

**ABBREVIATIONS**

A AREA, AMPERE, ALCOVE, COMP AIR LINE  
 ACT ACOUSTICAL CEILING TILE  
 AD AREA DRAIN  
 ADA AMERICANS WITH DISABILITIES ACT  
 ADD ADDENDUM  
 ADDL ADDITIONAL  
 ADJ ADJUST  
 AFF ABOVE FINISH FLOOR  
 AHU AIR HANDLING UNIT  
 AL ALUMINUM  
 ALT ALTERNATE  
 ANOD ANODIZED  
 AP ACCESS PANEL  
 APPD APPROVED  
 APPROX APPROXIMATE  
 APT APARTMENT  
 ARCH ARCHITECT, ARCHITECTURAL  
 ATTN ATTENTION  
 AUTH AUTHORIZED  
 AUTO AUTOMATIC  
 AVG AVERAGE  
 BC BOTTOM OF CURB  
 BRM BEDROOM  
 BTW BETWEEN  
 BIT BITUMINOUS  
 BL BASELINE; BLDG LINE; BLOCK  
 BLDG BUILDING  
 BM BEAM, BENCH MARK  
 BMT BUTYL MASTIC TAPE SEALANT  
 BO BOTTOM OF  
 BP BASE PLATE; BYPASS  
 BR BEDROOM, BRICK, BRASS; BOILER RM  
 BTU BRITISH THERMAL UNITS  
 CAB CABINET  
 CP CARPET  
 COW COUNTER CLOCKWISE  
 CWB CEMENT WALL BOARD  
 CFL COUNTER FLASHING  
 CG CORNER GUARD  
 CH COAT HOOK  
 CRC CIRCUMFERENCE  
 CJ CONTROL JOINT  
 CL CENTERLINE, CLEARANCE, CLOSET  
 CLG CEILING  
 CLO CLOSET  
 CLR CLEAR  
 CMU CONCRETE MASONRY UNIT  
 CNTR CENTER, COUNTER  
 COEF COEFFICIENT  
 COMP COMPOSITION, COMPRESSED  
 CONC CONCRETE  
 CONTR CONTRACTOR  
 COORD COORDINATE  
 COR CORNER, CORRIDOR  
 CORR CORRIDOR, CORRUGATED  
 CPT CARPET  
 CRSK COUNTERSINK  
 CT CERAMIC TILE, CORK TILE  
 DB DECIBEL  
 DEM DEMOLISH  
 DEMO DEMOLITION  
 DIA DIAMETER  
 DIAG DIAGONAL  
 DIAM DIAMETER  
 DIFF DIFFUSER  
 DM DIMENSION  
 DSP DISPOSAL  
 DN DOWN  
 DP DAMPROOFING  
 DS DOWNSPOUT, DOOR SWITCH  
 DTL DETAIL  
 DWG DRAWING  
 DWGS DRAWINGS  
 EA EACH  
 EJ EXPANSION JOINT  
 EL ELEVATION, ELEVATOR  
 ELEC ELECTRICAL  
 ELECT ELECTRICAL  
 ELEV ELEVATION, ELEVATOR  
 EM EMERGENCY  
 EQ EQUAL  
 EQPT EQUIPMENT  
 EXST EXISTING  
 EXP EXPANSION, EXPOSED  
 FA FIRE ALARM  
 FCU FAN COIL UNIT  
 FD FLOOR DRAIN  
 FEC FIRE EXTINGUISHER CABINET  
 FF FINISHED FLOOR  
 FO FACE OF  
 GA GAUGE  
 GALV GALVANIZED  
 GC GENERAL CONTRACTOR  
 GWB GYPSUM WALL BOARD  
 GSF GROSS SQ FT  
 HC HANDICAPPED  
 HDWD HARDWOOD  
 HDWR HARDWARE  
 HM HOLLOW METAL  
 HP HIGH POINT  
 HVAC HEATING/VENTILATION/AIR CONDITIONING  
 INCL INCLUDED  
 JAN JANITOR  
 JT JOINT  
 LAM LAMINATE  
 LAV LAVATORY  
 LP LOW POINT  
 MATL MATERIAL  
 MECH MECHANICAL  
 MEP MECHANICAL/ELECTRICAL/PLUMBING  
 MFR MANUFACTURER  
 MN MINIMUM  
 MSC MISCELLANEOUS  
 MO MASONRY OPENING  
 MRD MOISTURE RESISTANT DRYWALL  
 MTD MOUNTED  
 MIL METAL  
 N NORTH  
 NA NOT APPLICABLE  
 NC NOT IN CONTRACT  
 NOM NOMINAL  
 NTS NOT TO SCALE  
 NSF NET SQ FT  
 OC ON CENTER  
 OH OPPOSITE HAND  
 PERP PERPENDICULAR  
 PLAM PLASTIC LAMINATE  
 PLYWD PLYWOOD  
 PTD PAINTED  
 RD ROOF DRAIN  
 REF REFERENCE  
 REQD REQUIRED  
 REV REVISION  
 RM ROOM  
 RO ROUGH OPENING  
 SSOUTH SOUTH  
 SD SMOKE DETECTOR  
 SