OF CONTAMINATION OF THE EXPOSED SUBGRADE BY CONSTRUCTION VEHICLES.
 2. PREVENTION OF EXCESSIVE COMPACTION BY CONSTRUCTION VEHICLES.
 3. PREVENTION OF THE DISCHARGE OF WATER FROM CONSTRUCTION DEWATERING ACTIVITIES INTO THESE FACILITIES.
 4. PREVENTION OF DISCHARGE OF STORMWATER INTO THESE FACILITIES UNTIL THE CONTRIBUTING AREAS ARE STABILIZED, UNLESS SPECIFIC MEASURES ARE PROVIDED FOR PROTECTING AND RESTORING THE INFILTRATION SURFACE.



EROSION & SEDIMENT CONTROL PLAN			
		"663 ADMIRAL STREET MULTI-UNIT DEVELOPMENT" 663 ADMIRAL STREET, PROVIDENCE, RI 02608 ASSESSORS MAP 123 LOTS 165, 166 & 171	
APPLICANT: JOSEPH COLALUCA 566 SMITH STREET, PROVIDENCE, RI 02908		JOB # 22-022 SCALE: 1" = 10' DRAWN BY: LJJ DATE: MARCH 17, 2023	
REVISED:			
INSITE Engineering Services, LLC PROFESSIONAL ENGINEERS LAND SURVEYORS Precision. Clarity. Certainty.		InSite Professional Complex, Suite 1 1539 Fall River Avenue, Seekonk, MA 02771 Phone: (508) 336-4500 Fax: (508) 336-4558 Web Address: InSiteEngineers.com	
SHEET C-4 OF 8		COPYRIGHT: INSITE ENGINEERING SERVICES	

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GENERAL

- THE GENERAL CONTRACTOR SHALL PROVIDE ANY NEW FIELD INFORMATION AS THE CONSTRUCTION WORK PROGRESSES AND SHALL FOLLOW ANY MODIFICATIONS TO THE DESIGN AS A RESULT OF UNANTICIPATED FIELD CONDITIONS.
- THE GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AS THEY RELATE TO NEW CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE ARCHITECT AND/OR ENGINEER PRIOR TO THE PREPARATION OF SHOP DRAWINGS AND CONSTRUCTION.
- ALL WORK SHALL BE COORDINATED WITH THE ARCHITECTURAL, ELECTRICAL AND MECHANICAL DRAWINGS. ANY INTERFERENCES OR CONFLICTS IN DIMENSIONS SHALL BE REPORTED TO THE ARCHITECT AND/OR ENGINEER PRIOR TO THE START OF CONSTRUCTION.
- THE GENERAL CONTRACTOR SHALL REVIEW SHOP DRAWINGS FOR ALL APPLICABLE TRADES AND COORDINATE THEM BETWEEN DISCIPLINES PRIOR TO SUBMITTING THEM FOR ENGINEER REVIEW AND COMMENT. MATERIAL SHALL NOT BE FABRICATED NOR DELIVERED TO THE CONSTRUCTION SITE UNTIL THE ENGINEER HAS REVIEWED THE SHOP DRAWINGS.
- IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO PROVIDE ALL NECESSARY SHORING OR TEMPORARY SUPPORT OF THE STRUCTURE FOR EACH CONSTRUCTION PHASE.
- DETAILS, SECTIONS AND NOTES CONTAINED IN THESE STRUCTURAL DRAWINGS SHALL BE TYPICAL FOR ALL SIMILAR CONDITIONS (U.O.N.)
- SPECIAL INSPECTION REQUIRED FOR SUBGRADE, CONCRETE AND STEEL PER IBC CHAPTER 17 AND CMR. OWNER SHALL HIRE SPECIAL INSPECTION COORDINATOR, TESTING LAB AND INSPECTION FIRM TO COMPLETE REPORTS REQUIRED BY CODE AND COORDINATE TIMES TO REVIEW INSPECTION WITH CONTRACTOR. SPECIAL INSPECTION COORDINATOR SHALL CREATE DOCUMENT LISTING ALL REQUIREMENTS OF GEOTECH, TESTING LAB, AND INSPECTION AGENCY AND SHALL FILE SAID REPORTS WITH BUILDING OFFICIAL AND CONTRACTOR AS REQUIRED BY CODE.

DESIGN LOADS AND CRITERIA

DESIGN CODE: ASCE 7-16, 2021 RI BUILDING CODE (SBC-1), 2018 IBC

OCCUPANCY CATEGORY: II

SNOW LOADS	GROUND SNOW LOAD, p_g	35 PSF
	FLAT ROOF SNOW LOAD, $p = 0.7(C_e)(C_t)(I_s)(p_g)$	27 PSF
	DESIGN SNOW LOAD	30 PSF
	SNOW EXPOSURE FACTOR, C_e	1.0
	THERMAL FACTOR, C_t	1.1
	SNOW LOAD IMPORTANCE FACTOR, I_s	1.0
	SNOW DRIFT (WHERE APPLIES)	48 PSF (78 PSF TOTAL)

WIND LOADS	ULTIMATE WIND SPEED (V_{ult})	130 MPH	
	WIND IMPORTANCE FACTOR	1.0	
	WIND EXPOSURE	B	
	WIND UPLIFT PRESSURES	SEE DIAGRAMS	
	WIND CLADDING PRESSURES ON WALLS (MAIN / EDGE)		
		10	$\pm 38 / \pm 47$ PSF
		20	$\pm 37 / \pm 44$ PSF
	AREA (SF)	50	$\pm 34 / \pm 40$ PSF
		100	$\pm 33 / \pm 37$ PSF
		> 500	$\pm 29 / \pm 29$ PSF
WIND LOADS	WIND CLADDING PRESSURES ON ROOF (MAIN / EDGE / CORNER)		
		10	$\pm 37 / \pm 62 / \pm 93$ PSF
		20	$\pm 36 / \pm 55 / \pm 77$ PSF
	AREA (SF)	50	$\pm 35 / \pm 47 / \pm 56$ PSF
		> 100	$\pm 34 / \pm 40 / \pm 40$ PSF
		N-S	145 KIPS
	WIND BASE SHEAR	E-W	340 KIPS

SEISMIC LOADS	SEISMIC IMPORTANCE FACTOR, I_e	1.0	
	SPECTRAL RESPONSE ACCELERATION, S_s	0.176	
	SPECTRAL RESPONSE ACCELERATION, S_1	0.062	
	LONG-PERIOD TRANSITIONAL PERIOD, T_L	6 SEC	
	SITE CLASS	C	
	DESIGN SPECTRAL RESPONSE COEFFICIENT, S_{ds}	0.153	
	DESIGN SPECTRAL RESPONSE COEFFICIENT, S_{d1}	0.062	
	SEISMIC DESIGN CATEGORY	A	
	BASIC SEISMIC FORCE RESISTING SYSTEM	GROUND TO U/S 2ND	STEEL SYSTEMS NOT SPECIFICALLY DETAILED FOR SEISMIC RESISTANCE
		2ND TO ROOF	LIGHT-FRAME WOOD WALLS
SEISMIC BASE SHEAR	N-S	55 KIPS	
	E-W	55 KIPS	
RESPONSE MODIFICATION COEFFICIENT, R	GROUND TO U/S 2ND	R=3	
	2ND TO ROOF	R=6.5	
SEISMIC RESPONSE COEFFICIENT, C_s	GROUND TO U/S 2ND	0.01	
	2ND TO ROOF	0.01	
ANALYSIS PROCEDURE: EQUIVALENT LATERAL FORCE PROCEDURE (TWO STAGE)			

GEOTECHNICAL	DESIGN LOAD BEARING VALUE PER GEOTECHNICAL REPORT BY "RMA ENVIRONMENTAL, LLC" DATED 4/7/2022	4,000 PSF
FROST	PER LOCAL BUILDING CODES	3'-4" MIN

OCCUPANCY	LOADING SCHEDULE			
	SUPERIMPOSED DEAD LOAD (PSF)	LIVE LOAD (PSF)	LIVE LOAD REDUCTION	CONCENTRATED LOAD (LBS)
CORRIDORS ABOVE 1ST FLOOR	30	100	NO	-
GROUND FLOOR LOBBIES AND PUBLIC AREAS	30	100	NO	-
GARAGE	15	40	NO	3,000
STAIRS	40	100	NO	-
ROOF	20	20	NO	300
RESIDENTIAL	15	40	YES	-

CONCRETE

- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS SHOWING ALL REBAR LOCATIONS, CONTROL JOINTS, CONSTRUCTION JOINTS, AND ISOLATION JOINTS FOR SLABS ON GRADE PRIOR TO CONCRETE PLACEMENT. CONCRETE PLACEMENT SHALL NOT BEGIN UNTIL THESE DRAWINGS HAVE BEEN REVIEWED BY THE ENGINEER.
- ALL CONCRETE SHALL BE NORMAL WEIGHT (U.O.N.)
- 28 DAY COMPRESSIVE STRENGTH FOR CONCRETE SHALL BE:
 - FOOTINGS: 3000 PSI
 - SLAB ON GRADE: 3500 PSI & 0.45 MAX. W/C RATIO (SINCE VAPOR BARRIER DIRECTLY BELOW)
 - WALLS: 4000 PSI
 - ELEVATED SLABS: LW CONC: 3500 PSI
- ALL REINFORCING BARS SHALL BE OF NEW BILLET STEEL CONFORMING TO ASTM A615, GRADE 60.
- ALL CONTINUOUS REINFORCING BARS SHALL BE LAPPED IN ACCORDANCE WITH THE "DEVELOPMENT LENGTH AND SPLICE TABLE" OR 48 BAR DIAMETERS (MINIMUM).
- ALL WELDED WIRE FABRIC (W.W.F.) SHALL CONFORM TO ASTM A185. LAP 2 SQUARES AT ALL JOINTS AND TIE @ 3'-0" O.C.
- ALL REINFORCING STEEL SHALL BE PLACED TO PROVIDE THE FOLLOWING MINIMUM CONCRETE COVER:
 - BEAMS TO STIRRUPS: 1 1/2" - INTERIOR | 2 1/2" - EXTERIOR
 - COLUMNS: 1 1/2" TO TIES
 - FOOTINGS: 3"
 - FOUNDATION WALLS/GRADE BEAMS: 2" AT EXT. FACE, 1-1/2" AT INT. FACE
 - WALLS NOT EXPOSED TO WEATHER OR IN CONTACT WITH GROUND: 3/4"
 - FRAMED SLABS: 1" - TOP | 3/4" - BOTTOM | 1 1/2" - EXTERIOR
 - PIERS AND PILASTERS: 2" TO TIES
 - SLABS ON-GRADE: 1 1/2" - TOP (U.O.N.)
 - SLABS ON STEEL DECK: 1" - TOP
- NO BARS SHALL BE CUT OR OMITTED IN THE FIELD BECAUSE OF SLEEVES, DUCT OPENINGS, OR RECESSES. BARS MAY BE MOVED ASIDE WITHOUT CHANGE IN LEVEL WITH THE ENGINEER'S APPROVAL.
- ENGINEER'S APPROVAL IS REQUIRED FOR ALL PIPE PENETRATIONS THROUGH CONCRETE THAT DO NOT CONFORM TO THE TYPICAL DETAILS SHOWN ON THE TYPICAL DETAIL SHEETS. SLEEVES SHALL NOT BE PLACED IN CONCRETE BEAMS WITHOUT WRITTEN APPROVAL OF THE STRUCTURAL ENGINEER.
- ALL KEYS SHALL BE 2" x 4" WITH BEVELED SIDES (U.O.N.).
- ALL REBAR LAP SPLICES SHALL BE IN ACCORDANCE WITH THE PROVISIONS OF THE ACI 318-14.
- DETAILS NOT SHOWN ON THE DRAWINGS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE ACI DETAILING MANUAL 315.
- FOR AREAS OF EXPOSED CONCRETE WALL OR EXPOSED STEEL COLUMNS ENCASED IN CONCRETE, PROVIDE PROPER FORMWORK/LINER SUCH THAT FINISH IS CLEAN AND OF ARCHITECTURAL QUALITY. COORDINATE WITH ARCH DETAILS WHERE WALL IS EXPOSED AND WHERE FINISH IS DESIRED.

9. ENGINEER'S APPROVAL IS REQUIRED FOR ALL PIPE PENETRATIONS THROUGH CONCRETE THAT DO NOT CONFORM TO THE TYPICAL DETAILS SHOWN ON THE TYPICAL DETAIL SHEETS. SLEEVES SHALL NOT BE PLACED IN CONCRETE BEAMS WITHOUT WRITTEN APPROVAL OF THE STRUCTURAL ENGINEER.

10. ALL KEYS SHALL BE 2" x 4" WITH BEVELED SIDES (U.O.N.).

11. ALL REBAR LAP SPLICES SHALL BE IN ACCORDANCE WITH THE PROVISIONS OF THE ACI 318-14.

12. DETAILS NOT SHOWN ON THE DRAWINGS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE ACI DETAILING MANUAL 315.

13. FOR AREAS OF EXPOSED CONCRETE WALL OR EXPOSED STEEL COLUMNS ENCASED IN CONCRETE, PROVIDE PROPER FORMWORK/LINER SUCH THAT FINISH IS CLEAN AND OF ARCHITECTURAL QUALITY. COORDINATE WITH ARCH DETAILS WHERE WALL IS EXPOSED AND WHERE FINISH IS DESIRED.

STRUCTURAL STEEL

1. STEEL CONSTRUCTION SHALL CONFORM TO THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION SPECIFICATIONS AND ITS CODE OF STANDARD PRACTICE.

2. MATERIALS FOR STRUCTURAL STEEL SHALL CONFORM TO THE FOLLOWING ASTM SPECIFICATIONS:

- STRUCTURAL CHANNEL SHAPES (C & MC): ASTM A572, GRADE 50
- STRUCTURAL WIDE FLANGE SHAPES (W & Wt): ASTM A992 (50 KSI)
- STRUCTURAL HSS TUBE: ASTM A500, GRADE B/C (46/50 KSI)
- STRUCTURAL HSS PIPE: ASTM A500, GRADE B (42 KSI)
- MISC. STEEL (ANGLES, PLATES & BARS): ASTM A36

3. ANCHOR BOLTS SHALL BE OF F1554 (GRADE 55) STEEL.

4. ALL STEEL WITH EXTERIOR EXPOSURE SHALL RECEIVE A MINIMUM OF FIELD APPLIED FINISH COAT AFTER PRIMER TOUCH UP. FINISH COAT SHALL BE EPOXY BASED WITH A MIN THICKNESS OF 2.0 MILS. IT IS PREFERRED THAT ALL STEEL IS GALVANIZED - CONTRACTOR SHALL DETERMINE STEEL FINISH.

5. STRUCTURAL STEEL FRAME SHALL BE LEVEL AND PLUMB PRIOR TO COMPLETING CONNECTIONS.

6. ALL WELDING SHALL BE PERFORMED IN ACCORDANCE WITH STANDARDS OF THE AMERICAN WELDING SOCIETY. ELECTRODES MUST MEET E70XX SERIES REQUIREMENTS, LOW HYDROGEN, WITH MINIMUM TENSILE STRESS OF 70,000 PSI.

7. ALL WELDERS ARE TO BE LICENSED AND CERTIFIED TO AWS STANDARDS OR THOSE REQUIRED BY APPLICABLE BUILDING CODE.

8. ALL BOLTED CONNECTIONS SHALL BE MADE USING 3/4" DIAMETER A325-TC BOLTS INSTALLED IN ACCORDANCE WITH "SPECIFICATIONS FOR STRUCTURAL JOINTS USING ASTM A325 OR 490 BOLTS", UNLESS OTHERWISE DETAILED.

9. ALL STEEL CONNECTIONS, INCLUDING SHEAR, MOMENT AND BRACE FRAME CONNECTIONS SHALL BE DESIGNED BY A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF RHODE ISLAND. SUBMIT STAMPED DRAWINGS AND CALCULATIONS FOR REVIEW BY THE ENGINEER OR RECORD.

10. STEEL CONNECTIONS SHALL BE DESIGNED BY FABRICATOR'S ENGINEER AND STAMPED CALCS SHALL BE SUBMITTED PRIOR TO SHOP DRAWINGS. END REACTIONS FOR SHEAR CONNECTIONS TO BE DESIGNED IN ACCORDANCE WITH THE FOLLOWING TABLE:

END REACTIONS FOR SHEAR CONNECTIONS			
BEAM SIZES	MIN REQ'D SHEAR CAPACITY (ASD)	BEAM SIZES	MIN REQ'D SHEAR CAPACITY (ASD)
W8X10-W8X18 W10X12-W10X15	10 K	W14X68+ W16X67+ W18X60-W18X71 W21X55-W21X62	70 K
W8X21-W8X28 W10X17-W10X26 W12X14-W12X19 W8X31+	25 K	W18X76+ W21X68-W21X73 W24X55-W24X68	90 K
W10X30-W10X45 W12X22-W12X30 W14X22-W14X30	30 K	W21X83+ W24X76-W24X94 W27X84-W27X94 W30X99	110 K
W10X49+ W12X35-W12X58 W14X34-W14X48 W16X26-W16X40	40 K		
W12X65+ W14X53-W14X61 W16X45-W16X57 W18X35-W18X55 W21X44-W21X50	50 K	OTHERS	SEE PLANS

WOOD

- ALL WORK SHALL BE IN CONFORMANCE WITH THE AFPA STANDARDS AND SPECIFICATIONS.
- DIMENSIONAL LUMBER USED IN A STRUCTURAL CAPACITY SHALL BE SPRUCE PINE FIR #2 OR BETTER WITH THE FOLLOWING MINIMUM PROPERTIES: $F_b = 775$ PSI, $F_v = 135$ PSI, $E = 1,100,000$ PSI
- PARALLAM PSL HEADERS AND BEAMS OR ANTHONY POWER BEAMS SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES: $F_b = 3,100$ PSI, $F_v = 290$ PSI, $E = 2,000,000$ PSI
- PARALLAM PSL COLUMNS OR ANOTHY POWER COLUMNS SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES: $F_b = 2,400$ PSI, $F_c = 2,500$ PSI, $E = 1,800,000$ PSI
- LAMINATED VENEER LUMBER (LVL) MEMBERS SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES: $F_b = 3,100$ PSI, $F_v = 300$ PSI, $E = 2,000,000$ PSI
- ANY WOOD IN DIRECT CONTACT WITH CONCRETE, EXPOSED TO UNHEATED BASEMENT AND CRAWL SPACES, OR EXPOSED TO THE EXTERIOR SHALL BE PRESSURE TREATED.
- ALL FASTENERS SHALL BE IN CONFORMANCE WITH THE FASTENING SCHEDULE IN IBC LATEST EDITION. SEE TABLE 2304.9.1 FOR MIN FASTENING SCHEDULE.
- ALL NAILS ARE TO BE COMMON NAILS.
- FASTENERS EXPOSED TO THE WEATHER SHALL BE GALVANIZED OR STAINLESS STEEL. ALL WOOD POST CAPS AND BASE CONNECTIONS SHALL BE APPROVED GALV. "SIMPSON'S" POST CAP AND BASE PREFABRICATED ASSEMBLIES, UNLESS OTHERWISE NOTED. SUBMIT SHOP DRAWINGS FOR REVIEW.
- BORED OR CUT HOLES SHALL NOT BE CUT OR BORED MORE THAN 1/3 OF THE DEPTH OF ANY LOAD BEARING STUD WITHOUT REINFORCEMENT. EDGES OF ANY HOLES SHALL BE LOCATED AT A MINIMUM OF 5/8" FROM THE STUD EDGE. BORED HOLES SHALL NOT BE LOCATED AT A CUT OR NOTCH IN THE STUD. ALL SLEEVES SHALL BE IN ONE PIECE, WITH A MINIMUM EXTENSION OF FOUR INCHES ABOVE AND BELOW THE HOLE ON THE WIDE FACE OF THE STUD.
- ALL WALLS SHALL BE CAPPED WITH DOUBLE TOP PLATES INSTALLED TO PROVIDE OVERLAPPING CORNERS AND INTERSECTIONS. TOP PLATE JOINTS SHALL BE OFFSET NOT LESS THAN 48 INCHES.

COMPOSITE FLOOR CONSTRUCTION

1. THE COMPOSITE FLOOR CONSTRUCTION SHALL BE 4 1/2" L.W. CONCRETE ($f'_c = 4000$ PSI) OVER 3" COMPOSITE STEEL DECK (7 1/2" TOTAL), U.O.N. ON THE PLANS. THE SLAB SHALL BE REINFORCED WITH 6#6-W2.1XW2.1 WELDED WIRE FABRIC SUPPORTED ON CHAIRS PROVIDING 1 1/2" COVER.

2. THE COMPOSITE FLOOR SLAB SHALL BE REINFORCED OVER GIRDER LINES WITH #4 REBAR x 7'-0" LONG SPACED AT 12" O.C. BARS SHALL BE CENTERED OVER BEAM LINES AND PLACED ON TOP OF THE WELDED WIRE FABRIC

3. FLOOR DECK SHALL BE 18 GAUGE 3" DEEP GALVANIZED COMPOSITE DECK AND SHALL BE CONTINUOUS OVER A MINIMUM OF 2 SPANS.

4. SHEAR CONNECTORS SHALL BE HEADED STUD TYPE, ASTM A108 GRADE 1015 OR 1020 COLD FINISHED CARBON STEEL. THEY SHALL BE 3/4" DIA. UNLESS NOTED OTHERWISE.

5. FOR W27 BEAMS AND DEEPER, PROVIDE (2) SHEAR STUDS AT A MAXIMUM OF 1'-0" OC, U.O.N. FOR ALL OTHER BEAMS, PROVIDE SHEAR STUDS AT MAXIMUM SPACING OF 1'-0" O.C. U.O.N., EVEN IF THIS EXCEEDS THE NUMBER CALLED FOR ON THE DRAWINGS. SHEAR STUDS SHALL BE SPACED UNIFORMLY ALONG THE TOP FLANGE OF THE BEAM AND SHALL BE INSTALLED BY AN EXPERIENCED ERECTOR WHO KNOWS PROPER SEQUENCE (ENOS FIRST, STRONG VS WEAK, ETC).

6. POUR STOPS AND CELL CLOSURES SHALL BE PROVIDED AT ALL SLAB EDGES, MINIMUM OVERHANG AND POUR STOP THICKNESSES SHOULD CONFORM TO ANS/SDI-C-2011, USER NOTE ATTACHMENT 1, OR PER TYPICAL DETAILS PRESENTED IN THESE DRAWINGS, WHICHEVER IS MORE CONSERVATIVE. PROVIDE ADDITIONAL REINFORCEMENT FOR SLAB EDGES EXTENDING 6" OR MORE PAST EDGE OF STEEL BEAM FLANGE AS PER CALCULATIONS.

FOUNDATION

1. STRUCTURES WORKSHOP DESIGNED THE FOUNDATION USING BEARING VALUES PER THE GEOTECH REPORT.

2. ALL FOOTINGS SHALL BE PLACED DIRECTLY ON VIRGIN SOIL OR CERTIFIED COMPACTED FILL AS DIRECTED BY THE GEOTECHNICAL REPORT. ALL SUBGRADE WORK SHALL FOLLOW GEOTECHNICAL REPORT REQUIREMENTS.

3. ALL EXTERIOR FOOTINGS SHALL BE PLACED A MINIMUM OF 4'-0" BELOW FINAL GRADE WHEN BEARING ON SOIL. ALL BOTTOM OF FOOTING ELEVATIONS ARE SUBJECT TO CHANGE UPON INSPECTION OF SOIL CONDITION. ELEVATION OF ADJACENT FOOTINGS SHALL VARY ON A SLOPE NOT STEEPER THAN ONE VERTICAL TO TWO HORIZONTAL.

4. DIFFERENTIAL BACKFILL AGAINST FOUNDATION WALLS SHALL NOT EXCEED TWO FEET UNTIL TOP BRACING SLAB OR FRAMEWORK HAS BEEN IN PLACE FOR A MINIMUM OF THREE DAYS. CANTILEVERED RETAINING WALLS MAY BE BACKFILLED 28 DAYS AFTER CONCRETE PLACEMENT, BUT IN NO CASE SHALL DIFFERENTIAL OF BACKFILL, BETWEEN OPPOSITE SIDES OF THE WALL, EXCEED THE FINAL DESIGN DIFFERENTIAL.

5. THE CONTRACTOR SHALL NOTIFY THE ENGINEER WHERE BOTTOM OF FOOTING ELEVATION IS CHANGED AND OBTAIN REVISED DESIGN OF THE FOUNDATION AND RETAINING WALLS AS REQUIRED.

6. ALL CONCRETE SHALL BE MIXED, TRANSPORTED, AND PLACED IN ACCORDANCE WITH ACI STANDARDS 318, 304, 301.

POST-INSTALLED ADHESIVE ANCHORS INTO MASONRY

1. ANCHORING ADHESIVES FOR USE IN GROUT-FILLED AND HOLLOW CONCRETE MASONRY UNITS (CMU) SHALL BE QUALIFIED PER ICC ES AC308. ADHESIVE ANCHOR DESIGN SHALL BE IN ACCORDANCE WITH ALLOWABLE STRESS DESIGN PROCEDURES.

2. ANCHORING ADHESIVES FOR USE IN BRICK MASONRY FOR IMPROVEMENTS TO THE LATERAL FORCE RESISTING SYSTEMS OF EXISTING STRUCTURES SHALL BE QUALIFIED PER ICC ES AC308. ADHESIVE ANCHOR DESIGN SHALL BE IN ACCORDANCE WITH ALLOWABLE STRESS DESIGN PROCEDURES.

3. NO ADHESIVE ANCHORS SHALL BE INSTALLED UNTIL THE MASONRY HAS REACHED ITS SPECIFIED 28-DAY COMPRESSIVE STRENGTH AND IS AT LEAST 7 DAYS OLD. ALLOWABLE CAPACITY OF ADHESIVE ANCHORS INSTALLED INTO MASONRY WITH COMPRESSIVE STRENGTH LESS THAN THE SPECIFIED 28-DAY COMPRESSIVE STRENGTH SHALL BE BASED ON THE STRENGTH OF MASONRY AT THE TIME OF ANCHOR LOADING.

4. ALL ADHESIVE ANCHOR INSTALLATIONS SHALL BE SUBJECT TO CONTINUOUS SPECIAL INSPECTION.

5. ADHESIVE ANCHORS INSTALLED IN BRICKWORK OR HOLLOW CMU SHALL INCORPORATE THE USE OF THE ANCHORING ADHESIVE MANUFACTURER'S RECOMMENDED SCREEN TUBE.

6. ACCEPTABLE ANCHORING ADHESIVES FOR GROUT-FILLED CMU BASE MATERIALS SHALL BE ONE OF THE FOLLOWING:

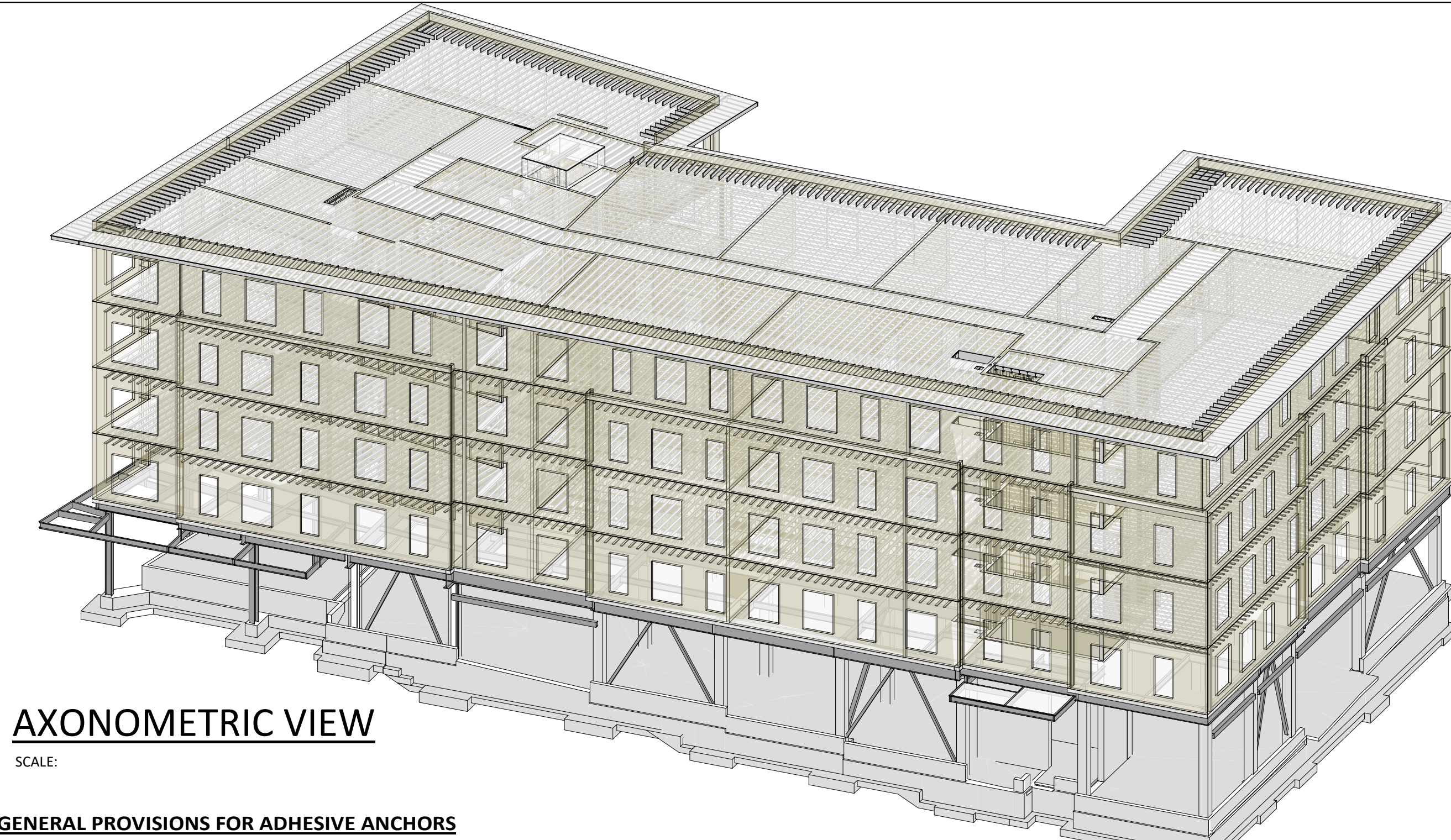
- AT-XP, SET-XP, OR ET-HP AS MANUFACTURED BY SIMPSON STRONG-TIE CO.
- HIT-HY 270, OR HIT-HY 200 AS MANUFACTURED BY HILTI CORPORATION

7. ACCEPTABLE ANCHORING ADHESIVES FOR BRICK MASONRY BASE MATERIALS SHALL BE ONE OF THE FOLLOWING:

- AT-SET, OR ET-HP AS MANUFACTURED BY SIMPSON STRONG-TIE CO.
- HIT-HY 270 AS MANUFACTURED BY HILTI CORPORATION
- T308+ AS MARKETED BY POWERS FASTENERS

8. ACCEPTABLE ANCHORING ADHESIVES FOR HOLLOW CMU BASE MATERIALS SHALL BE ONE OF THE FOLLOWING:

- AT-SET, OR ET-HP AS MANUFACTURED BY SIMPSON STRONG-TIE CO.
- HIT-HY 270 AS MANUFACTURED BY HILTI CORPORATION



AXONOMETRIC VIEW

SCALE:

GENERAL PROVISIONS FOR ADHESIVE ANCHORS

1. ALL ADHESIVE ANCHOR INSTALLATIONS SHALL BE IN STRICT ACCORDANCE WITH THE ANCHORING ADHESIVE MANUFACTURER'S PRINTED INSTALLATION INSTRUCTIONS (MPI). INSTALLATION PROCEDURES SHALL INCLUDE USE OF ALL MANUFACTURER-RECOMMENDED ACCESSORIES.

2. THE DESIGN OF ADHESIVE ANCHORS IS BASED ON THE ASSUMPTION THAT ANCHORING ADHESIVES WILL BE INSTALLED INTO DRY BASE MATERIALS. THE CONTRACTOR/ADHESIVE ANCHOR INSTALLER SHALL NOTIFY THE STRUCTURAL ENGINEER OF RECORD AND AWAIT AUTHORIZATION, IN WRITING; TO PROCEED WITH ADHESIVE ANCHOR INSTALLATIONS INTO WET, WATER-SATURATED, WATER-FILLED, OR SUBMERGED BASE MATERIALS.

3. ANCHORING ADHESIVES AND ALL ASSOCIATED INSTALLATION ACCESSORIES SUCH AS DISPENSING TOOLS, NOZZLES, RETAINING CAPS, PISTON PLUGS, HOLE CLEANING BRUSHES, SCREEN TUBES, ETC., SHALL BE FROM A SINGLE SOURCE SUPPLIER. THREADED OR SPECIALTY INSERTS PLACED INTO ANCHORING ADHESIVES SHALL BE FROM THE SAME SINGLE SOURCE SUPPLIER WHERE AVAILABLE. GENERIC THREADED INSERTS SHALL BE PERMITTED WHERE DETAILED.

4. HOLES FOR ANCHORING ADHESIVES SHALL BE DRILLED WITH CARBIDE-TIPPED DRILL BITS HAVING DIAMETERS CONFORMING TO THE TOLERANCES SPECIFIED IN ANS B212.15 AND ROTARY HAMMER DRILLS OR ROCK DRILLS. OTHER DRILL BITS AND/OR DRILLING PROCEDURES SHALL BE PREVIOUSLY AUTHORIZED IN WRITING BY THE STRUCTURAL ENGINEER OF RECORD. DRILL BIT (HOLE) DIAMETERS SHALL BE IN ACCORDANCE WITH THE ANCHORING ADHESIVE MANUFACTURER'S RECOMMENDATIONS AND TOLERANCES FOR THE BASE MATERIAL AND INSERT TYPE PROPOSED FOR THE ANCHORAGE.

5. NEW NOZZLES PLACED ON ANCHORING ADHESIVE CARTRIDGES SHALL BE PURGED AS NECESSARY UNTIL THE ANCHORING ADHESIVE IS PROPERLY MIXED BEFORE COMMENCING PLACEMENT OF SUCH ADHESIVE IN A PREPARED HOLE. PROPERLY MIXED ANCHORING ADHESIVE SHALL BE VISUALLY VERIFIED BY OBSERVING THAT THE ADHESIVE HAS REACHED A CONSISTENT AND UNIFORM COLOR.

6. AFTER DISPENSING SUFFICIENT ADHESIVE VOLUME IN A PREPARED HOLE, INSERTS SUCH AS ALL-THREADED ROD, REBAR, OR SPECIALTY INSERTS, ETC., SHALL BE PLACED AND SET IN THE HOLE BEFORE THE ANCHORING ADHESIVE'S GEL TIME (WORKING TIME) HAS EXPIRED. GEL TIMES SHALL BE PROPERLY ADJUSTED FOR THE EFFECTS OF BASE MATERIAL TEMPERATURE, ANCHORING ADHESIVE TEMPERATURE, AND LARGE VOLUME INSTALLATIONS. CONTACT ANCHORING ADHESIVE MANUFACTURER'S REPRESENTATIVES FOR ASSISTANCE WITH APPROPRIATE GEL TIME ADJUSTMENTS.

7. FOLLOWING EXPIRATION OF AN ANCHORING ADHESIVE'S GEL TIME (WORKING TIME), PLACED AND SET INSERTS SHALL REMAIN UNDISTURBED UNTIL THE ANCHORING ADHESIVE'S FULL CURE TIME HAS ELAPSED. REFER TO ANCHORING ADHESIVE MANUFACTURER'S PRINTED CURE TIME RECOMMENDATIONS.

8. DO NOT DISPENSE OR INSTALL ANCHORING ADHESIVES IN BASE MATERIALS WHEN SUCH BASE MATERIAL TEMPERATURES EXCEED THE INSTALLATION TEMPERATURE LIMITS AS PRESCRIBED BY THE ANCHORING ADHESIVE MANUFACTURER FOR A PARTICULAR ADHESIVE. MINIMUM BASE MATERIAL TEMPERATURES, OR WARMER (UP TO A MAXIMUM OF 100 DEGREES FAHRENHEIT), SHALL BE CONTINUOUSLY MAINTAINED FROM DISPENSING UNTIL FULL CURE TIME HAS ELAPSED.

9. FIELD PROOF LOAD TESTS SHALL BE IN ACCORDANCE WITH APPLICABLE PROVISION OF ASTM E488. FIELD TESTS SHALL BE PERFORMED AS CONFINED TENSION TESTS, UNLESS SPECIFIED TO THE CONTRARY ELSEWHERE IN THE CONTRACT DOCUMENTS OR OTHERWISE DIRECTED BY THE STRUCTURAL ENGINEER OF RECORD.

POST-INSTALLED ADHESIVE ANCHORS INTO CONCRETE

1. ANCHORING ADHESIVES FOR USE IN CONCRETE SHALL BE QUALIFIED PER ACI 308.4, AND WHERE APPROPRIATE ICC ES AC308, FOR BOTH UNCRACKED AND CRACKED CONCRETE SERVICE CONDITIONS. ADHESIVE ANCHORS DESIGNED FOR PERMANENT SERVICE CONDITIONS SHALL BE IN ACCORDANCE WITH ACI 318-14, CHAPTER 17 (2018 IBC) OR ICC ES AC308.

2. ADHESIVE ANCHOR INSTALLERS SHALL BE QUALIFIED PER THE ACI/CRSI ADHESIVE ANCHOR INSTALLER CERTIFICATION PROGRAM TO INSTALL ADHESIVE ANCHORS IN HORIZONTAL TO VERTICALLY UPWARD (OVERHEAD) ORIENTATIONS SUBJECT TO SUSTAINED TENSION LOADS. SUCH INSTALLATIONS SHALL BE SUBJECT TO CONTINUOUS SPECIAL INSPECTION.

3. NO ADHESIVE ANCHORS SHALL BE INSTALLED UNTIL THE CONCRETE HAS REACHED ITS SPECIFIED 28-DAY COMPRESSIVE STRENGTH AND IS AT LEAST 7 DAYS OLD, UNLESS SPECIFICALLY AUTHORIZED TO THE CONTRARY IN WRITING BY THE STRUCTURAL ENGINEER OF RECORD.

4. ALL ADHESIVE ANCHOR INSTALLATIONS SHALL BE SUBJECT TO PERIODIC SPECIAL INSPECTION, EXCEPT WHERE MORE RIGOROUS SPECIAL INSPECTION IS REQUIRED PER THESE GENERAL NOTES OR SPECIFIED ELSEWHERE IN THE CONTRACT DOCUMENTS.

5. ADHESIVE ANCHORS PROPOSED FOR INSTALLATION IN BUILDINGS CATEGORIZED AS SEISMIC DESIGN CATEGORY C, D, E, OR F SHALL BE DESIGNED FOR CRACKED CONCRETE SERVICE CONDITIONS.

6. ADHESIVE ANCHOR DESIGNS FOR LOAD COMBINATIONS THAT INCLUDE EARTHQUAKE FORCES IN BUILDINGS CATEGORIZED AS SEISMIC DESIGN CATEGORY C, D, E, OR F SHALL INCORPORATE THE ADDITIONAL PROVISIONS OF ACI 318, CHAPTER 17, SECTION 17.2.3.

7. ACCEPTABLE ANCHORING ADHESIVES FOR CONCRETE BASE MATERIALS SHALL BE ONE OF THE FOLLOWING:

- AT-XP, SET-XP, OR ET-HP AS MANUFACTURED BY SIMPSON STRONG-TIE CO.
- HIT-HY 200, HIT-RE 500-SD, OR HIT-HY 200 AS MANUFACTURED BY HILTI CORPORATION
- AC 100+ GOLD, PURE110+, OR PE1000+ AS MARKETED BY POWERS FASTENERS

8. ADHESIVE ANCHORS DESIGNED FOR TEMPORARY SERVICE CONDITIONS MAY BE DESIGNED USING ALLOWABLE STRESS DESIGN METHODS.

DRAWING LIST		PERMIT SET - 2022 10 05	CD SET - 2023 03 17
SHEET NUMBER	SHEET NAME		
S0.00	GENERAL NOTES	X	X
S0.10	GENERAL NOTES & SPECIAL INSPECTIONS	X	X
S0.20	FOUNDATION ISOMETRIC	X	X
S1.00	BASEMENT PLAN	X	X
S1.01	GROUND FLOOR PLAN	X	X
S1.01A	CANOPY PARTIAL FRAMING PLAN	X	

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CONSULTANT

PROJECT NAME

ADMIRAL ST. MULTI-UNIT DEVELOPMENT

663 ADMIRAL STREET,
PROVIDENCE, RI 02908

PROJECT NO. 22028

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REVISIONS

NO.	DESCRIPTION	DATE

CONSTRUCTION DRAWINGS

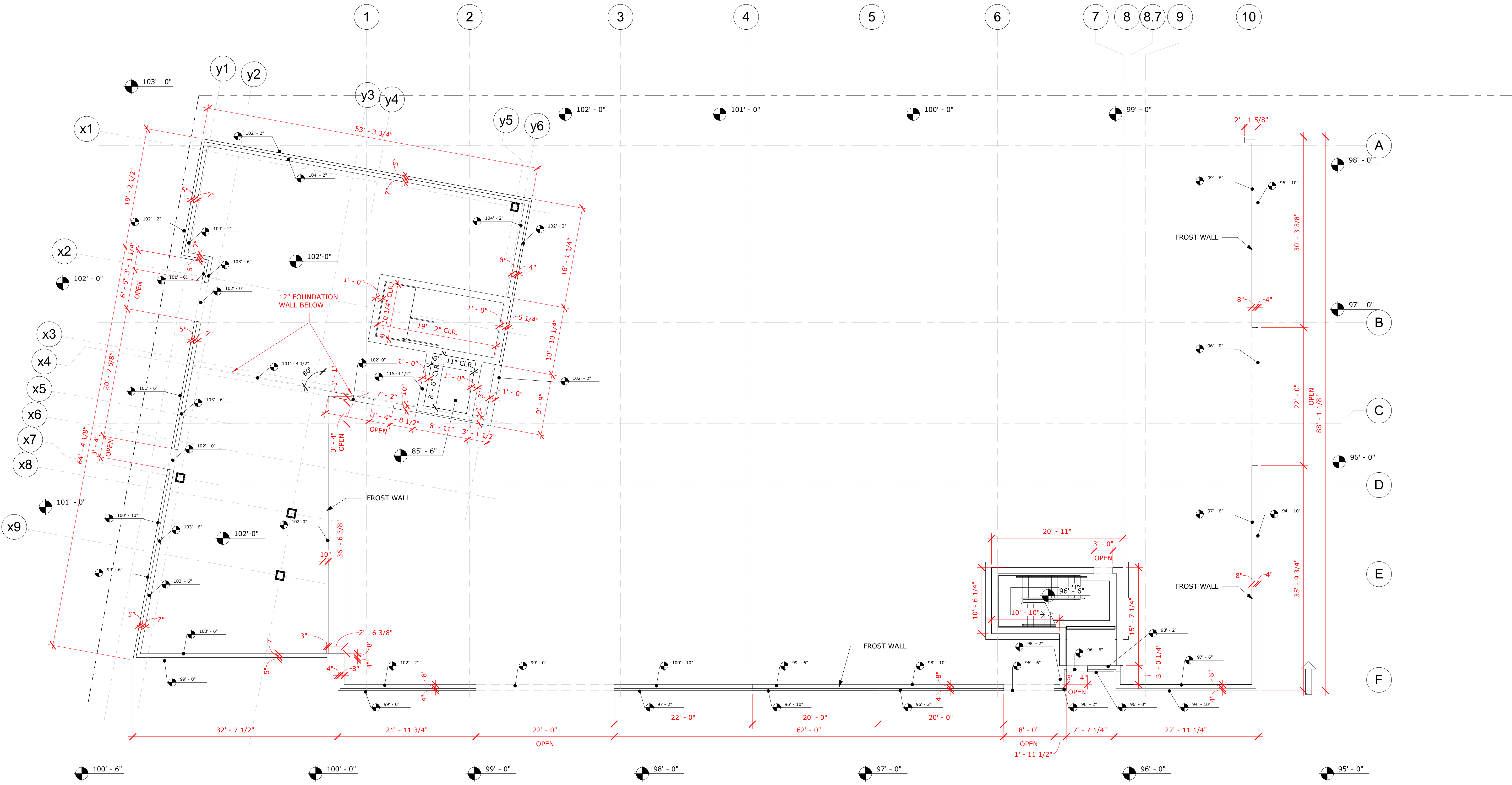
ISSUED DATE: 03/17/2023

SHEET TITLE

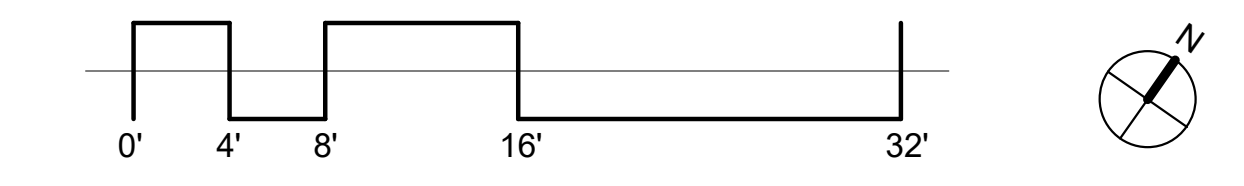
FOUNDATION FLOOR PLAN

DRAWING NO.

A1.00



1 FOUNDATION / TOP OF WALL ELEVATION PLAN
1/8" = 1'-0"

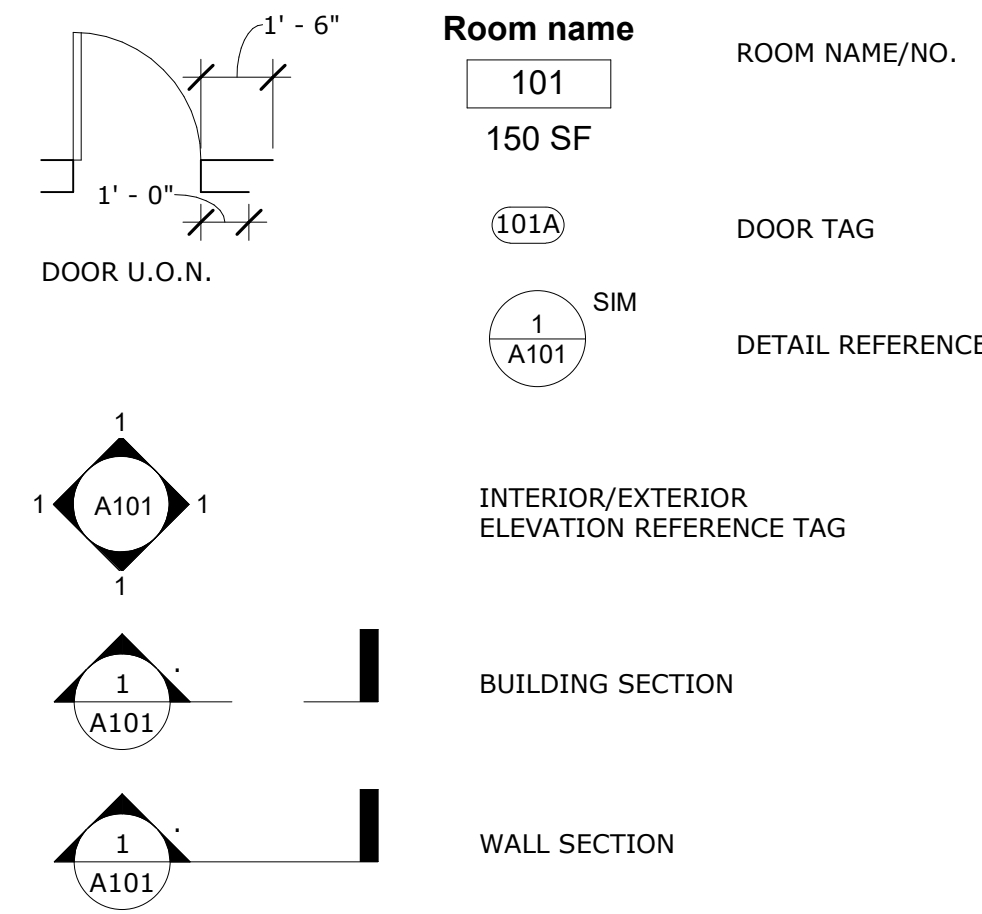


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PLAN NOTES:

- ANY CONFLICT BETWEEN SITE CONDITIONS & DRAWINGS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT.
- SEE WALL TYPE PAGE FOR WALL CONSTRUCTION
- ALL DOOR FRAMES TO BE 4" FROM NEAREST PERPENDICULAR PARTITION U.O.N.
- REVIEW LAYOUTS FOR PARTITIONS IN-FIELD w/ ARCHITECT PRIOR TO THE START OF CONSTRUCTION.
- ALL EXPOSED STEEL TO BE AESS - GRADE 1
- REFER TO ENLARGED PLANS FOR ADDITIONAL INFORMATION, DIMENSIONS, ETC.
- CONTRACTOR IS RESPONSIBLE FOR CARRYING FURRING TO ACCOMMODATE ELECTRICAL JUNCTION BOXES AT MASONRY AND CONCRETE WALLS.
- ALL PENETRATIONS ARE TO BE SEALED TO MAINTAIN FIRE & ACUSTICAL RATING.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING IN-WALL BLOCKING AT ALL AREAS OF NEW WALL-MOUNTED FIXTURES/FURNISHINGS/EQUIPMENT, INCLUDING BUT NOT LIMITED TO CABINERY, MILLWORK & PLUMBING FIXTURES.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING ACCESS PANELS IN HARD CEILINGS FOR MECHANICAL EQUIPMENT WHEREVER VALVES, CONTROLS, OR ACCESS IS REQUIRED. PAINT PANELS TO MATCH WALL/CEILING (TYP).
- DIMENSIONS
 - CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DIMENSIONS IN-FIELD.
 - DRAWINGS ARE NOT TO BE SCALED; VERIFY ANY MISSING OR CONFLICTING DRAWN DIMENSIONS w/ ARCHITECT PRIOR TO CONSTRUCTION.
 - NOTIFY ARCHITECT OF CONDITIONS WHERE "CLEAR" OR CRITICAL DIMENSIONS ARE DESIGNATED BUT CANNOT BE MET OR WHERE CORRIDOR/AISLE WIDTH CANNOT MEET MINIMUM REQUIREMENTS.
 - MAINTAIN FINISH FLOOR BASE ELEVATION THROUGHOUT THE CONTRACT AREA SUCH THAT ALL DIMENSIONS INDICATED AS "ABOVE FINISH FLOOR" ARE AT THE SAME ELEVATION.
 - ALL DIMENSIONS OF FIXTURES, DEVICES, ETC. ARE TO C/L OF FIXTURE, U.O.N. WHERE ITEMS ARE IN LINE, CENTERLINE OF ITEMS OR GROUPS OF ITEMS ARE TO ALIGN U.O.N.
- REFER TO MEP+FP DRAWINGS FOR ALL MEP/FP SCOPE. LOW VOLTAGE (SECURITY/ TEL DATA/ ACCES CONTROL) BY OWNER.
- DIMENSIONING STANDARDS
 - ALL EXTERIOR DIMENSIONS ARE MEASURED TO EXTERIOR FACE OF STUD/ROUGH OPENING
 - ALL INTERIOR DIMENSIONS ARE MEASURED FROM FACE OF STUD OF STUD OF EXTERIOR WALLS AND TO MIDPOINT OF INTERIOR WALLS.

PLAN LEGEND:



CORRIDOR FINISHES:

CORRIDOR(S):	FLOOR: CP-01: MOHAWK CARPET TILE BASE: WD-01: 6" WD BASE PTD WALL: P-05X: GWB PTD UNIT ENTRIES: P-07X: ACCENT PTD, 1X4 TRIM, REFER TO DOOR SHEET A8.00 FOR DESIGN INTENT CEILING: P-06X: GWB
AMENITY:	FLOOR: CP-02, MOHAWK CARPET TILE BASE: WD-01, 6" WD BASE PTD WALL: P-01X: GWB PTD CEILING: P-04X: GWB
ELEVATOR LOBBY:	W-01: WALL COVERING
NOTE: REFER TO A9.00 FOR FULL FINISH SCHEDULE	
NOTE: LIGHTING REFER TO ELECTRICAL DWGS FOR ALL LIGHTING, ARCHITECT DRAWINGS FOR GENERAL LOCATIONS ONLY	

BOH FINISHES:

TRASH ROOM:	FLOORING: SP-05: EPOXY FLOOR BASE: R-01: RUBBER WALL BASE WALL: R-06: FRP PANELS UP TO 6FT, PAINT ABOVE CEILING: CT-01: PTD
OTHER BOH:	FLOORING: R-05: VCT ARMSTRONG BASE: R-01: RUBBER WALL BASE WALL: P-01B: GWB PTD CEILING: CT-01: PTD

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CONSULTANT

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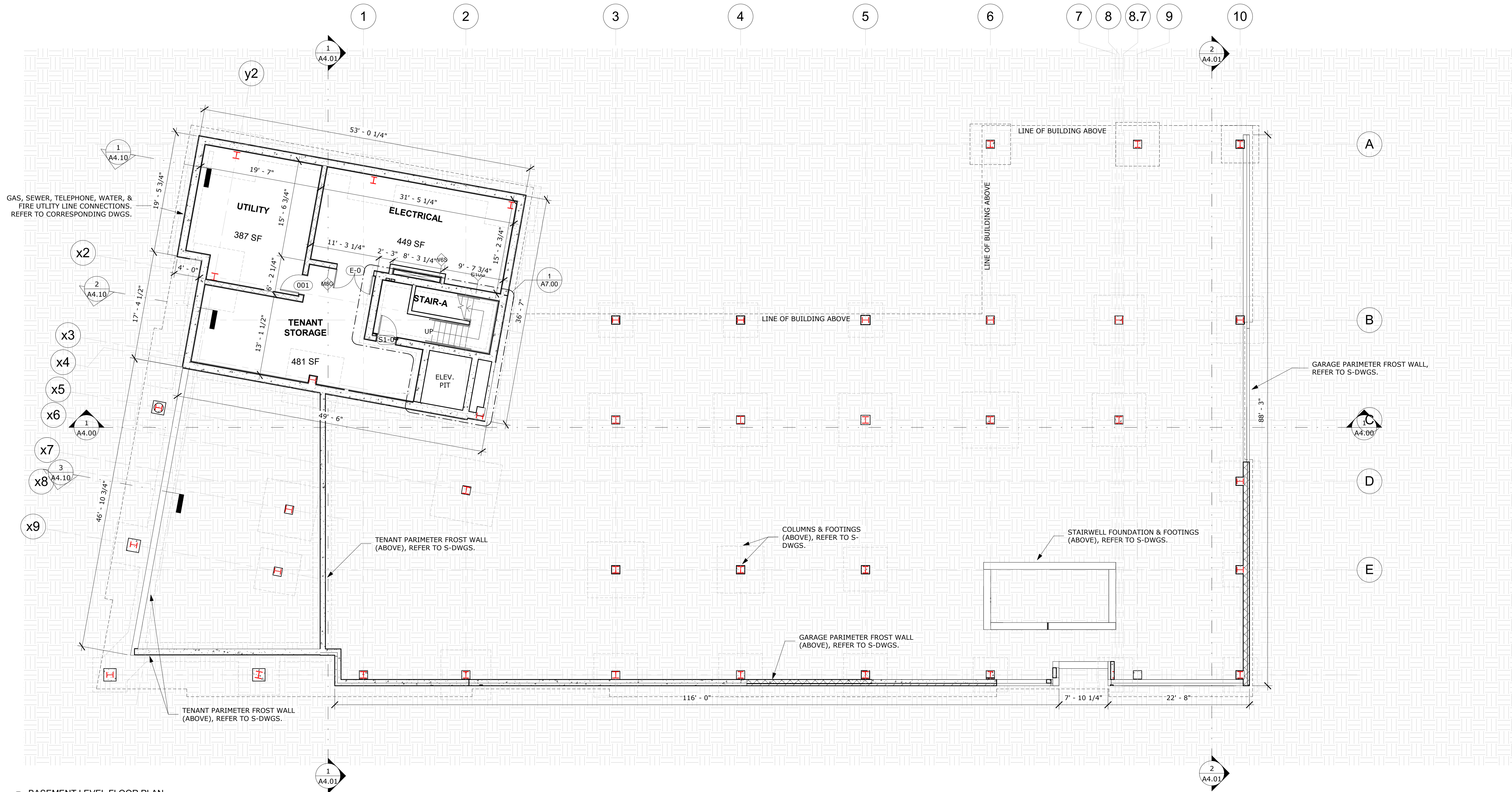
REVISIONS

NO.	DESCRIPTION	DATE

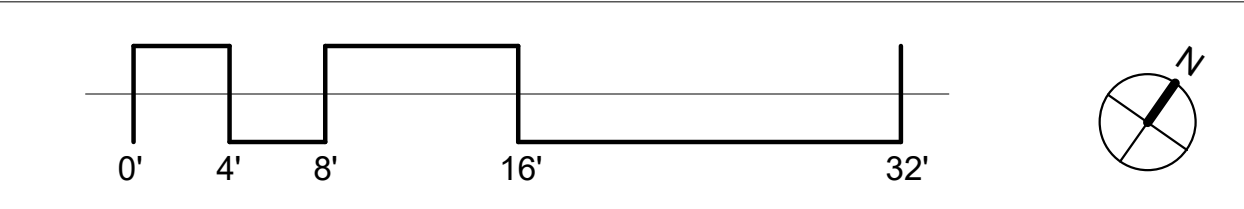
CONSTRUCTION DRAWINGS

ISSUED DATE: 03/17/2023
SHEET TITLE
BASEMENT FLOOR PLAN

DRAWING NO.
A1.01



1 BASEMENT LEVEL FLOOR PLAN
1/8" = 1'-0"

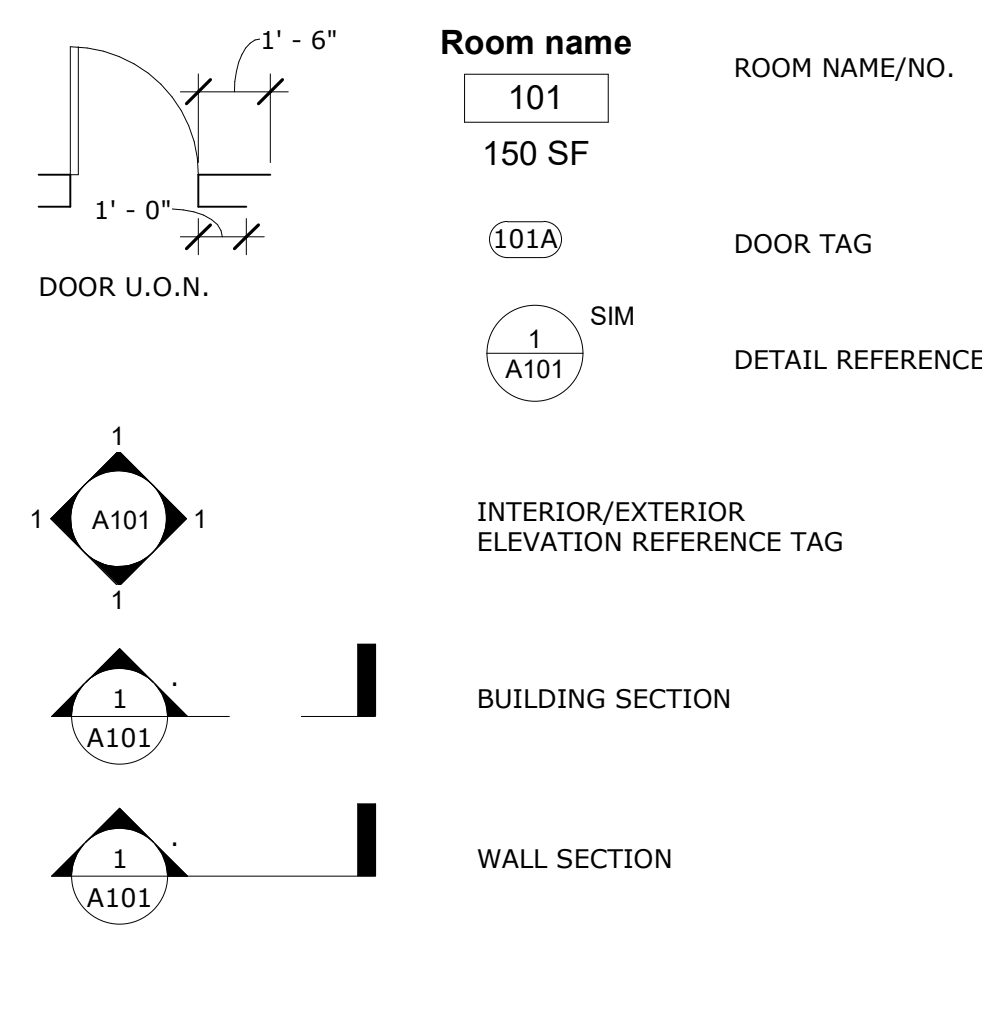


PLOT CREATED: 3/17/2023 5:47:35 PM

PLAN NOTES:

1. ANY CONFLICT BETWEEN SITE CONDITIONS & DRAWINGS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT.
2. SEE WALL TYPE PAGE FOR WALL CONSTRUCTION
3. ALL DOOR FRAMES TO BE 4" FROM NEAREST PERPENDICULAR PARTITION U.O.N.
4. REVIEW LAYOUTS FOR PARTITIONS IN-FIELD w/ ARCHITECT PRIOR TO THE START OF CONSTRUCTION.
5. ALL EXPOSED STEEL TO BE AESS - GRADE 1
6. REFER TO ENLARGED PLANS FOR ADDITIONAL INFORMATION, DIMENSIONS, ETC.
7. CONTRACTOR IS RESPONSIBLE FOR CARRYING FURRING TO ACCOMMODATE ELECTRICAL JUNCTION BOXES AT MASONRY AND CONCRETE WALLS.
8. ALL PENETRATIONS ARE TO BE SEALED TO MAINTAIN FIRE & ACOUSTICAL RATING.
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11. DIMENSIONS
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 - C. NOTIFY ARCHITECT OF CONDITIONS WHERE "CLEAR" OR CRITICAL DIMENSIONS ARE DESIGNATED BUT CANNOT BE MET OR WHERE CORRIDOR/AISLE WIDTH CANNOT MEET MINIMUM REQUIREMENTS.
 - D. MAINTAIN FINISH FLOOR BASE ELEVATION THROUGHOUT THE CONTRACT AREA SUCH THAT ALL DIMENSIONS INDICATED AS "ABOVE FINISH FLOOR" ARE AT THE SAME ELEVATION.
 - E. ALL DIMENSIONS OF FIXTURES, DEVICES, ETC. ARE TO C/L OF FIXTURE, U.O.N. WHERE ITEMS ARE IN LINE, CENTERLINE OF ITEMS OR GROUPS OF ITEMS ARE TO ALIGN U.O.N.
12. REFER TO MEP+FP DRAWINGS FOR ALL MEP/FP SCOPE. LOW VOLTAGE (SECURITY/ TEL DATA/ ACCES CONTROL) BY OWNER.
13. DIMENSIONING STANDARDS
 - ALL EXTERIOR DIMENSIONS ARE MEASURED TO EXTERIOR FACE OF STUD/ROUGH OPENING
 - ALL INTERIOR DIMENSIONS ARE MEASURED FROM FACE OF STUD OF STUD OF EXTERIOR WALLS AND TO MIDPOINT OF INTERIOR WALLS.

PLAN LEGEND:



CORRIDOR FINISHES:

CORRIDOR(S):
 FLOOR CP-01: MOHAWK CARPET TILE
 BASE WD-01: 6" WD BASE PTD
 WALL P-05X: GWB PTD
 UNIT ENTRIES P-07X: ACCENT PTD, 1X4 TRIM, REFER TO DOOR SHEET A8.00 FOR DESIGN INTENT
 CEILING P-06X: GWB

AMENITY:
 FLOOR CP-02, MOHAWK CARPET TILE
 BASE WD-01: 6" WD BASE PTD
 WALL P-01X: GWB PTD
 CEILING P-04X: GWB

ELEVATOR LOBBY:
 W-01: WALL COVERING

NOTE: REFER TO A9.00 FOR FULL FINISH SCHEDULE
 NOTE: LIGHTING REFER TO ELECTRICAL DWGS FOR ALL LIGHTING, ARCHITECT DRAWINGS FOR GENERAL LOCATIONS ONLY

BOH FINISHES:

TRASH ROOM:
 FLOORING SP-05: EPOXY FLOOR
 BASE R-01: RUBBER WALL BASE
 WALL R-06: FRP PANELS UP TO 6FT, PAINT ABOVE
 CEILING CT-01: PTD

OTHER BOH:
 FLOORING R-05: VCT ARMSTRONG
 BASE R-01: RUBBER WALL BASE
 WALL P-01B: GWB PTD
 CEILING CT-01: PTD

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REVISIONS

NO.	DESCRIPTION	DATE

**CONSTRUCTION
 DRAWINGS**

ISSUED DATE: 03/17/2023

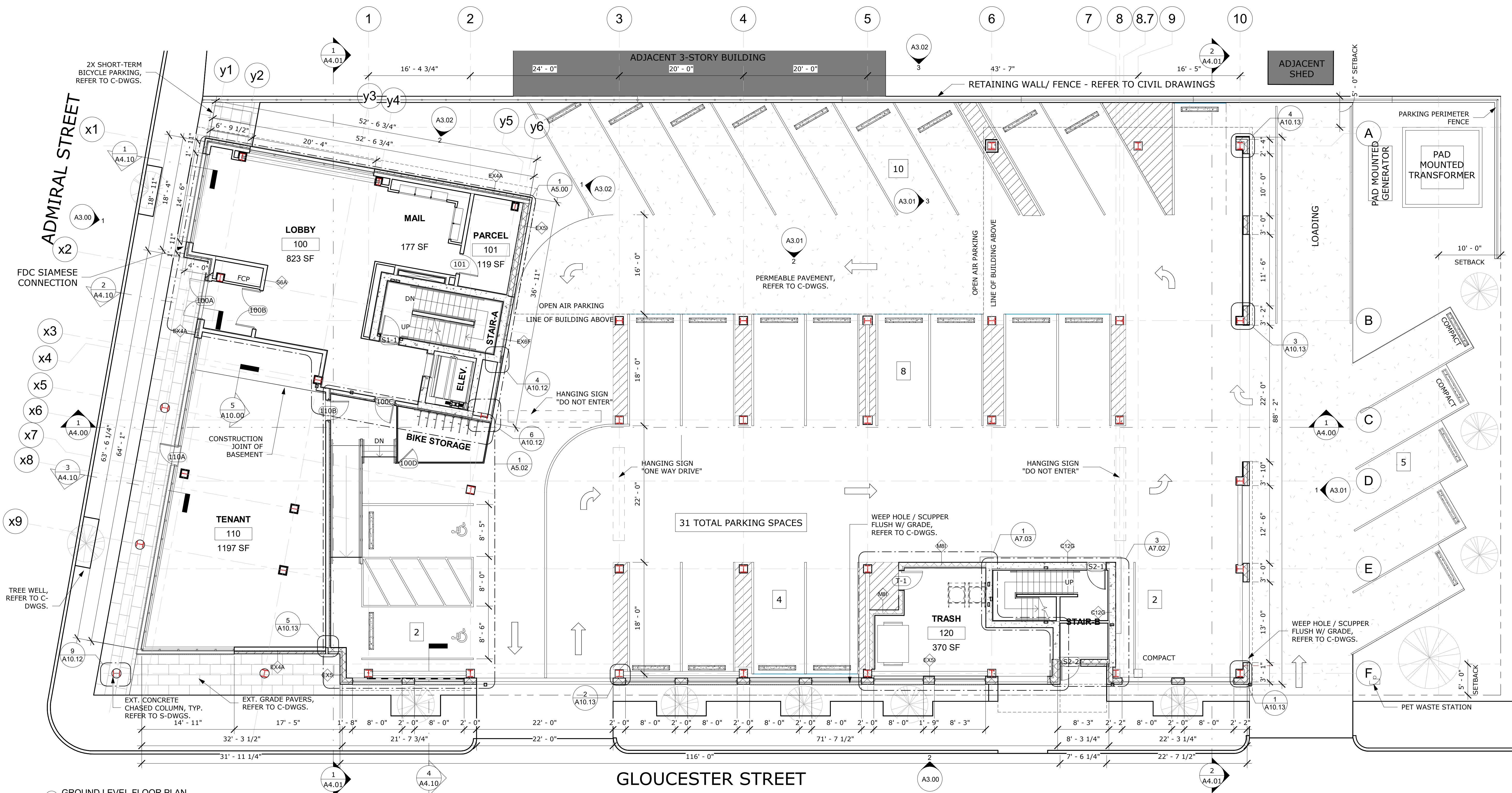
SHEET TITLE

**FIRST FLOOR
 PLAN**

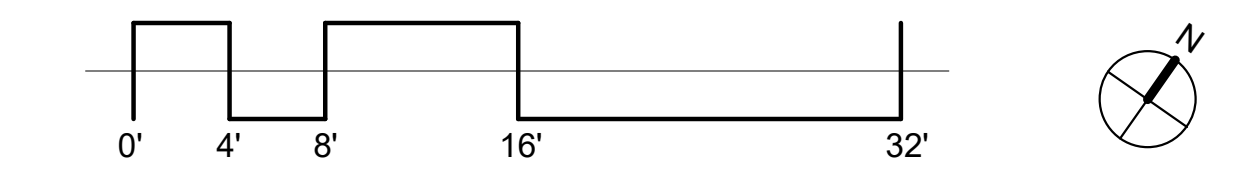
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A1.02

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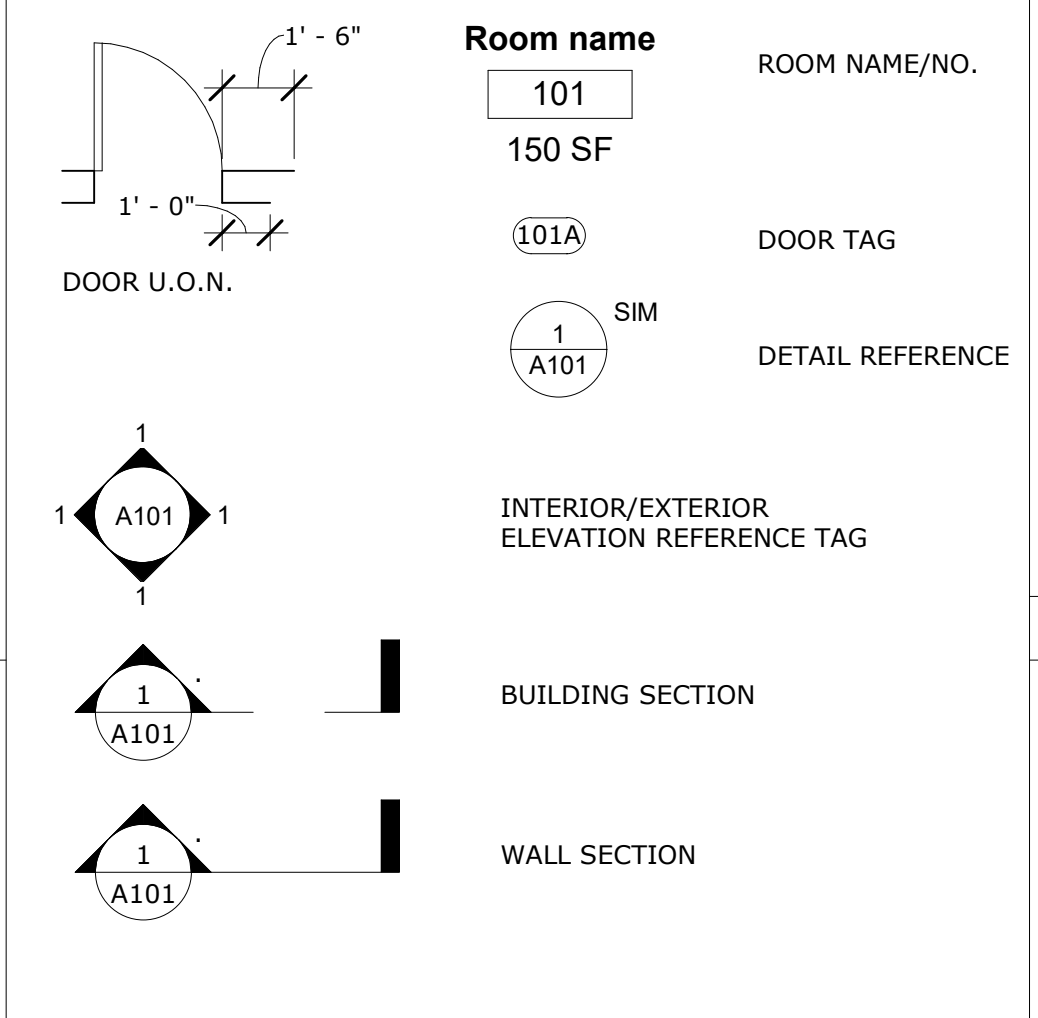
1 GROUND LEVEL FLOOR PLAN
 1/8" = 1'-0"



PLAN NOTES:

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4. REVIEW LAYOUTS FOR PARTITIONS IN-FIELD w/ ARCHITECT PRIOR TO THE START OF CONSTRUCTION.
5. ALL EXPOSED STEEL TO BE AESS - GRADE 1
6. REFER TO ENLARGED PLANS FOR ADDITIONAL INFORMATION, DIMENSIONS, ETC.
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 - B. DRAWINGS ARE NOT TO BE SCALED. VERIFY ANY MISSING OR CONFLICTING DRAWN DIMENSIONS w/ ARCHITECT PRIOR TO CONSTRUCTION.
 - C. NOTIFY ARCHITECT OF CONDITIONS WHERE "CLEAR" OR CRITICAL DIMENSIONS ARE DESIGNATED BUT CANNOT BE MET OR WHERE CORRIDOR/AISLE WIDTH CANNOT MEET MINIMUM REQUIREMENTS.
 - D. MAINTAIN FINISH FLOOR BASE ELEVATION THROUGHOUT THE CONTRACT AREA SUCH THAT ALL DIMENSIONS INDICATED AS "ABOVE FINISH FLOOR" ARE AT THE SAME ELEVATION.
 - E. ALL DIMENSIONS OF FIXTURES, DEVICES, ETC. ARE TO C/L OF FIXTURE, U.O.N. WHERE ITEMS ARE IN LINE, CENTERLINE OF ITEMS OR GROUPS OF ITEMS ARE TO ALIGN U.O.N.
12. REFER TO MEP+FP DRAWINGS FOR ALL MEP/FP SCOPE. LOW VOLTAGE (SECURITY/ TEL DATA/ ACCESS CONTROL) BY OWNER.
13. DIMENSIONING STANDARDS
 - ALL EXTERIOR DIMENSIONS ARE MEASURED TO EXTERIOR FACE OF STUD/ROUGH OPENING
 - ALL INTERIOR DIMENSIONS ARE MEASURED FROM FACE OF STUD OF STUD OF EXTERIOR WALLS AND TO MIDPOINT OF INTERIOR WALLS.

PLAN LEGEND:



CORRIDOR FINISHES:

CORRIDOR(S):
 FLOOR CP-01: MOHAWK CARPET TILE
 BASE WD-01: 6" WD BASE PTD
 WALL P-05X: GWB PTD
 UNIT ENTRIES P-07X: ACCENT PTD, 1X4 TRIM, REFER TO DOOR SHEET A8.00 FOR DESIGN INTENT
 CEILING P-06X: GWB

AMENITY:
 FLOOR CP-02, MOHAWK CARPET TILE
 BASE WD-01, 6" WD BASE PTD
 WALL P-01X: GWB PTD
 CEILING P-04X: GWB

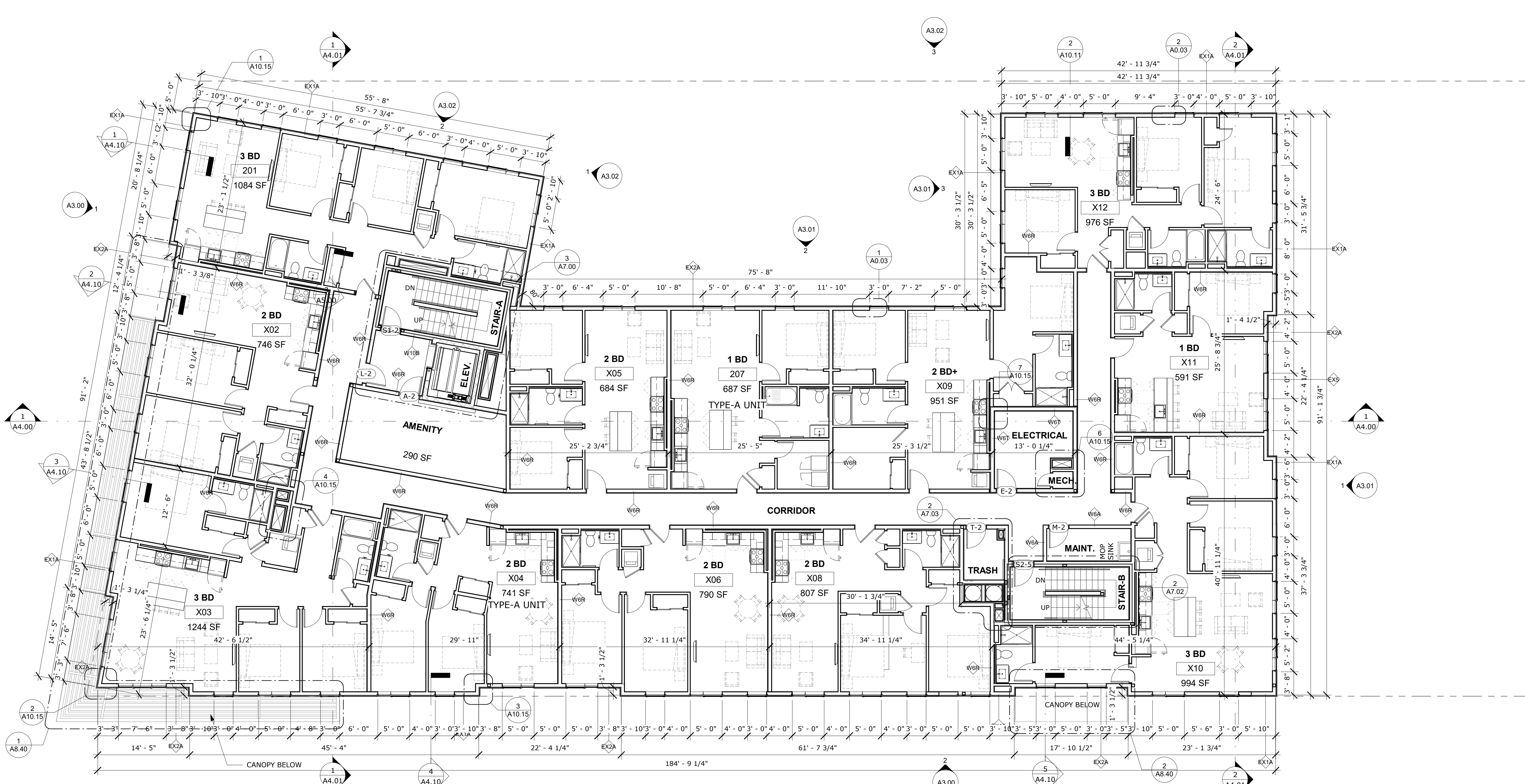
ELEVATOR LOBBY:
 W-01: WALL COVERING

***NOTE: REFER TO A9.00 FOR FULL FINISH SCHEDULE*
 *NOTE: LIGHTING REFER TO ELECTRICAL DWGS FOR ALL LIGHTING, ARCHITECT DRAWINGS FOR GENERAL LOCATIONS ONLY***

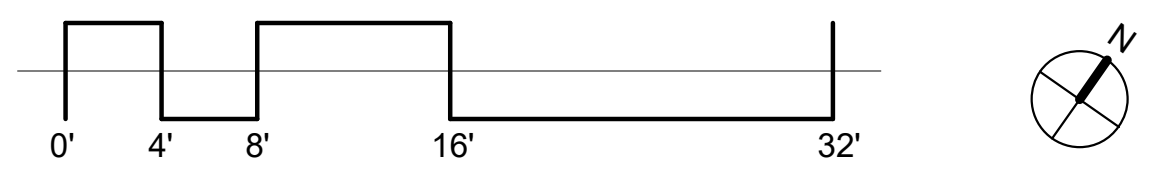
BOH FINISHES:

TRASH ROOM:
 FLOORING SP-05: EPOXY FLOOR
 BASE R-01: RUBBER WALL BASE
 WALL R-06: FRP PANELS UP TO 6FT, PAINT ABOVE
 CEILING CT-01: PTD

OTHER BOH:
 FLOORING R-05: VCT ARMSTRONG
 BASE R-01: RUBBER WALL BASE
 WALL P-01B: GWB PTD
 CEILING CT-01: PTD



1 SECOND FLOOR PLAN
 1/8" = 1'-0"



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CONSULTANT

PROJECT NAME

ADMIRAL ST. MULTI-UNIT DEVELOPMENT

663 ADMIRAL STREET,
 PROVIDENCE, RI 02908

PROJECT NO. 22028

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NO.	DESCRIPTION	DATE

CONSTRUCTION DRAWINGS

ISSUED DATE: 03/17/2023

SHEET TITLE

SECOND FLOOR PLAN

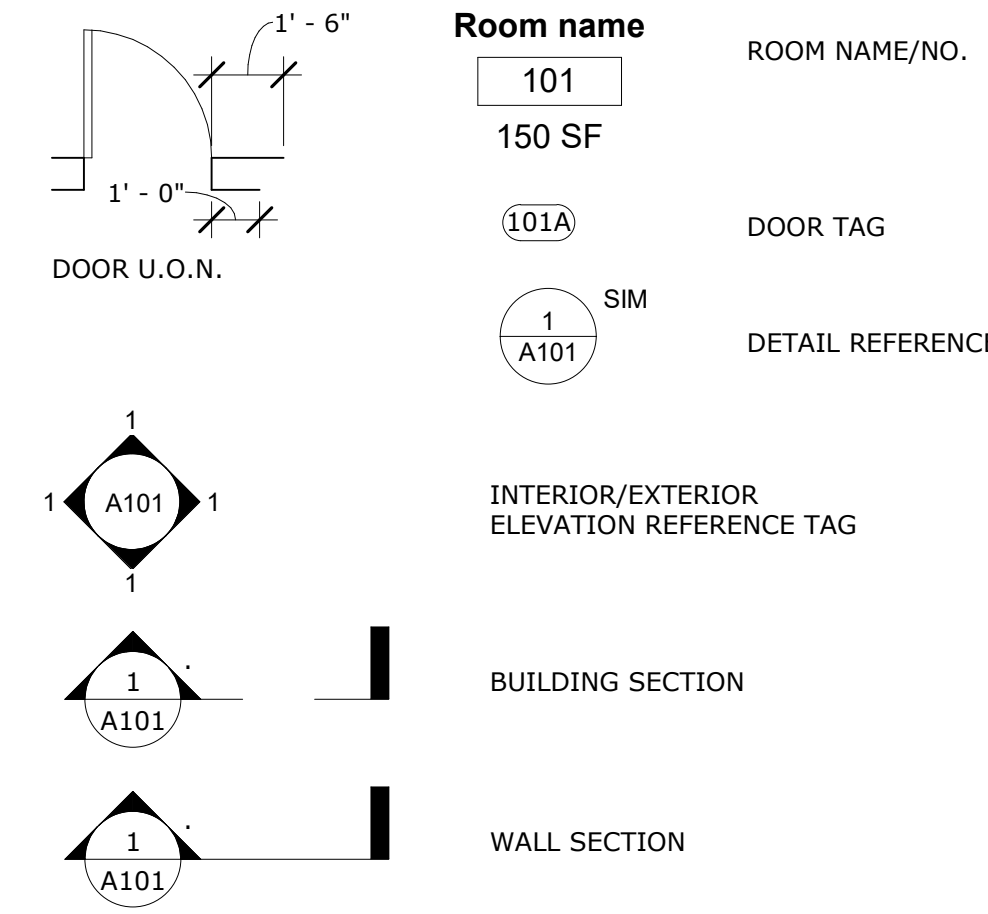
DRAWING NO.

A1.03

PLAN NOTES:

1. ANY CONFLICT BETWEEN SITE CONDITIONS & DRAWINGS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT.
2. SEE WALL TYPE PAGE FOR WALL CONSTRUCTION
3. ALL DOOR FRAMES TO BE 4" FROM NEAREST PERPENDICULAR PARTITION U.O.N.
4. REVIEW LAYOUTS FOR PARTITIONS IN-FIELD w/ ARCHITECT PRIOR TO THE START OF CONSTRUCTION.
5. ALL EXPOSED STEEL TO BE AESS - GRADE 1
6. REFER TO ENLARGED PLANS FOR ADDITIONAL INFORMATION, DIMENSIONS, ETC.
7. CONTRACTOR IS RESPONSIBLE FOR CARRYING FURRING TO ACCOMMODATE ELECTRICAL JUNCTION BOXES AT MASONRY AND CONCRETE WALLS.
8. ALL PENETRATIONS ARE TO BE SEALED TO MAINTAIN FIRE & ACOUSTICAL RATING.
9. CONTRACTOR IS RESPONSIBLE FOR PROVIDING IN-WALL BLOCKING AT ALL AREAS OF NEW WALL-MOUNTED FIXTURES/FURNISHINGS/EQUIPMENT, INCLUDING BUT NOT LIMITED TO CABINETS, MILLWORK & PLUMBING FIXTURES.
10. CONTRACTOR IS RESPONSIBLE FOR PROVIDING ACCESS PANELS IN HARD CEILINGS FOR MECHANICAL EQUIPMENT WHEREVER VALVES, CONTROLS, OR ACCESS IS REQUIRED. PAINT PANELS TO MATCH WALL/CEILING (TYP).
11. DIMENSIONS
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PLAN LEGEND:



CORRIDOR FINISHES:

CORRIDOR(S):	FLOOR: CP-01: MOHAWK CARPET TILE BASE: WD-01: 6" WD BASE PTD WALL: P-05X: GWB PTD UNIT ENTRIES: P-07X: ACCENT PTD, 1X4 TRIM, REFER TO DOOR SHEET A8.00 FOR DESIGN INTENT CEILING: P-06X: GWB
AMENITY:	FLOOR: CP-02, MOHAWK CARPET TILE BASE: WD-01, 6" WD BASE PTD WALL: P-01X: GWB PTD CEILING: P-04X: GWB
ELEVATOR LOBBY:	W-01: WALL COVERING

NOTE: REFER TO A9.00 FOR FULL FINISH SCHEDULE
NOTE: LIGHTING REFER TO ELECTRICAL DWGS FOR ALL LIGHTING, ARCHITECT DRAWINGS FOR GENERAL LOCATIONS ONLY

BOH FINISHES:

TRASH ROOM:	FLOORING: SP-05: EPOXY FLOOR BASE: R-01: RUBBER WALL BASE WALL: R-06: FRP PANELS UP TO 6FT, PAINT ABOVE CEILING: CT-01: PTD
OTHER BOH:	FLOORING: R-05: VCT ARMSTRONG BASE: R-01: RUBBER WALL BASE WALL: P-01B: GWB PTD CEILING: CT-01: PTD

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CONSULTANT

PROJECT NAME

ADMIRAL ST. MULTI-UNIT DEVELOPMENT

663 ADMIRAL STREET,
PROVIDENCE, RI 02908

PROJECT NO. 22028

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REVISIONS

NO.	DESCRIPTION	DATE

CONSTRUCTION DRAWINGS

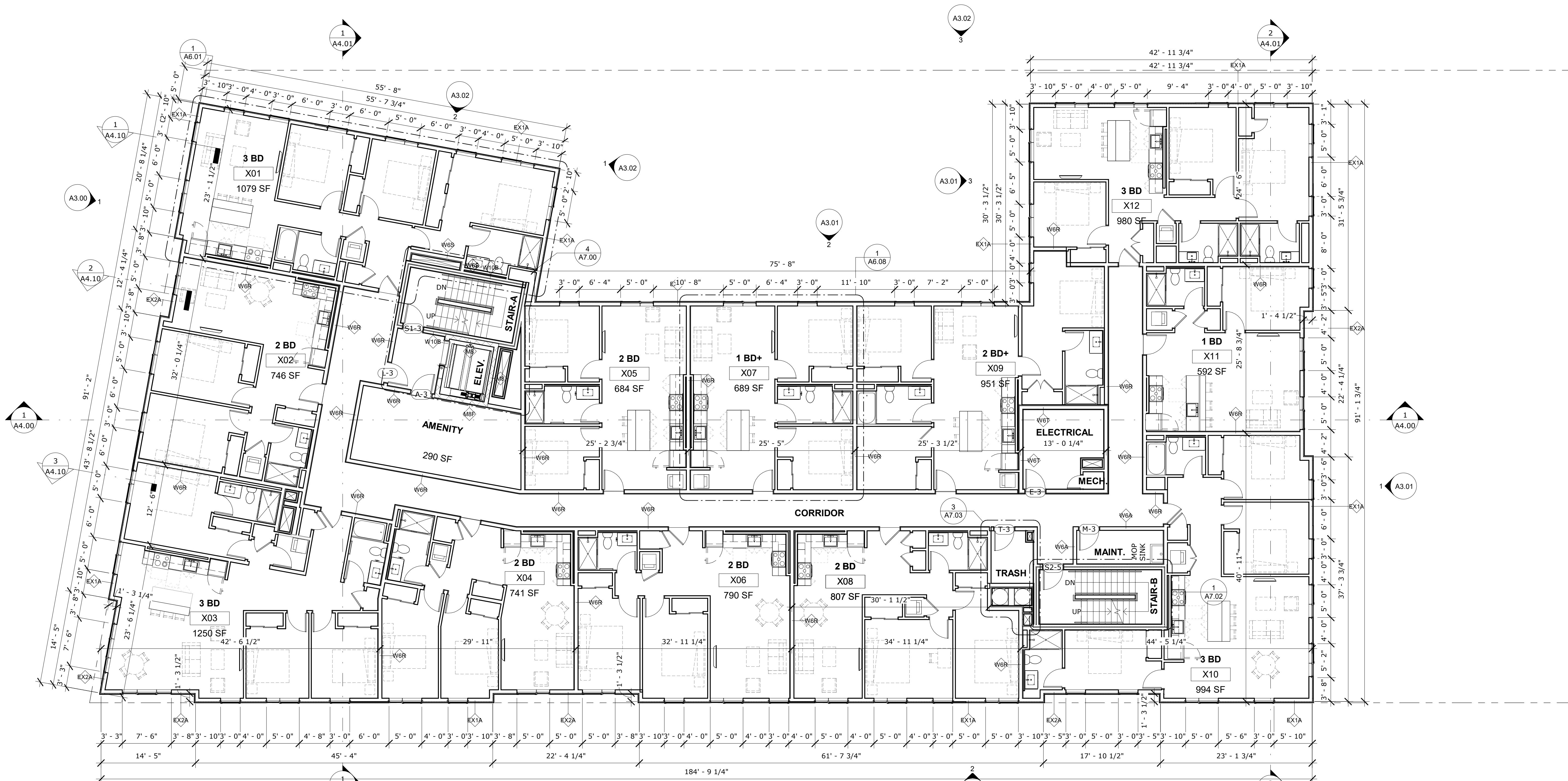
ISSUED DATE: 03/17/2023

SHEET TITLE

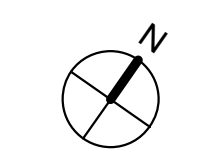
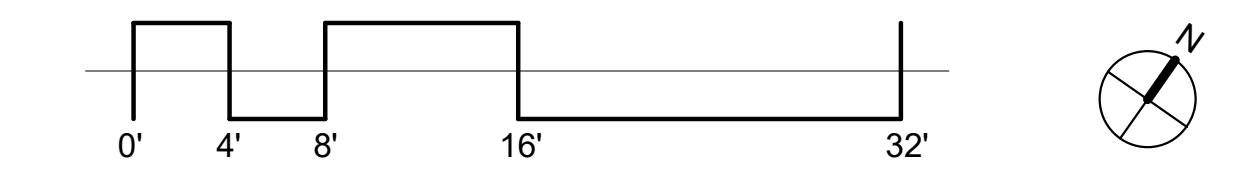
THIRD FLOOR PLAN

DRAWING NO.

A1.04



1 THIRD FLOOR PLAN
1/8" = 1'-0"

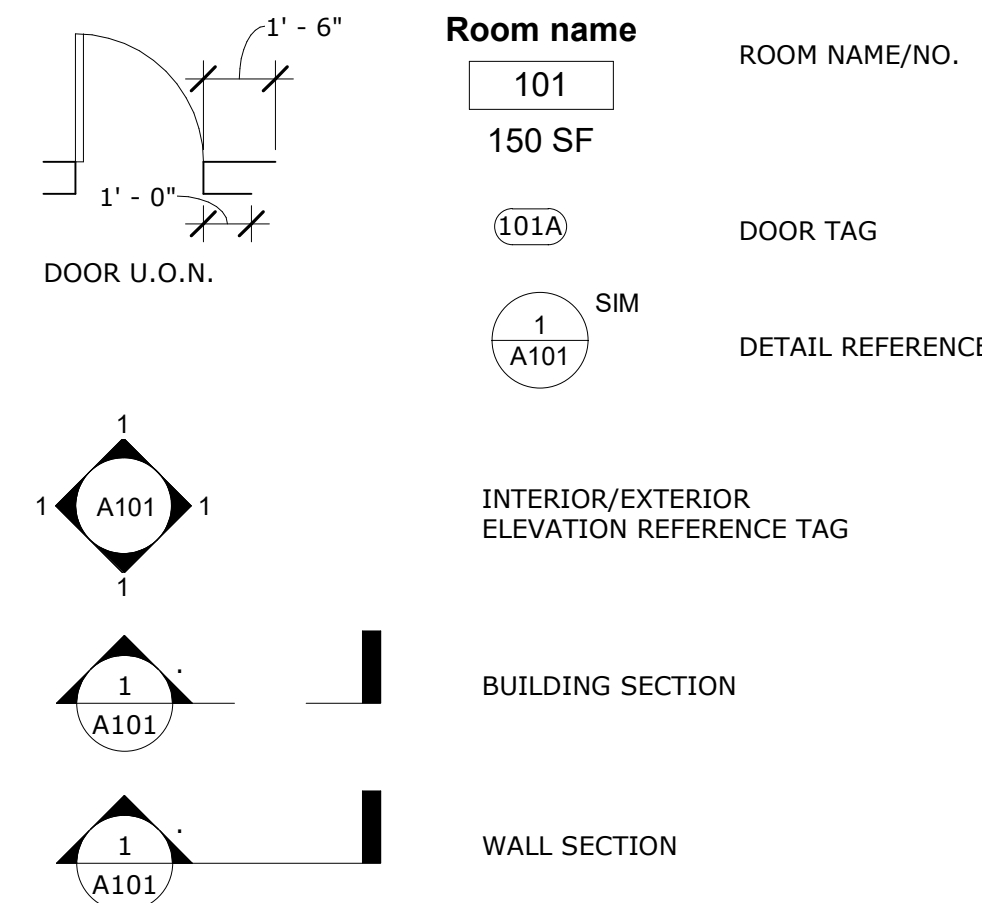


PLOT CREATED: 3/17/2023 5:47:49 PM

PLAN NOTES:

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PLAN LEGEND:



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 FLOOR: CP-01: MOHAWK CARPET TILE
 BASE: WD-01: 6" WD BASE PTD
 WALL: P-05X: GWB PTD
 UNIT ENTRIES: P-07X: ACCENT PTD, 1X4 TRIM, REFER TO DOOR SHEET A8.00 FOR DESIGN INTENT
 CEILING: P-06X: GWB

AMENITY:
 FLOOR: CP-02, MOHAWK CARPET TILE
 BASE: WD-01, 6" WD BASE PTD
 WALL: P-01X: GWB PTD
 CEILING: P-04X: GWB

ELEVATOR LOBBY:
 W-01: WALL COVERING

NOTE: REFER TO A9.00 FOR FULL FINISH SCHEDULE
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 CEILING: CT-01: PTD

OTHER BOH:
 FLOORING: R-05: VCT ARMSTRONG
 BASE: R-01: RUBBER WALL BASE
 WALL: P-01B: GWB PTD
 CEILING: CT-01: PTD

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STAMP



CONSULTANT

PROJECT NAME

ADMIRAL ST. MULTI-UNIT DEVELOPMENT

663 ADMIRAL STREET,
 PROVIDENCE, RI 02908

PROJECT NO. 22028

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NO.	DESCRIPTION	DATE

CONSTRUCTION DRAWINGS

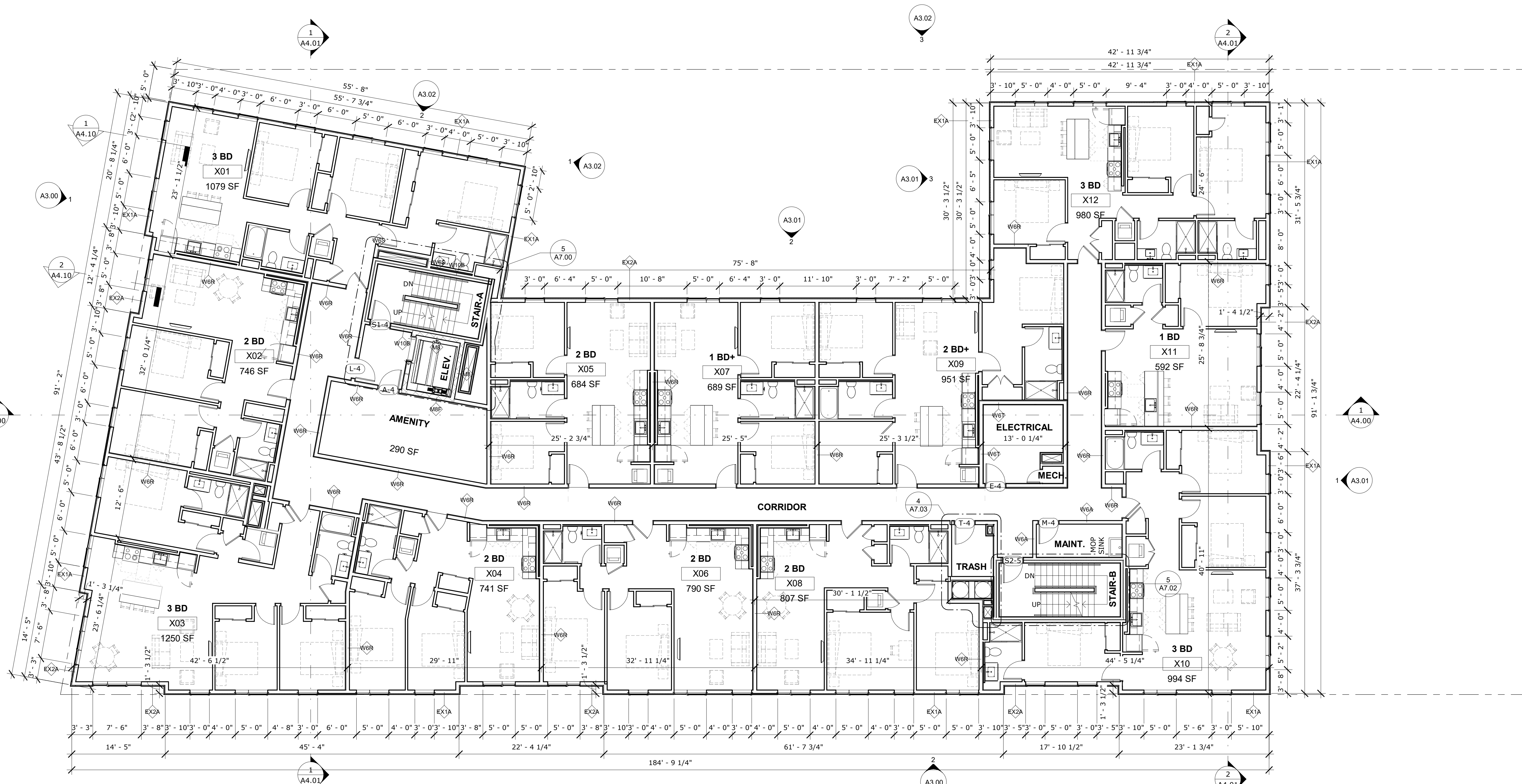
ISSUED DATE: 03/17/2023

SHEET TITLE

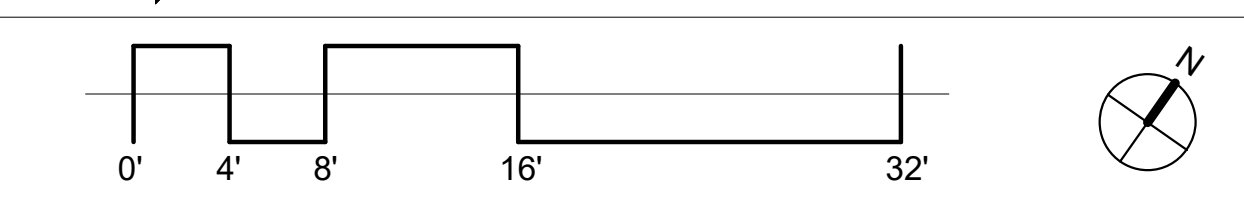
FOURTH FLOOR PLAN

DRAWING NO.

A1.05



1 FOURTH FLOOR PLAN
 1/8" = 1'-0"

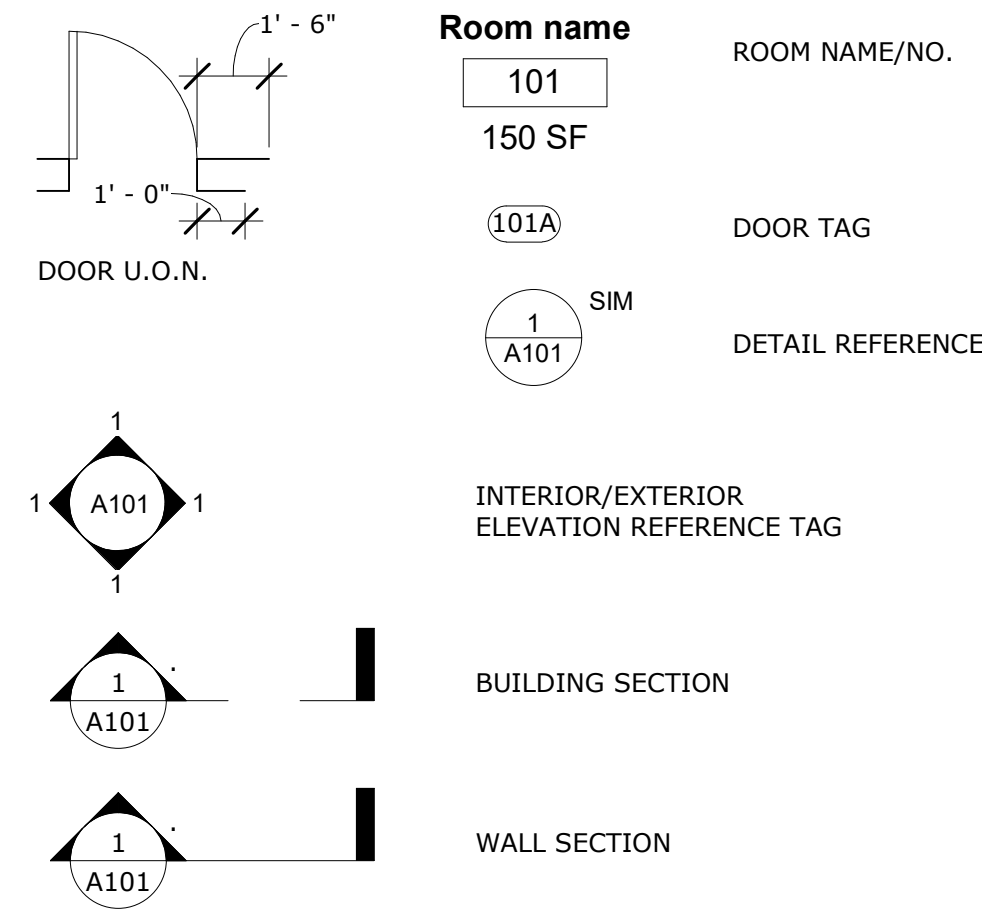


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PLAN NOTES:

- ANY CONFLICT BETWEEN SITE CONDITIONS & DRAWINGS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT.
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PLAN LEGEND:



CORRIDOR FINISHES:

CORRIDOR(S):
 FLOOR: CP-01: MOHAWK CARPET TILE
 BASE: WD-01: 6" WD BASE PTD
 WALL: P-05X: GWB PTD
 UNIT ENTRIES: P-07X: ACCENT PTD, 1X4 TRIM, REFER TO DOOR SHEET A8.00 FOR DESIGN INTENT
 CEILING: P-06X: GWB

AMENITY:
 FLOOR: CP-02, MOHAWK CARPET TILE
 BASE: WD-01, 6" WD BASE PTD
 WALL: P-01X: GWB PTD
 CEILING: P-04X: GWB

ELEVATOR LOBBY:

W-01: WALL COVERING

NOTE: REFER TO A9.00 FOR FULL FINISH SCHEDULE

NOTE: LIGHTING REFER TO ELECTRICAL DWGS FOR ALL LIGHTING, ARCHITECT DRAWINGS FOR GENERAL LOCATIONS ONLY

BOH FINISHES:

TRASH ROOM:

FLOORING: SP-05: EPOXY FLOOR
 BASE: R-01: RUBBER WALL BASE
 WALL: R-06: FRP PANELS UP TO 6FT, PAINT ABOVE
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OTHER BOH:

FLOORING: R-05: VCT ARMSTRONG
 BASE: R-01: RUBBER WALL BASE
 WALL: P-01B: GWB PTD
 CEILING: CT-01: PTD

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CONSTRUCTION DRAWINGS

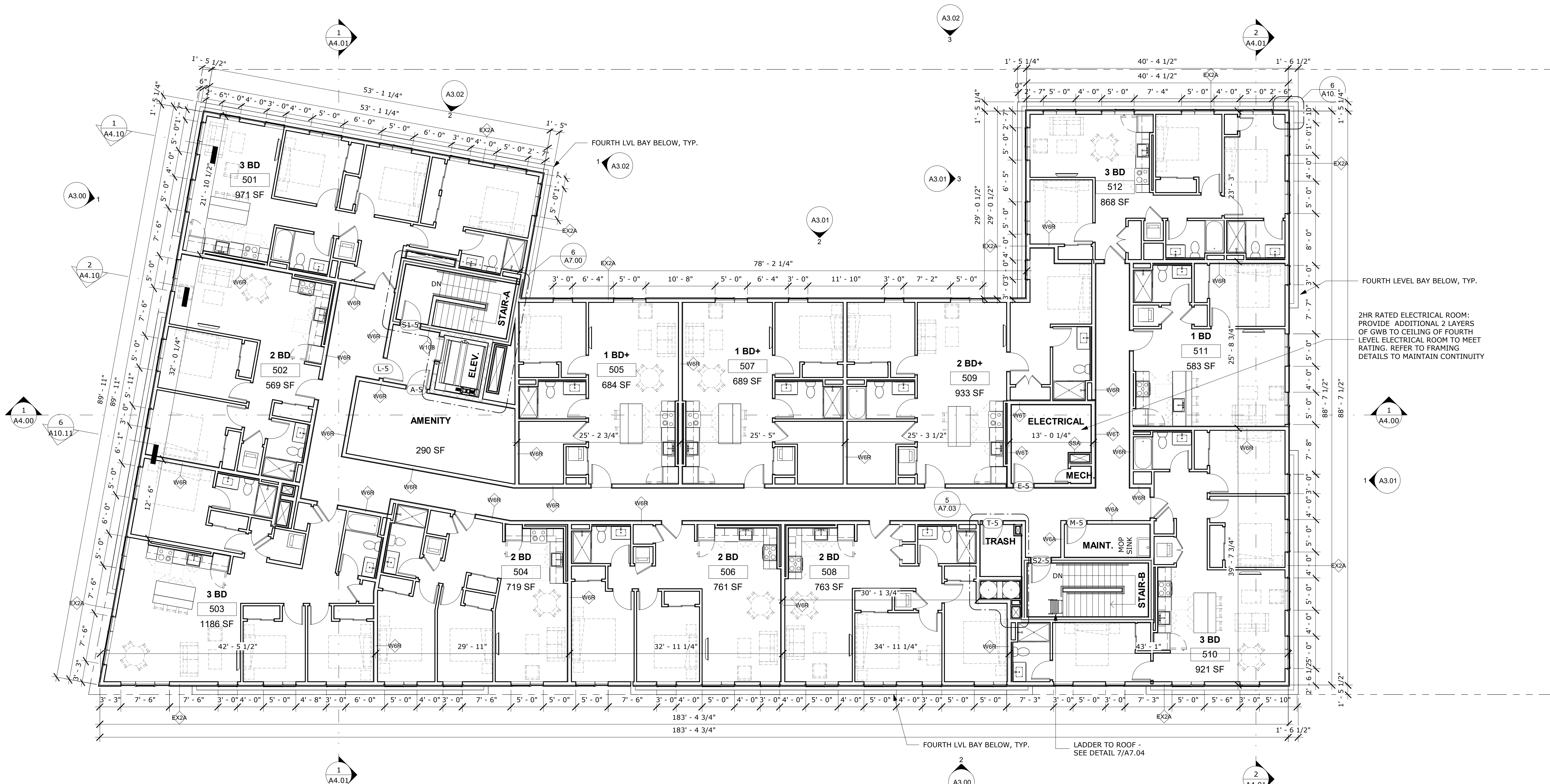
ISSUED DATE: 03/17/2023

SHEET TITLE

FIFTH FLOOR PLAN

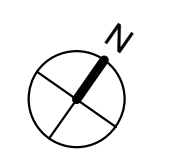
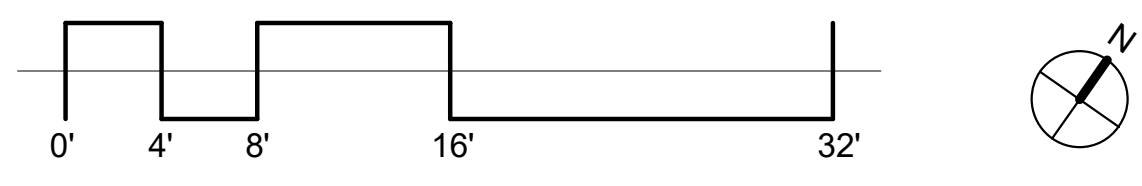
DRAWING NO.

A1.06

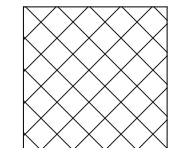


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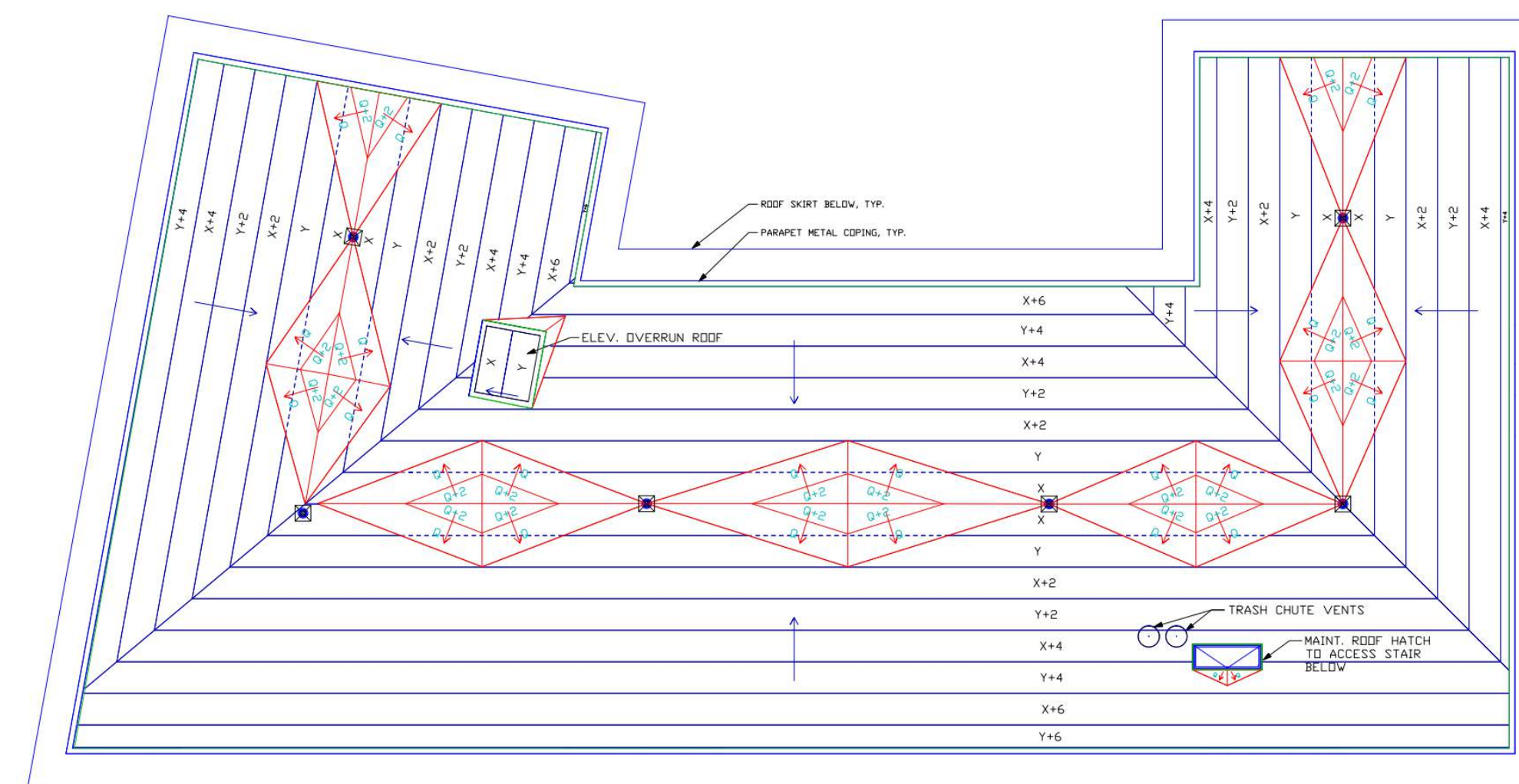
1 FIFTH LEVEL FLOOR PLAN
1/8" = 1'-0"



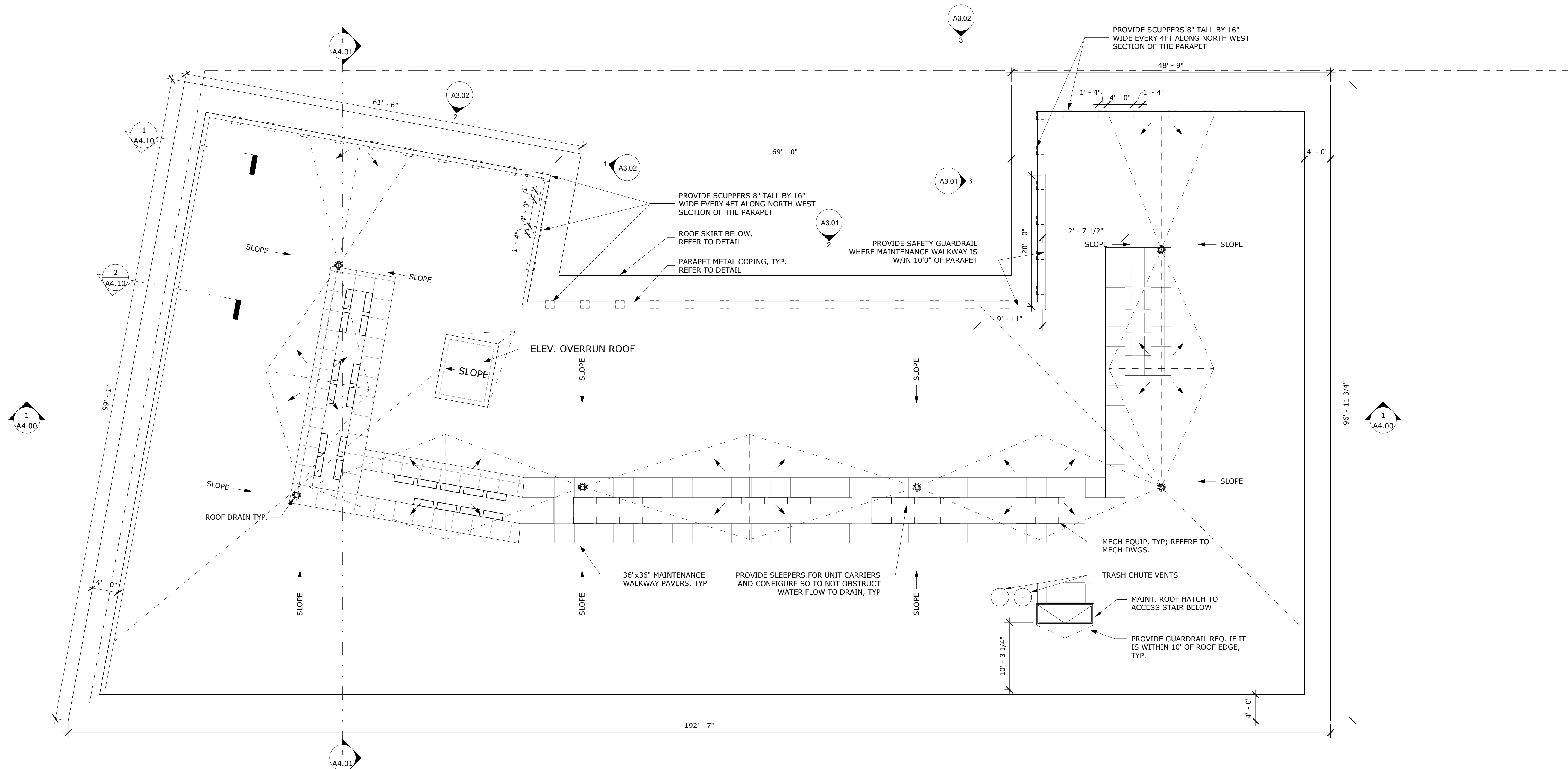
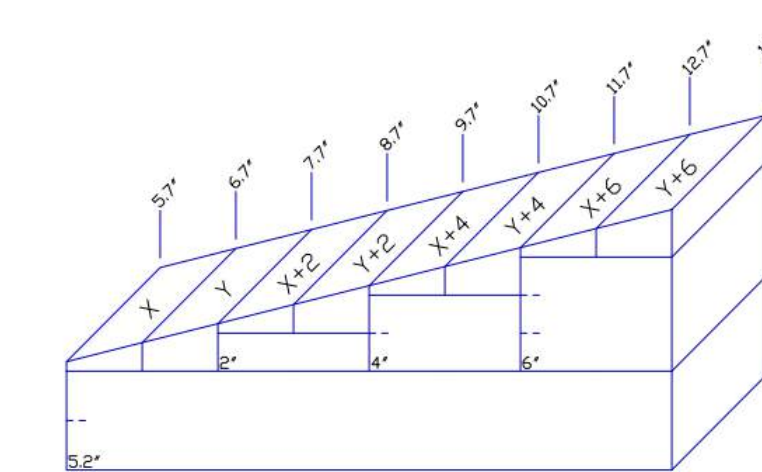
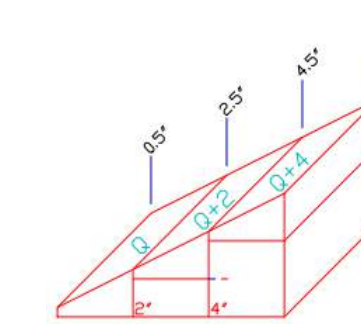
ROOF PLAN NOTES:

 FRT PLYWD SHEATHING AS REQ'D
4'-0" ON EACH SIDE OF RATED UNIT
DEMISING WALLS

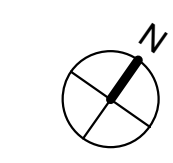
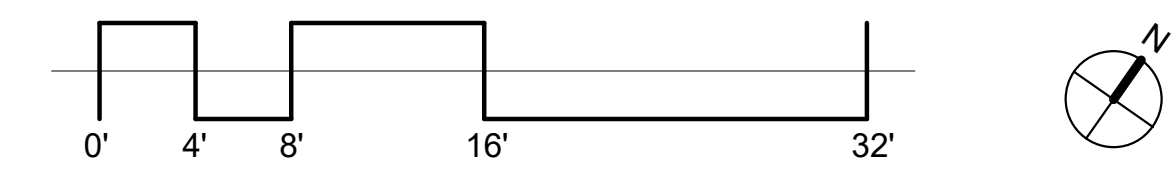
1. ROOFING MATERIAL TO BE EPDM ROOFING MEMBRANE SYSTEM OVER TAPERED INSULATION PITCHED TO ROOF DRAINS. BASIS OF DESIGN IS **FIRESTONE EPDM ROOFING ASSEMBLY**. INSTALL PER MANF STANDARDS.
2. OVERFLOW DRAINAGE SHALL BE THROUGH SCUPPERS AT THE REAR OF THE BUILDING
3. PROVIDE FLASHING, BACKER ROD & SEALANT AT ALL EXTERIOR ROOF PENETRATIONS AND VENTS PER ROOFING MANF. RECOMMENDATIONS.
4. PROVIDE INSULATION WITHIN ROOF FRAMING CAVITY AS NOTED ON ASSEMBLY SHEET.
5. INSTALL NEW EPDM FLASHING & COUNTERFLASHING AT ALL ROOF/WALL INTERSECTIONS AND PENETRATIONS INCLUDING BUT NOT LIMITED TO: STACKS, EQUIPMENT CURBS, STAIR/ELEVATOR ROOF PENTHOUSES, ETC.
6. PROVIDE FLASHING, BACKER ROD & SEALANT AT ALL EXTERIOR ROOF PENETRATIONS AND VENTS PER ROOFING MANF. RECOMMENDATIONS.
7. PROVIDE CONTINUOUS ROOF FLASHING AS PER MANF. RECOMMENDATIONS AT ALL MECH. ROOF CURBS.
8. PROVIDE ROOF PADS & METAL GUARDRAILS FROM DOOR AT ROOF ACCESS TO NEW RTU & OTHER MECHANICAL EQUIPMENT ON ROOF.
9. REFER TO MECH/ELEC/PLUMBING DRAWINGS FOR EQUIPMENT LOCATIONS. PROVIDE CURBS AT ALL PIECES OF EQUIPMENT.
10. REFER TO ROOF DETAILS.
11. INSULATION SHALL BE POLYISOCYANURATE @ MIN 5" THICKNESS FOR R VALUE OF MIN. 30.



TAPERED INSULATION DIAGRAM
NOT TO SCALE



1 ROOF FLOOR PLAN
1/8" = 1'-0"



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PROJECT NAME
ADMIRAL ST. MULTI-UNIT DEVELOPMENT

663 ADMIRAL STREET,
PROVIDENCE, RI 02908

PROJECT NO. 22028

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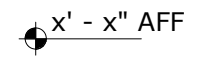




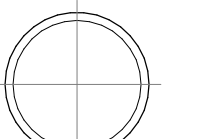

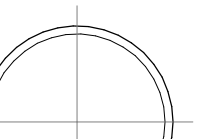
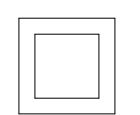

REVISIONS

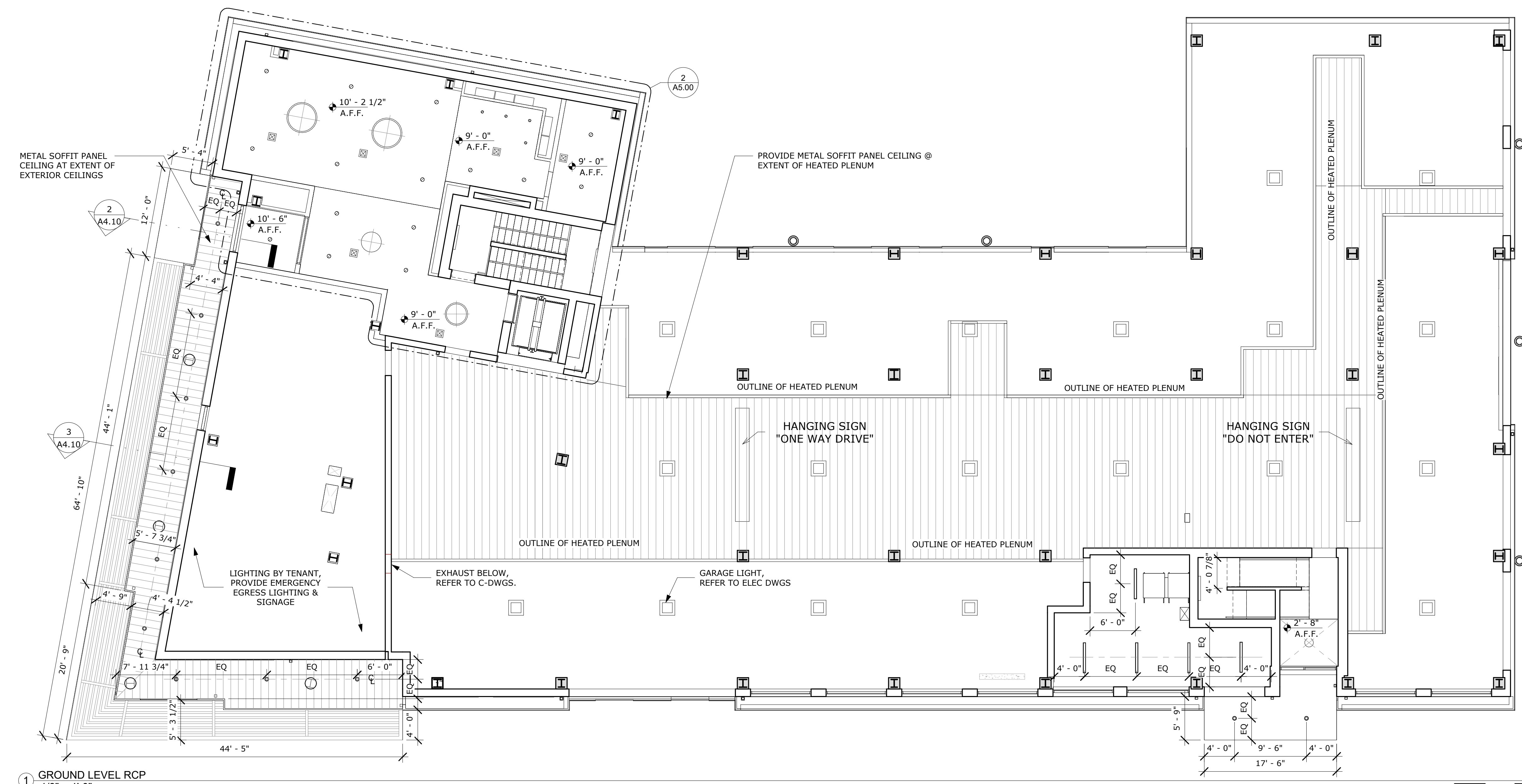
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CONSTRUCTION DRAWINGS

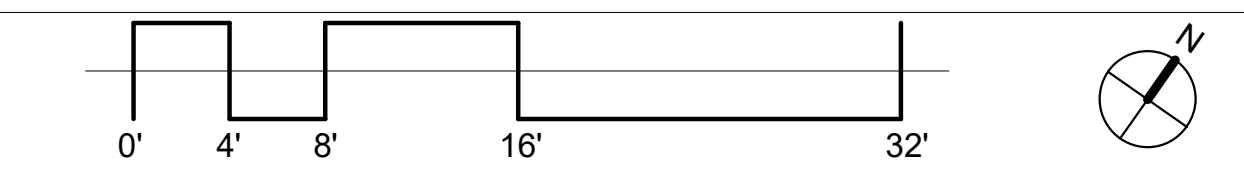
ISSUED DATE: 03/17/2023
SHEET TITLE
ROOF PLAN

DRAWING NO.
A1.07

REFLECTED CEILING PLAN NOTES:		REFLECTED CEILING LEGEND:			
1.	CODE REQUIRES 1-HR SEPARATION BETWEEN ALL FLOORS.		CEILING HEIGHT TAG		REFLECTOR WALL MOUNT
2.	ALL CEILING HEIGHTS ARE MEASURED FROM ABOVE FINISHED FLOOR (AFF), UNLESS OTHERWISE NOTED.		4" RECESSED LED CAN		HALLWAY SURFACE MOUNT
3.	ALL GWB CEILINGS ARE TO BE TAPED, PRIMED, AND PAINTED.		6" RECESSED LED CAN		ELEVATOR LOBBY FEATURE LIGHT
4.	REFER TO ELECTRICAL DRAWINGS FOR SPECIFICATIONS FOR ALL LIGHTING FIXTURES.		LINEAR LIGHT		LOBBY FEATURE LIGHT
5.	MATCH LIGHTING TRIMS TO ADJACENT PAINT, TYP.		GARAGE DOWNLIGHT		SUPPLY DIFFUSER
6.	FINAL LOCATIONS OF EXIT SIGNAGE, SMOKE DETECTORS, DIFFUSERS, SWITCHES, OUTLETS, ETC. TO BE COORDINATED & APPROVED BY ARCHITECT PRIOR TO COMPLETION.				
7.	ALL DIMENSIONS OF FIXTURES, DEVICES, ETC. ARE TO CENTERLINE OF FIXTURE U.O.N. WHERE ITEMS ARE IN LINE, AS INDICATED BY DASHED LINES. CENTERLINE OF ITEMS OR GROUP OF ITEMS TO ALIGN, U.O.N. NOTIFY ARCHITECT OF ANY CONFLICTS.				
8.	PROVIDE FIRE RETARDANT WOOD BLOCKING ABOVE CEILING AS REQUIRED FOR SPECIALTY CONSTRUCTION ITEMS, I.E. PENDANTS, CEILING MOUNTED DEVICES, ETC.				
9.	ALL DIFFUSERS & DEVICES IN CEILING TO BE PAINTED TO MATCH CEILING COLOR. REVIEW W/ ARCHITECT PRIOR TO COMPLETION.				
10.	CONFIRM MOUNTING HEIGHTS OF PENDANTS & SCONGES W/ ARCHITECT PRIOR TO COMPLETION.				
11.	CEILING HEIGHTS ARE +/- GWB TO BE DIRECTLY ATTACHED TO BOTTOM OF STRAPPING BELOW JOISTS, U.N.O.				
12.	PROVIDE UL RATED CAN LIGHTS WHERE CAN LIGHTS ARE NOTED, AS THEY ARE LOCATED IN RATED CEILING AND ADJACENT TO INSULATION, TYP.				
13.	REFER TO POWER AND SWITCHING PLANS FOR MORE INFO				
14.	ALL LIGHTING TO BE ON ISOLATED DIMMERS UNLESS OTHERWISE NOTED				
15.	ALL CEILINGS ARE GWB UNLESS OTHERWISE NOTED.				



1 GROUND LEVEL RCP
1/8" = 1'-0"



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PROVIDENCE, RI 02908

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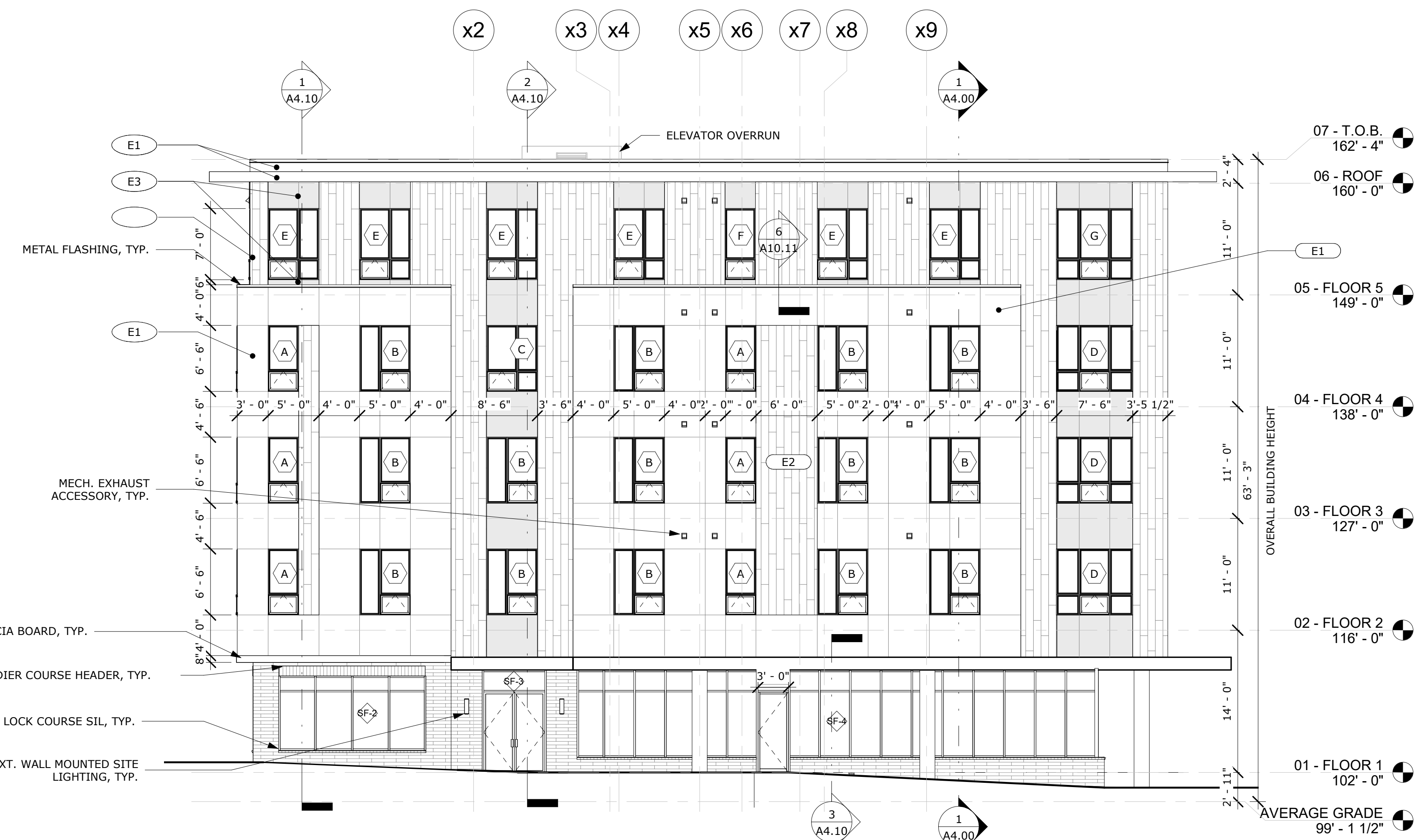
SHEET TITLE

FIRST FLOOR RCP

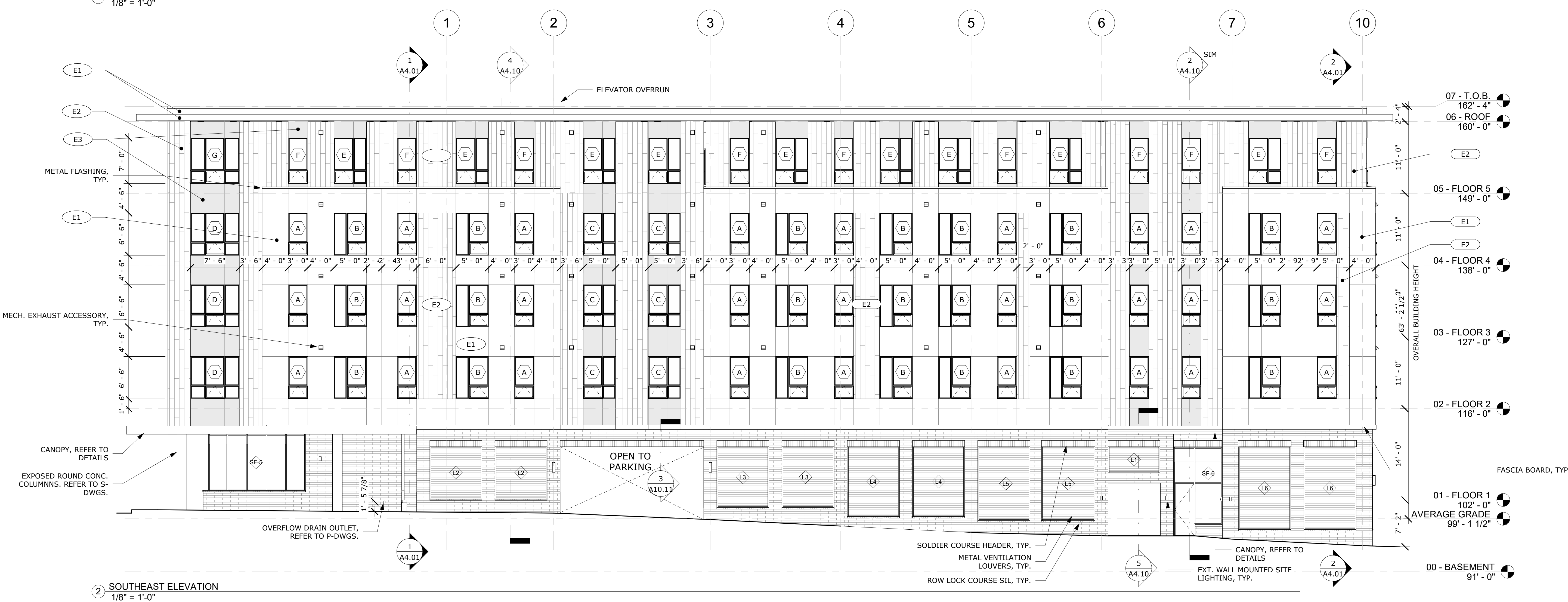
DRAWING NO.

A2.01

PLOT CREATED: 3/17/2023 5:48:01 PM



1 SOUTHWEST ELEVATION
1/8" = 1'-0"



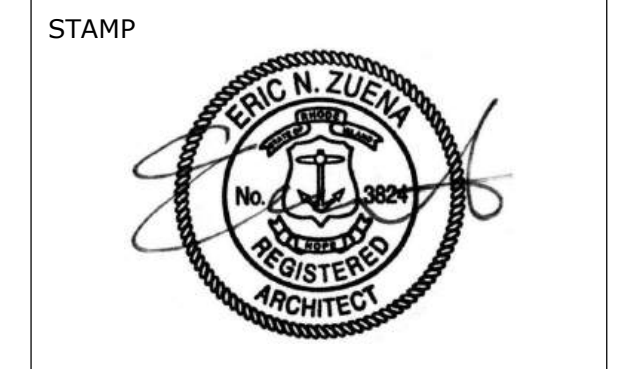
2 SOUTHEAST ELEVATION
1/8" = 1'-0"

EXTERIOR MATERIAL SCHEDULE:			
MARK	MATERIAL	MANUFACTURER	COLOR/DESCRIPTION
E1	FIBER CEMENT PANEL	AMERICAN FIBER CEMENT, CEMBRIT	SOLID, 212-LUNA, 38"x120" CLADDING
E2	NEWTechWOOD	NEWTechWOOD - ALL WEATHER SIDING, VERTICAL	US09 TONGUE & GROOVE, PERUVIAN TEAK (TK), 5.5"x96"
E3	METAL PANEL	ATAS - STERRACORE, 1-PIECE MODULE	CHARCOAL GREY, SMOOTH, 12"x144" PANEL
E4	ROMAN FACE BRICK	TAYLOR CLAY PRODUCTS	NORMAN, BLACK ONYX MODULAR WIRECUT
E5	FASCIA	TBD	TO MATCH E1
E6	METAL COPING	TBD	TO MATCH E1
E7	PARAPET METAL COPING	TBD	TO MATCH E1

NOTE: ALL LINTELS OVER OPENINGS SHALL BE COORDINATED WITH STRUCTURAL. REFER TO DETAIL AND STRUCTURAL DRAWINGS.

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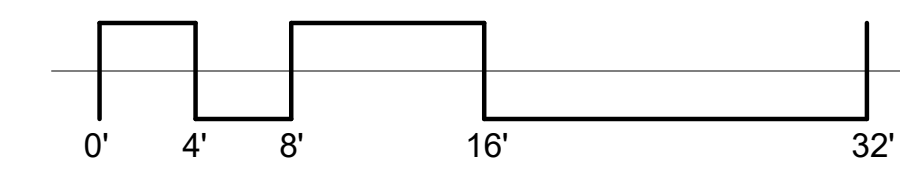
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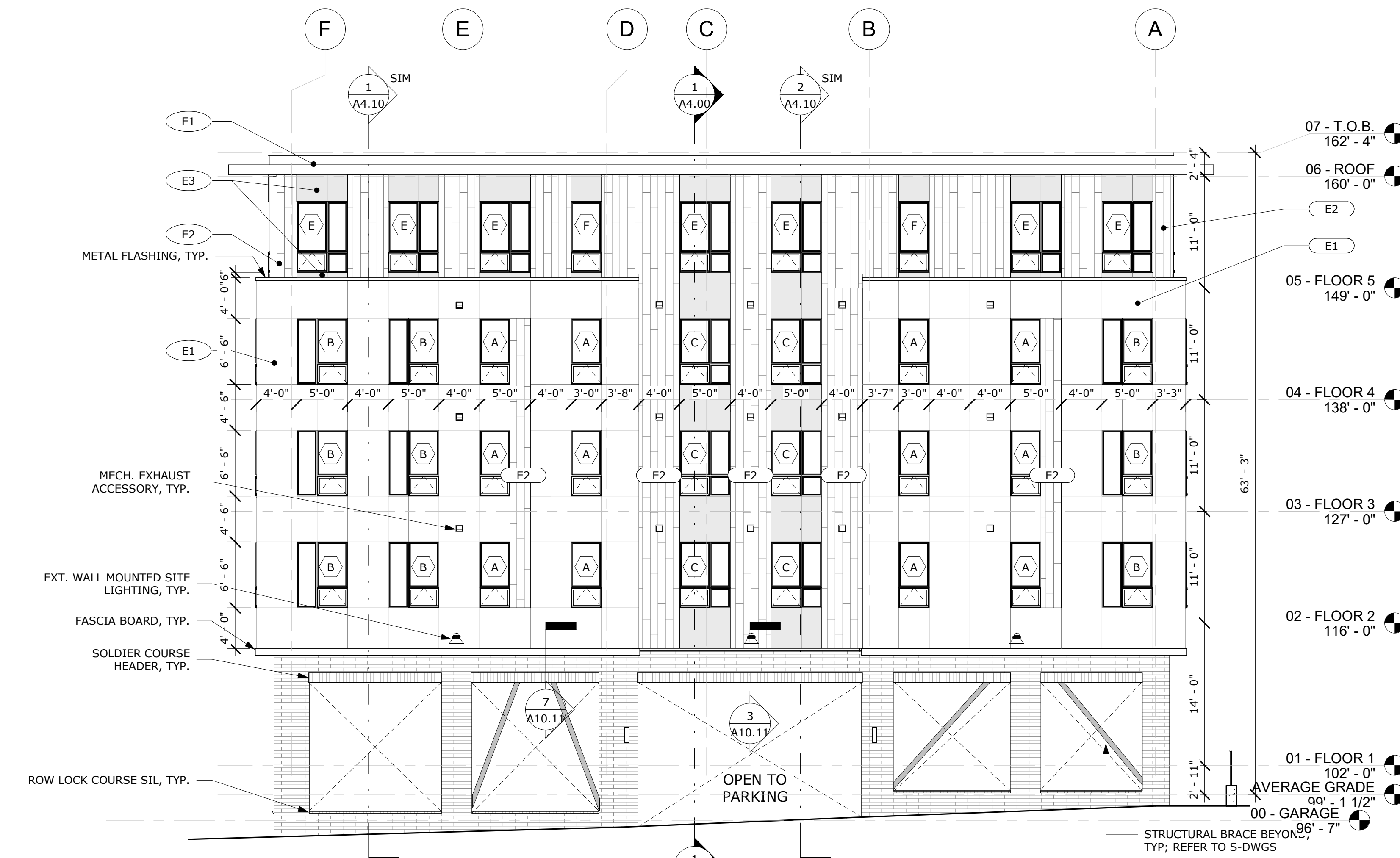
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SHEET TITLE
EXTERIOR ELEVATIONS

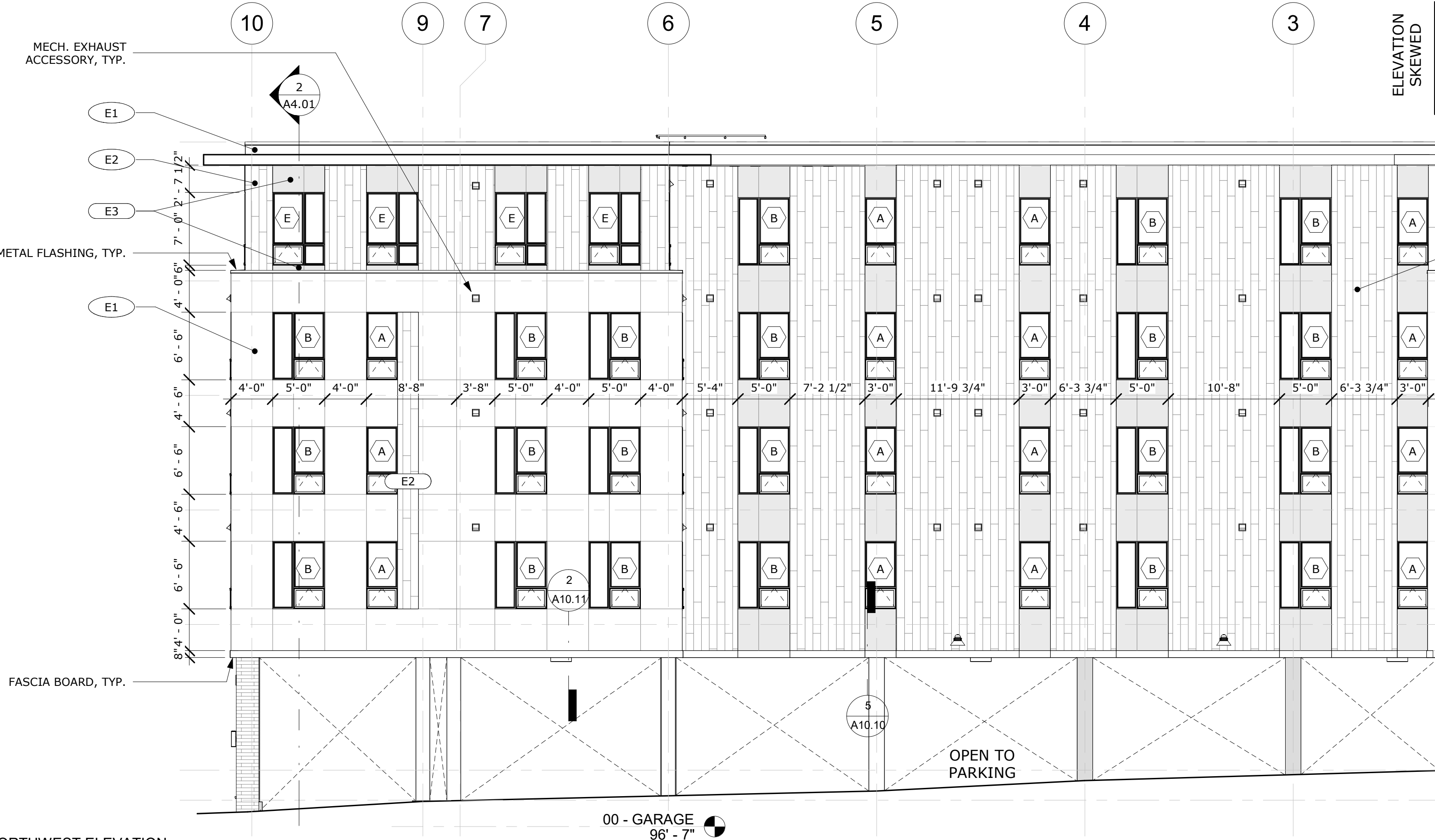
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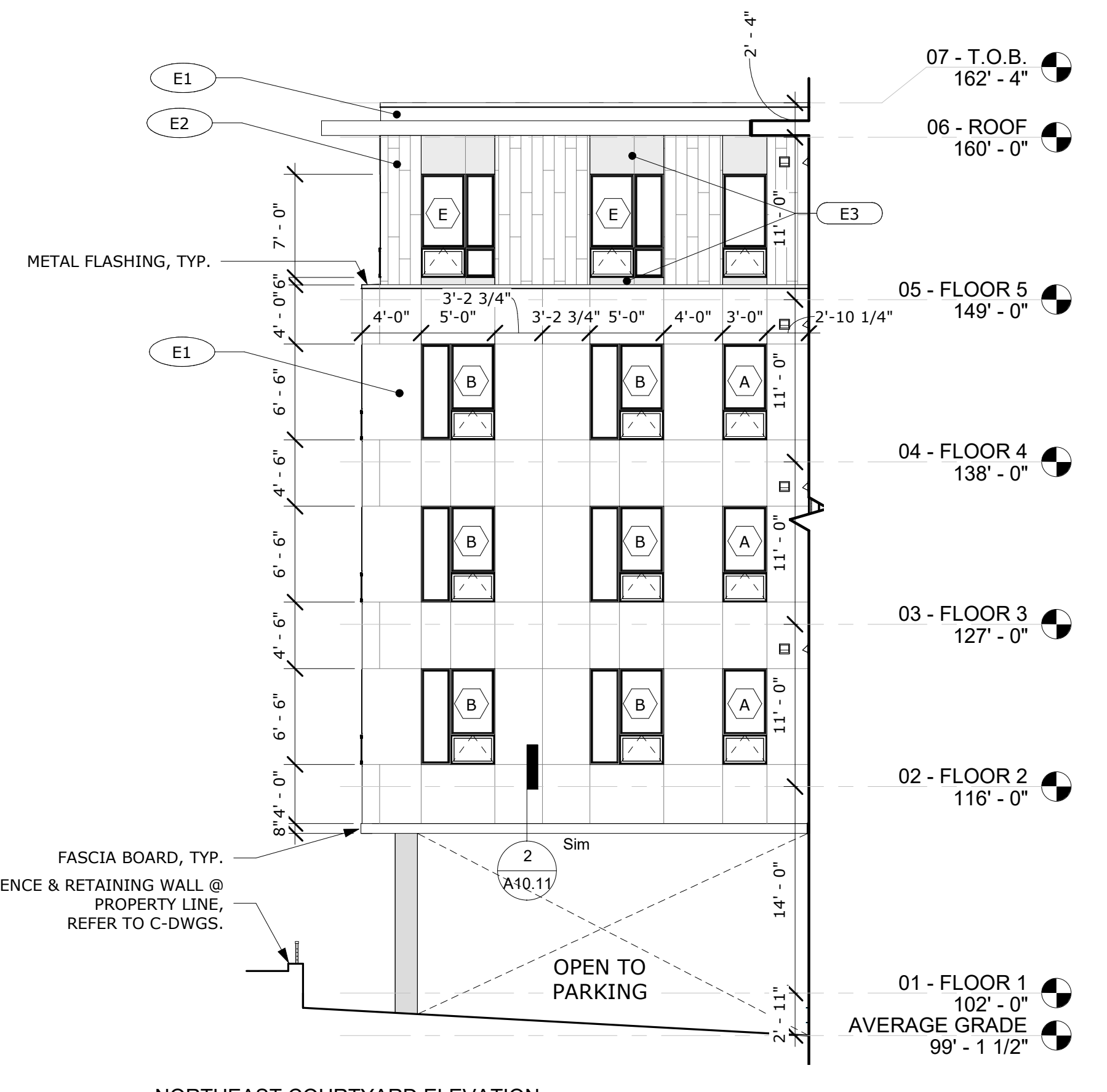
1 NORTHEAST ELEVATION
1/8" = 1'-0"



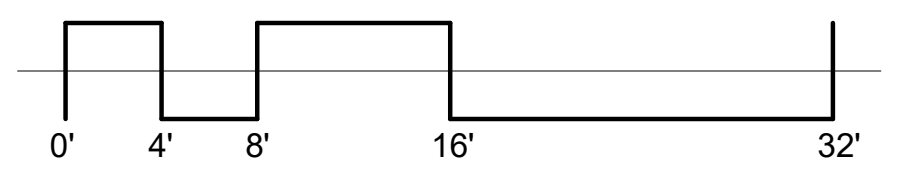
2 NORTHWEST ELEVATION
1/8" = 1'-0"

EXTERIOR MATERIAL SCHEDULE:			
MARK	MATERIAL	MANUFACTURER	COLOR/DESCRIPTION
E1	FIBER CEMENT PANEL	AMERICAN FIBER CEMENT, CEMBRIT	SOLID, 212-LUNA, 38"x120" CLADDING
E2	NEWTECHWOOD	NEWTECHWOOD - ALL WEATHER SIDING, VERTICAL	US09 TONGUE & GROOVE, PERUVIAN TEAK (TK), 5.5"x96"
E3	METAL PANEL	ATAS - STERRACORE, 1-PIECE MODULE	CHARCOAL GREY, SMOOTH, 12"x144" PANEL
E4	ROMAN FACE BRICK	TAYLOR CLAY PRODUCTS	NORMAN, BLACK ONYX MODULAR WIRECUT
E5	FASCIA	TBD	TO MATCH E1
E6	METAL COPING	TBD	TO MATCH E1
E7	PARAPET METAL COPING	TBD	TO MATCH E1

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3 NORTHEAST COURTYARD ELEVATION
1/8" = 1'-0"



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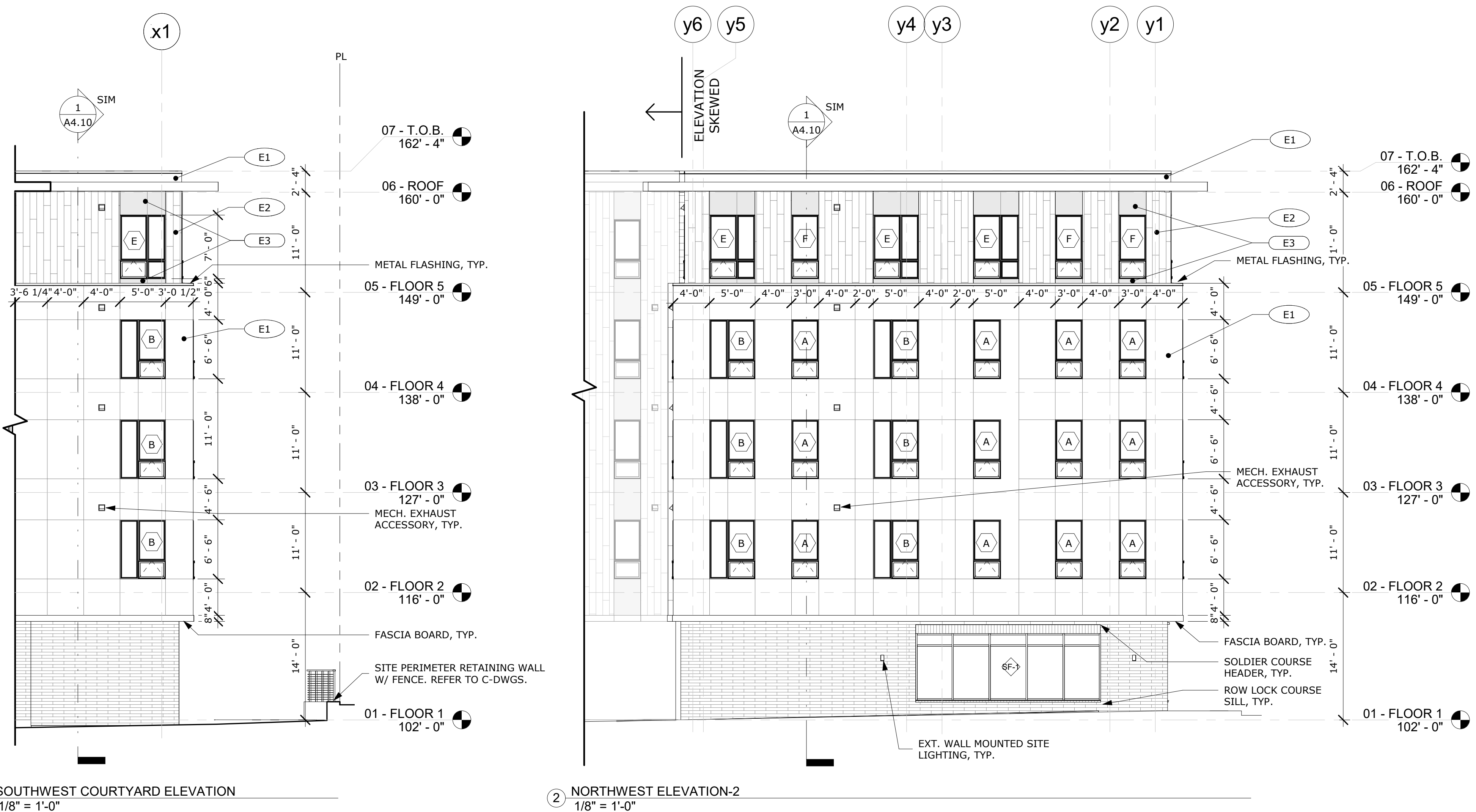
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ISSUED DATE: 03/17/2023
SHEET TITLE
EXTERIOR ELEVATIONS

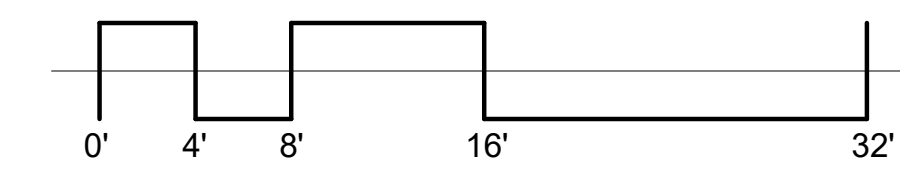
DRAWING NO.
A3.01



EXTERIOR MATERIAL SCHEDULE:

MARK	MATERIAL	MANUFACTURER	COLOR/DESCRIPTION
E1	FIBER CEMENT PANEL	AMERICAN FIBER CEMENT, CEMBRIT	SOLID, 212-LUNA, 38"x120" CLADDING
E2	NEWTECHWOOD	NEWTECHWOOD - ALL WEATHER SIDING, VERTICAL	US09 TONGUE & GROOVE, PERUVIAN TEAK (TK), 5.5"x96"
E3	METAL PANEL	ATAS - STERRACORE, 1-PIECE MODULE	CHARCOAL GREY, SMOOTH, 12"x144" PANEL
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E7	PARAPET METAL COPING	TBD	TO MATCH E1

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CONSTRUCTION DRAWINGS

ISSUED DATE: 03/17/2023

SHEET TITLE

EXTERIOR ELEVATIONS

DRAWING NO.

A3.02

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NOTE: BUILDING SECTIONS FOR GRAPHICAL PURPOSES. REFER TO WALL SECTIONS/ DETAILS FOR ADDITIONAL INFORMATION.

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PROJECT NAME

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MULTI-UNIT
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**CONSTRUCTION
DRAWINGS**

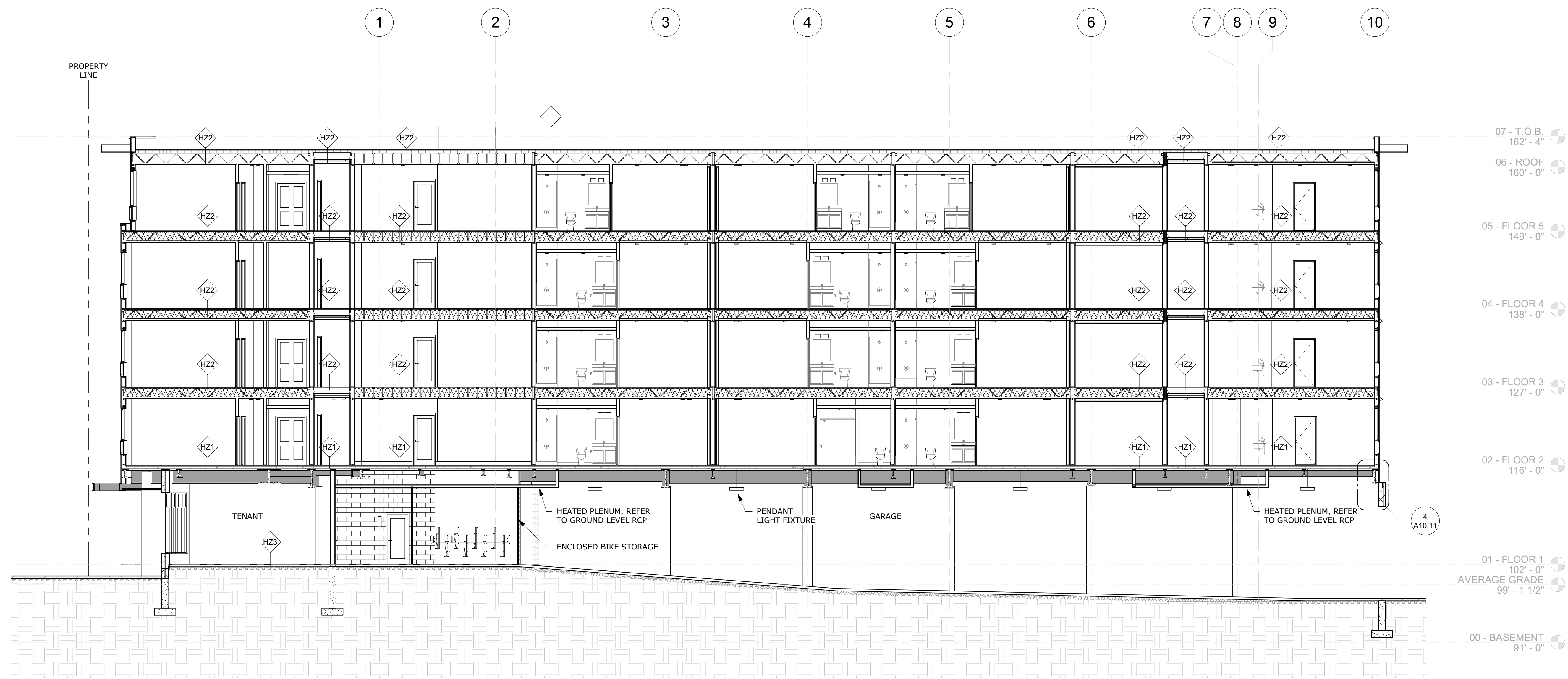
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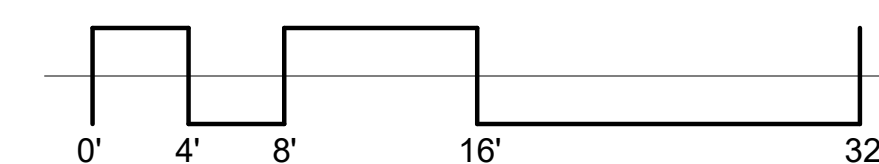
**BUILDING
SECTION**

DRAWING NO.

A4.00



① LONGITUDINAL SECTION
1/8" = 1'-0"



NOTE: BUILDING SECTIONS FOR GRAPHICAL PURPOSES. REFER TO WALL SECTIONS/ DETAILS FOR ADDITIONAL INFORMATION.

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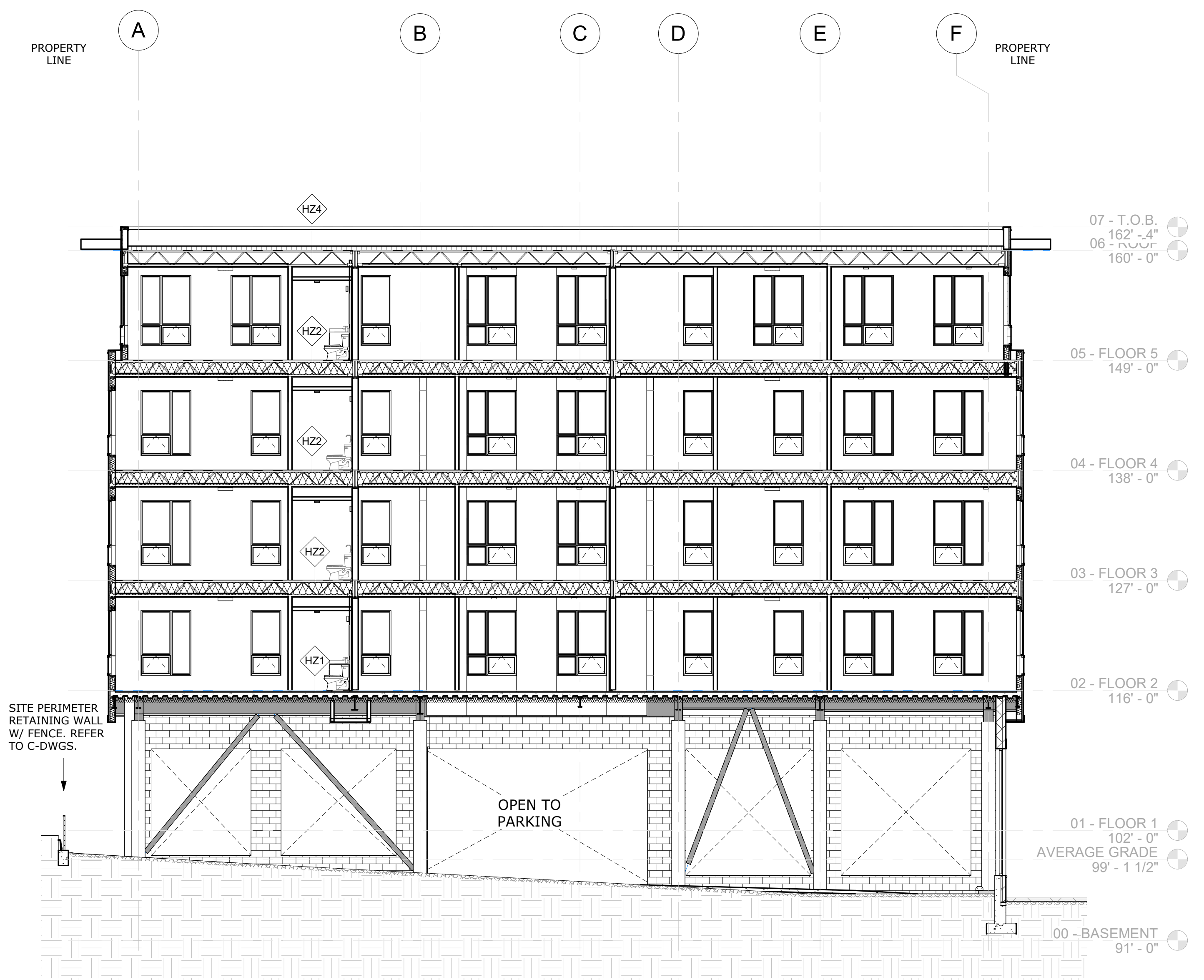
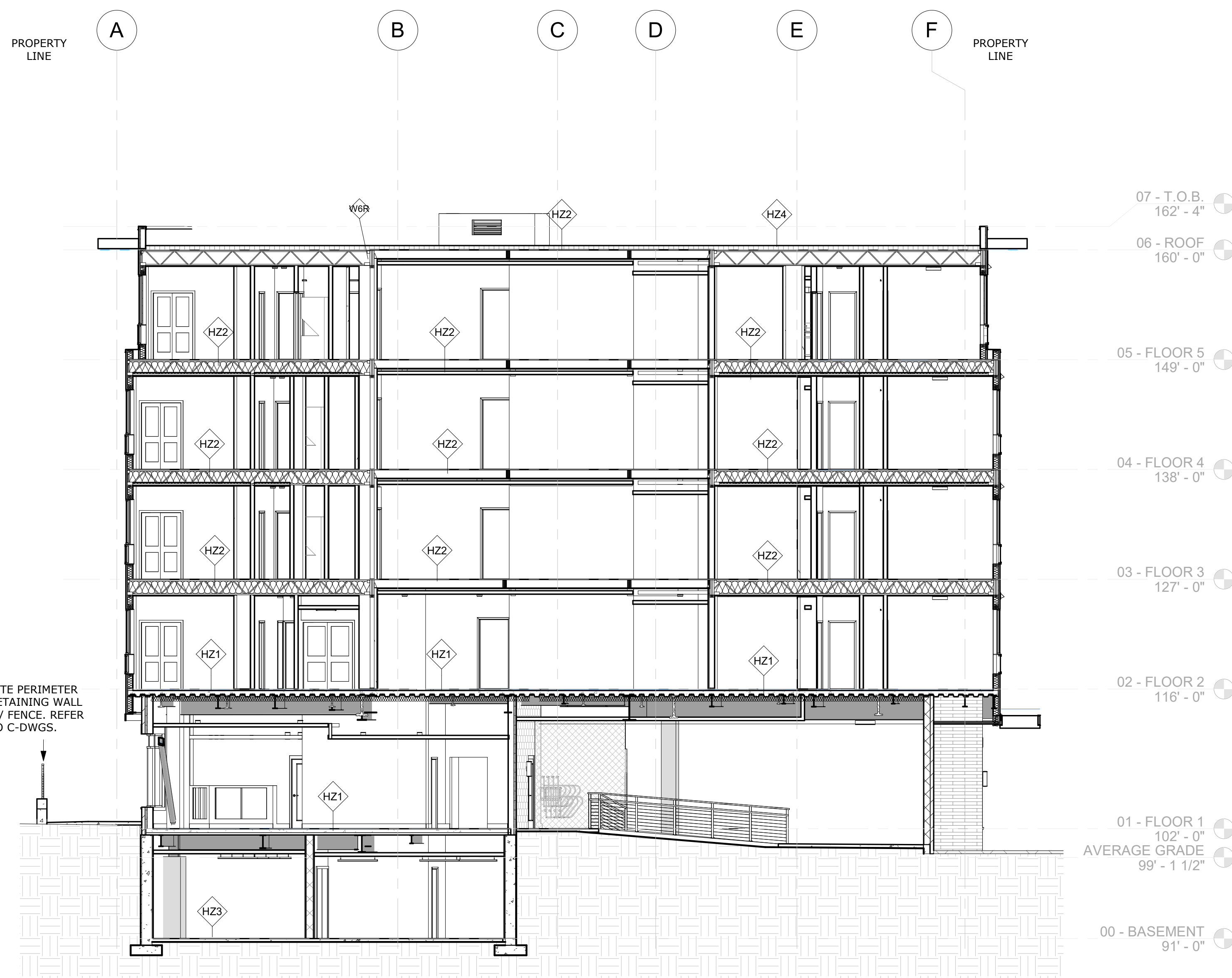
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SHEET TITLE

BUILDING SECTIONS

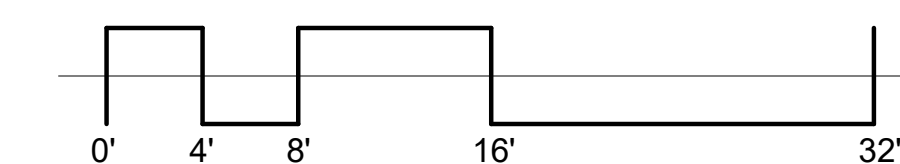
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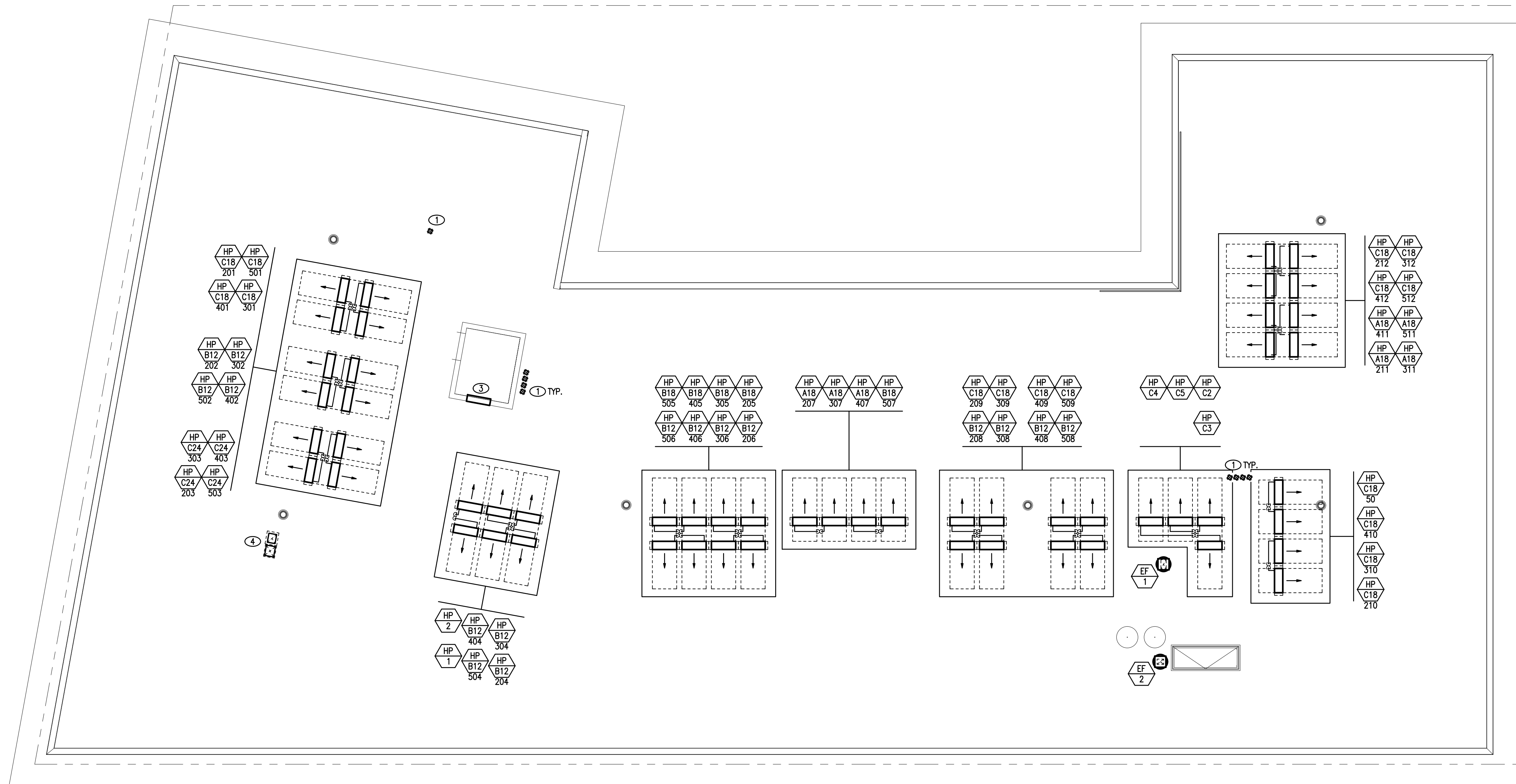


1 CROSS SECTION-1
1/8" = 1'-0"

2 CROSS SECTION-2
1/8" = 1'-0"



PLOT CREATED: 3/17/2023 5:48:35 PM



① MECHANICAL - ROOF PLAN
1/8" = 1'-0"

KEY NOTES	
①	6# FRESH AIR INTAKE GOOSENECK. SEE DETAIL 5/M3.01.
②	REFRIGERANT LINESETS DOWN THROUGH ROOF IN PORTAL. SEE DETAIL 5/M3.00.
③	ELEVATOR VENT. SEE DETAIL 7/M3.02.
④	14x12 GREASE EXHAUST W/ 2 LAYERS OF 3M ZERO CLEARANCE TO COMBUSTIBLES WRAP AND 16x14 INSULATED MAKEUP AIR DUCT DOWN TO FIRST FLOOR TENANT. FOR TERMINATION AT ROOF, CAP AT 18" ABOVE ROOF, INSULATED, SEALED.

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ber@ber-engineering.com
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Office Commons 95
351 Greenville Road
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T 401.384.7882

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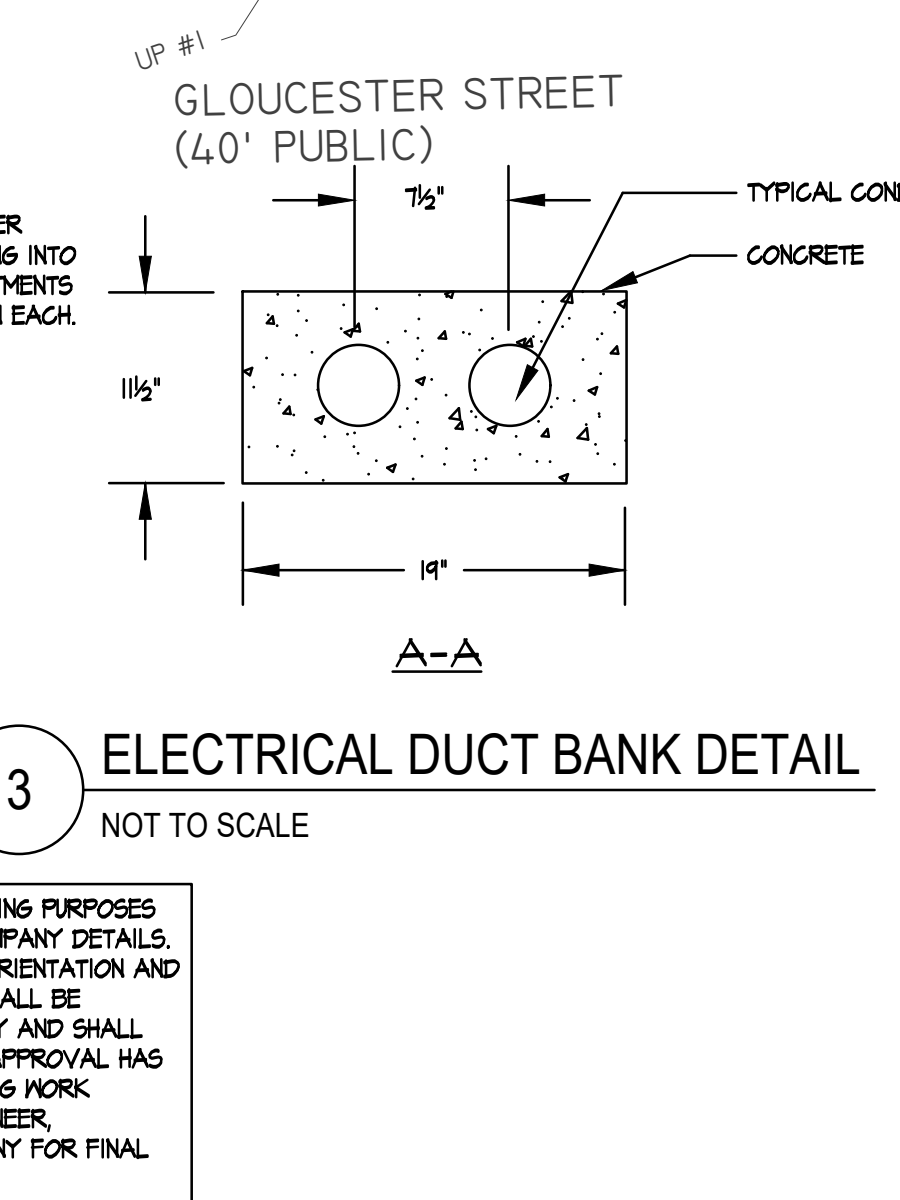
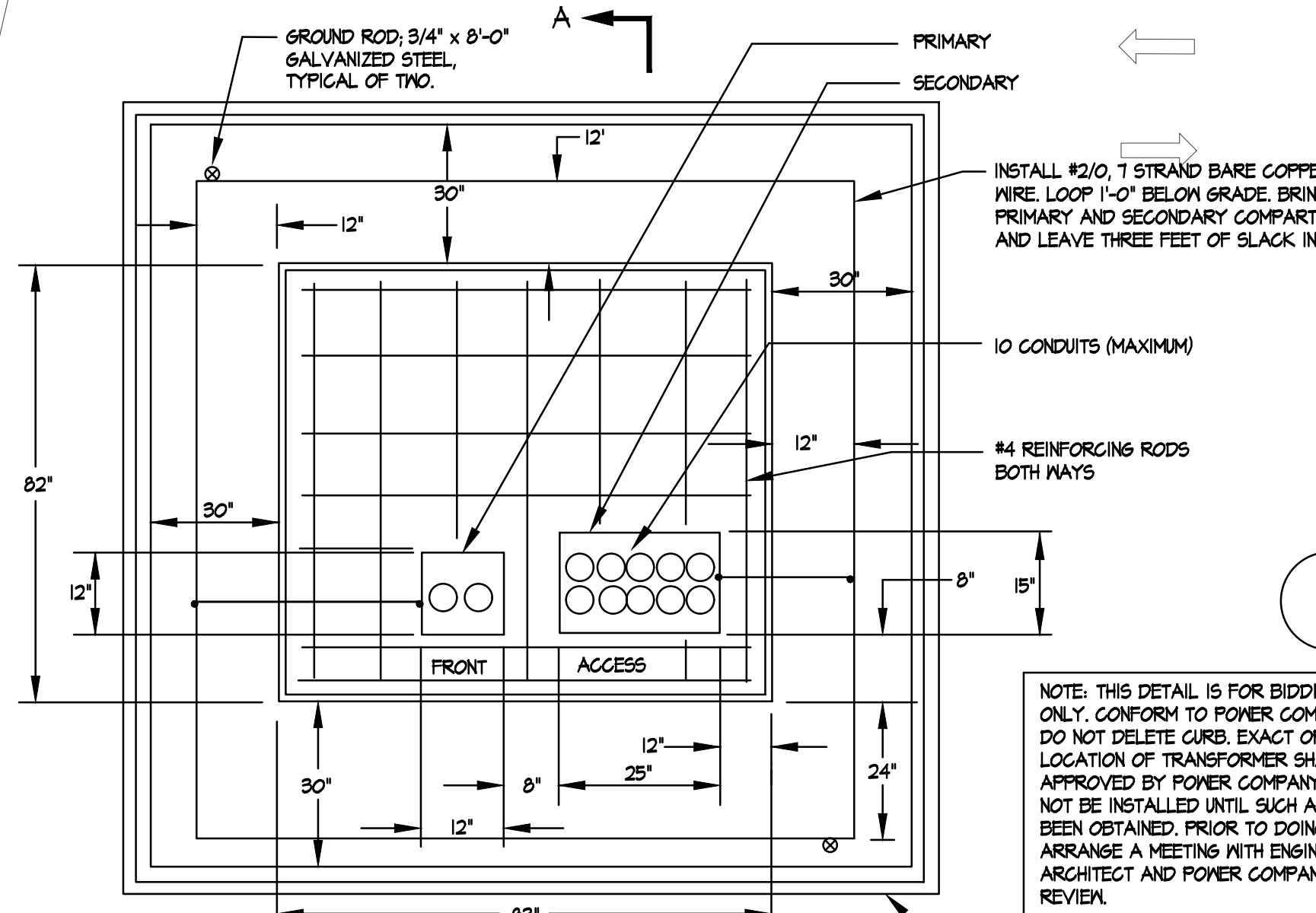
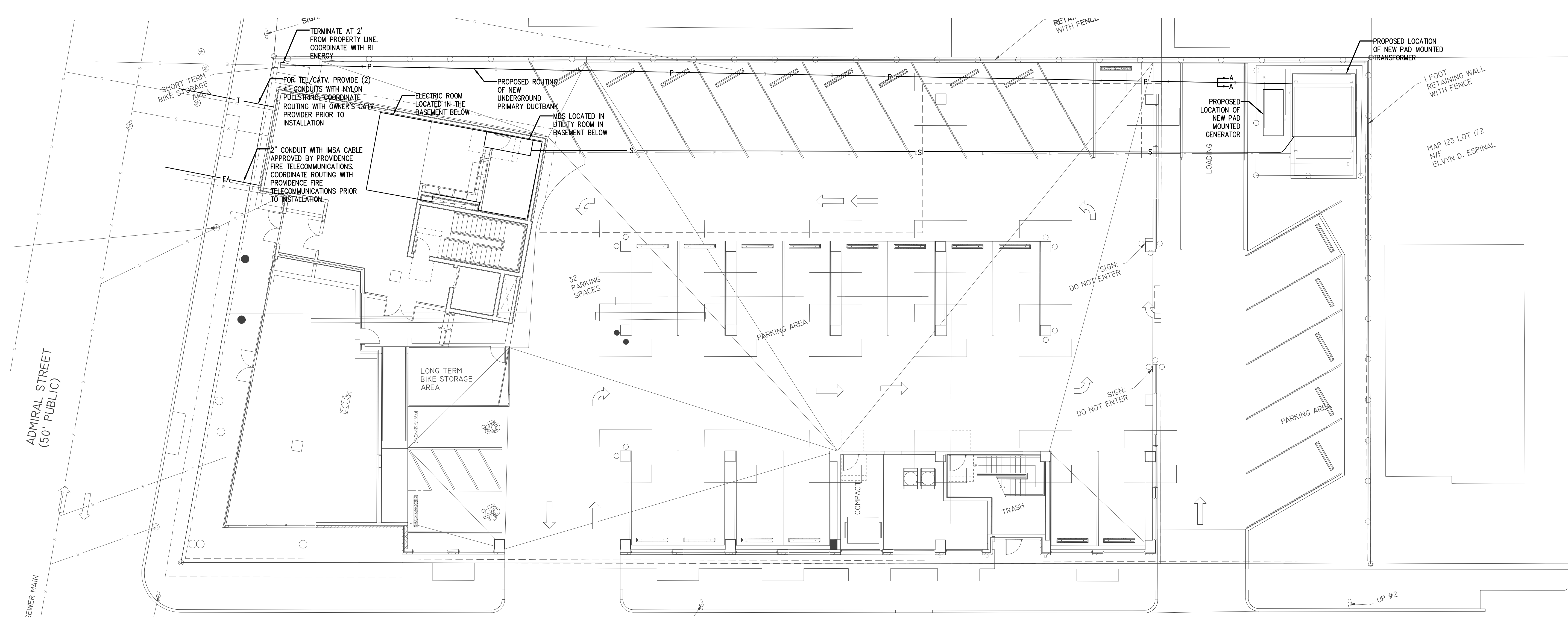
ISSUED DATE: 03/01/2023

SHEET TITLE

MECHANICAL ROOF PLAN

DRAWING NO.

M1.06

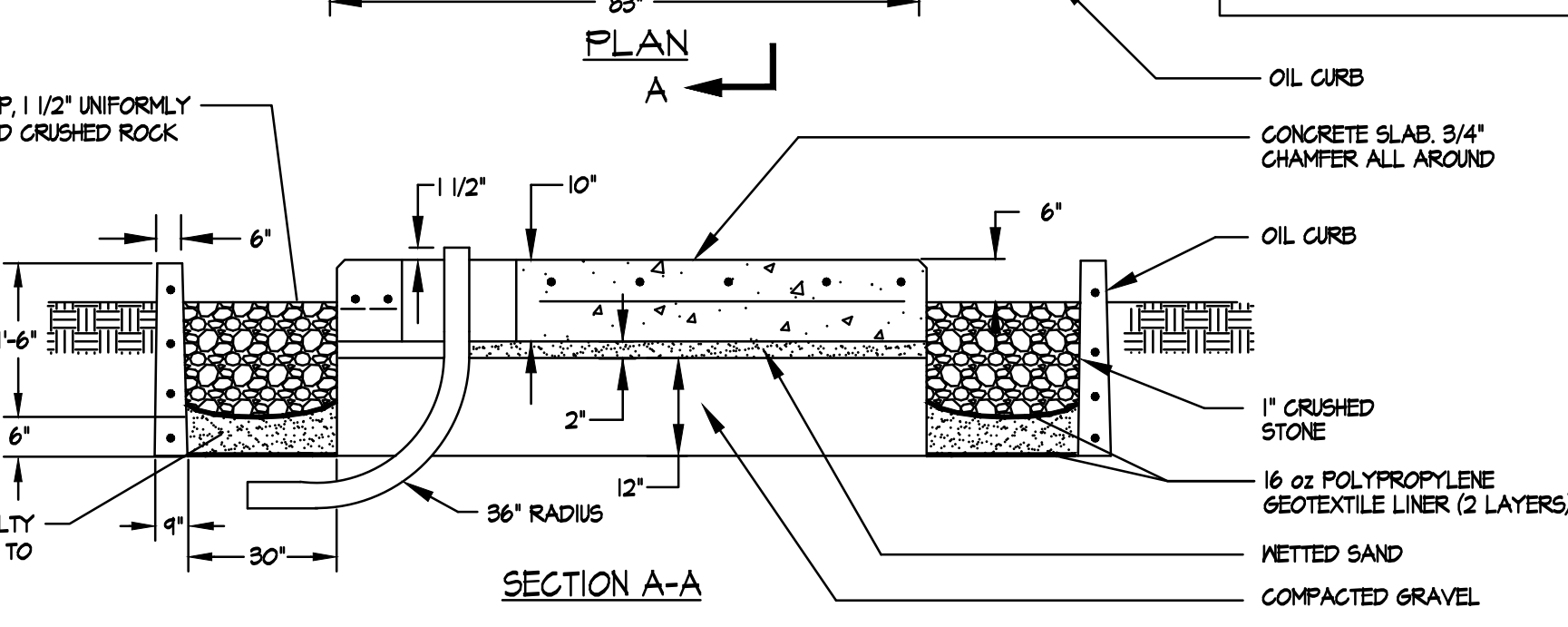
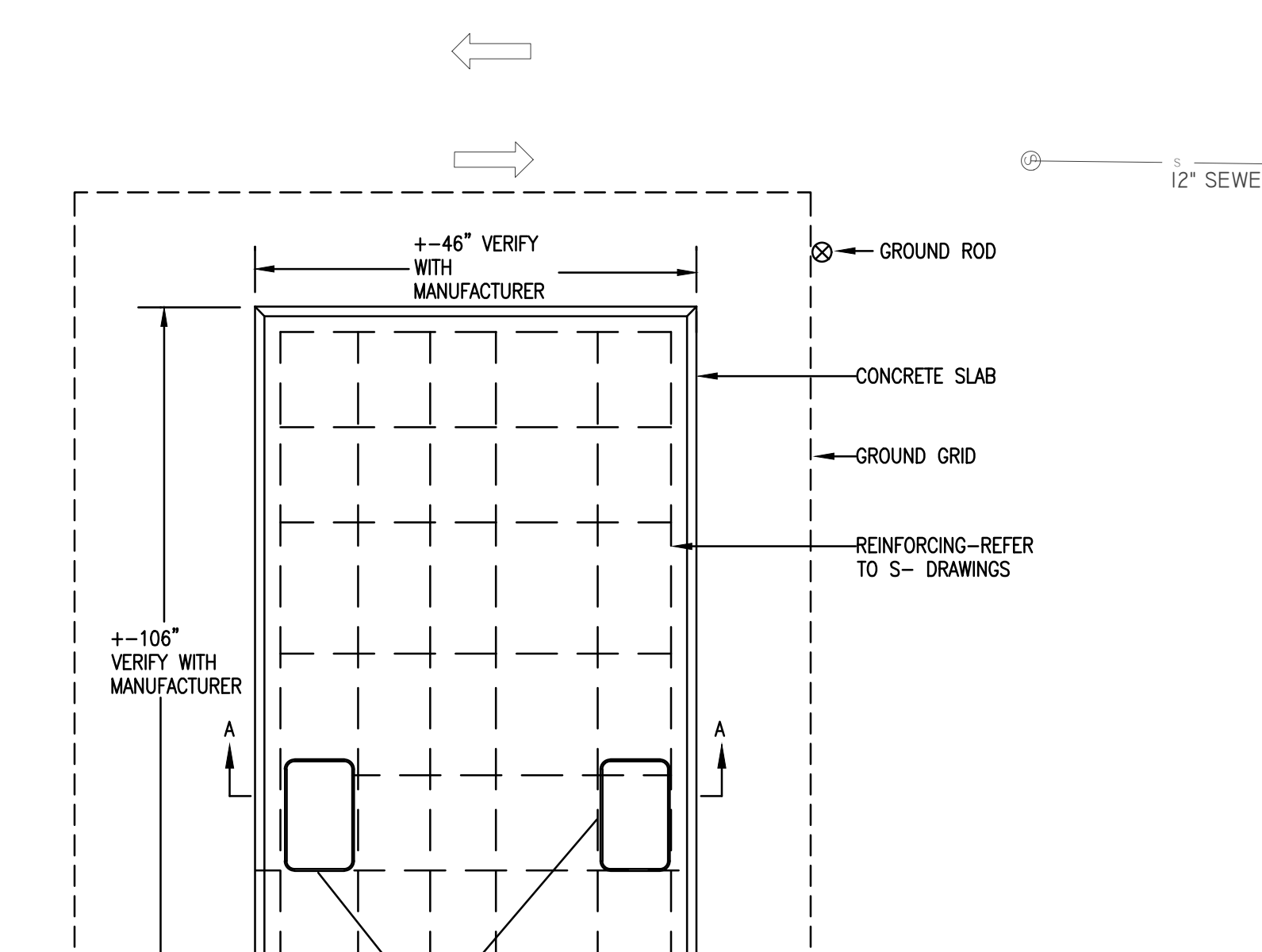


1 ELECTRICAL SITE PLAN
SCALE: 1"=10'-0"

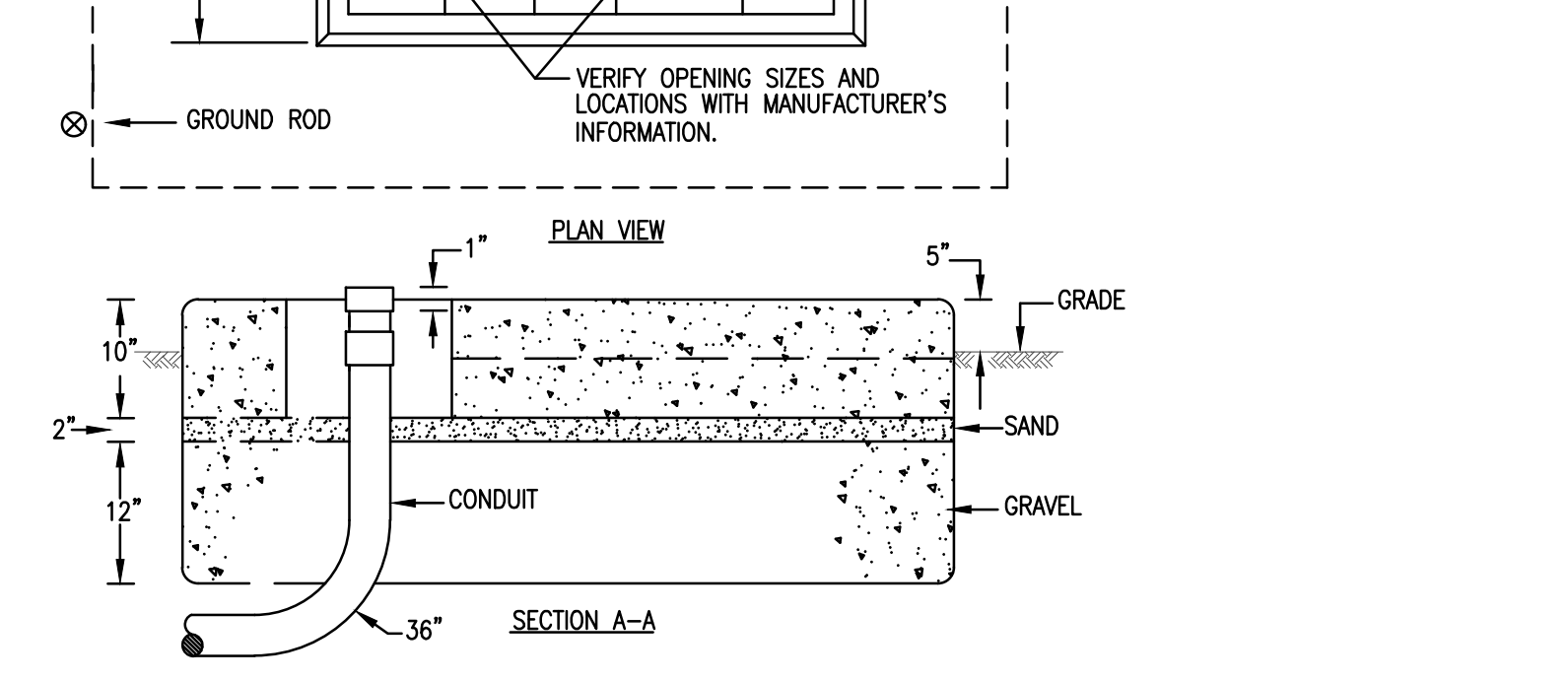
3 ELECTRICAL DUCT BANK DETAIL
NOT TO SCALE

PADMOUNT GENERATOR FOUNDATION NOTES:

- ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING THE GENERATOR, CONDUIT, WIRING & GROUNDING ASSOCIATED WITH THE GENERATOR. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL EXCAVATION, FORMING, REBAR & CONCRETE ASSOCIATED WITH GENERATOR PAD. ALL WORK SHALL BE COORDINATE BETWEEN THE GENERAL CONTRACTOR & THE ELECTRICAL CONTRACTOR.
- CONDUIT - INSTALL AS SHOWN BEFORE SLAB IS POURED. USE 36" RADIUS BENDS, WITH COUPLINGS, NIPPLES AND BUSHINGS AS REQUIRED. (MATERIAL MAY BE GALVANIZED STEEL). TERMINATIONS OF CONDUITS SHALL BE LOCATED EXACTLY AS SHOWN, SOLID OR DOTTED, DEPENDING ON THE NUMBER OF DUCTS. THE NIPPLE AND BUSHING SHOULD BE INSTALLED AFTER THE GENERATOR IS PLACED AND BEFORE THE CABLES ARE PULLED.
- GROUND GRID - INSTALL #1/0 S.D. 7 STRAND BARE COPPER WIRE LOOP 1'-0" BELOW GRADE. BOND TO ALL EXPOSED METALLIC CONDUIT AND LEAVE 3'-0" OF WIRE ABOVE PAD FOR GROUNDING GENERATOR AT TWO OPPOSITE POINTS IN THE CABLE CONDUIT OPENINGS. PROVIDE PHOS-COPPER BRAZE CONNECTIONS, OR CADWELD, OR USE TWO APPROVED CONNECTORS PER JOINT. INSTALL TWO 10 FT. GALVANIZED STEEL (3/4") GROUND RODS WHERE SHOWN. LEAVE GRID EXPOSED UNTIL INSPECTED BY THE ENGINEER.
- REFER TO S-DRAWINGS FOR CONCRETE AND REINFORCING REQUIREMENTS.
- REFER TO S-DRAWINGS FOR CONCRETE AND REINFORCING REQUIREMENTS.
- THIS DETAIL SHALL BE USED FOR BIDDING PURPOSES ONLY. VERIFY EXACT GENERATOR SIZE, PAD SIZE, AND CONSTRUCTION DETAILS WITH GENERATOR MANUFACTURER AND OWNER PRIOR TO INSTALLATION.



2 TRANSFORMER PAD WITH OIL CURB DETAIL
NOT TO SCALE: (CONFORM TO POWER COMPANY STANDARDS)



7 GENERATOR PAD DETAIL
NOT TO SCALE

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PROJECT NAME
ADMIRAL ST. MULTI-UNIT DEVELOPMENT
663 ADMIRAL STREET,
PROVIDENCE, RI 02908

PROJECT NO. 22028
THESE DRAWINGS ARE FOR THE CONSTRUCTION OF THE PROJECT LISTED ABOVE AND ARE NOT TO BE COPIED IN ANY FORM WITHOUT THE EXPRESS WRITTEN PERMISSION OF ZDS, INC. THE GENERAL CONTRACTOR SHALL NOT SCALE DRAWINGS FOR MEASUREMENTS, BUT SHALL VERIFY AT THE SITE ALL LEVELS AND MEASUREMENTS NECESSARY FOR COMPLETE FABRICATION, ASSEMBLY AND INSTALLATION OF THE WORK. MINOR DETAILS OF THE WORK NOT SPECIFICALLY SHOWN ON THE DRAWINGS SHALL BE ASCERTAINED BY THE CONTRACTOR AT THE SITE OF THE WORK, AND SHALL BE ACCOMPLISHED WITH THE INTENT OF THIS PROJECT.

REVISIONS

NO.	DESCRIPTION	DATE

CONSTRUCTION DRAWINGS

ISSUED DATE: 03/01/2023
SHEET TITLE
ELECTRICAL SITE PLAN

DRAWING NO.
E0.1

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NO.	DESCRIPTION	DATE

CONSTRUCTION
DRAWINGS

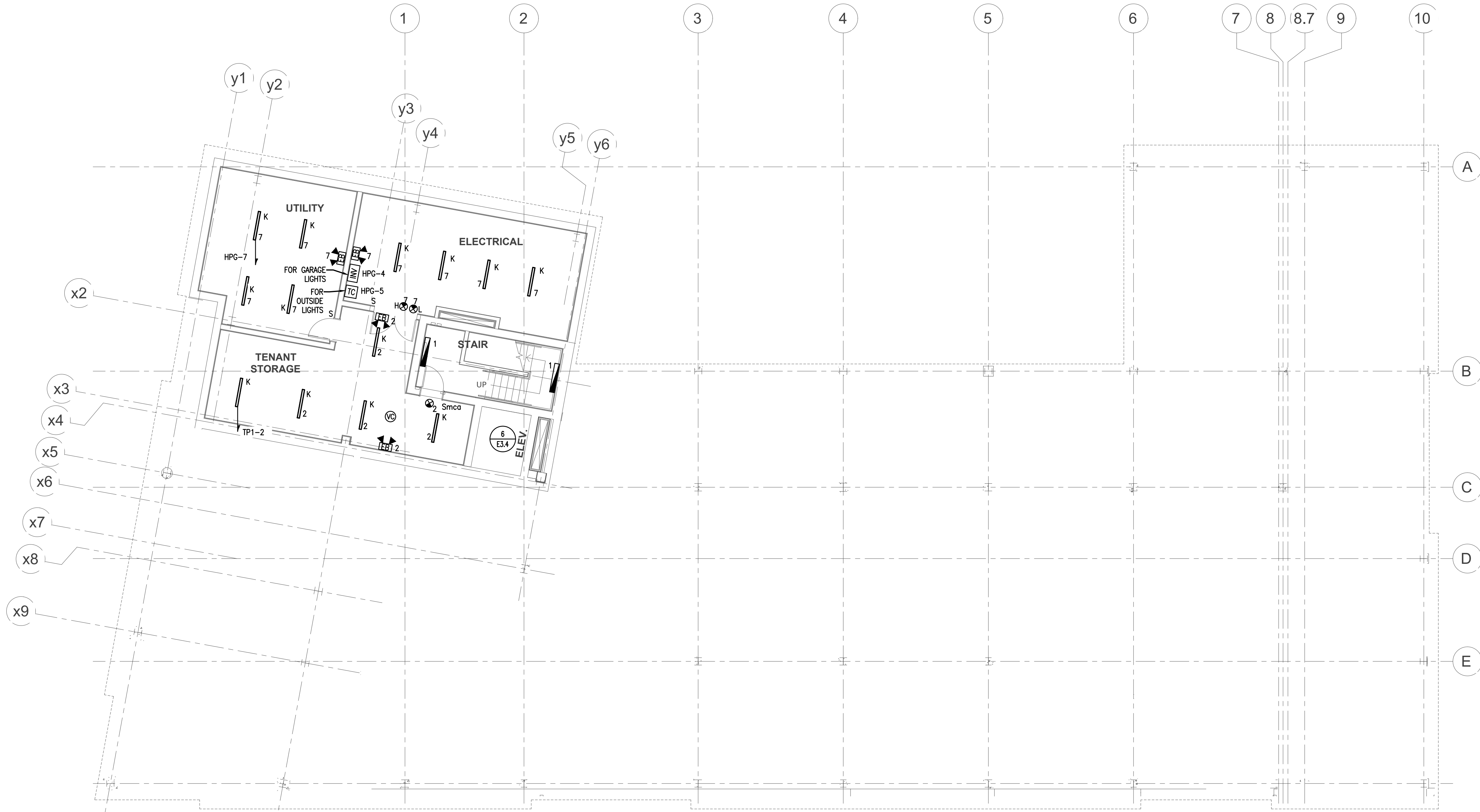
ISSUED DATE: 03/01/2023

SHEET TITLE

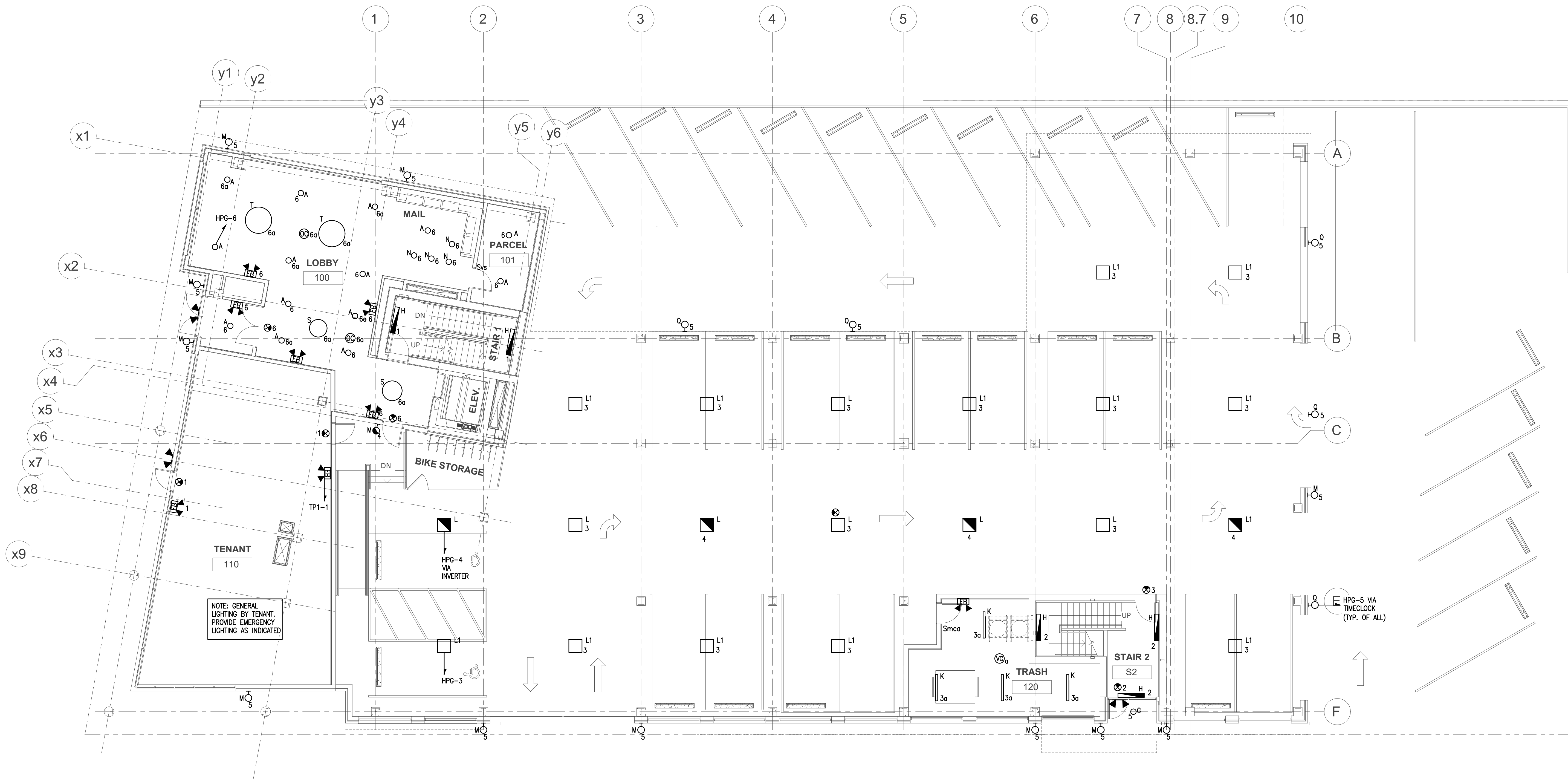
BASEMENT
LIGHTING
PLAN

DRAWING NO.

E1.0



1 BASEMENT LIGHTING PLAN
SCALE: 1/8"=1'-0"



1 GROUND FLOOR LIGHTING PLAN
SCALE: 1/8"=1'-0"

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NO.	DESCRIPTION	DATE

CONSTRUCTION DRAWINGS

ISSUED DATE: 03/01/2023
SHEET TITLE
GROUND FLOOR LIGHTING PLAN

DRAWING NO.
E1.1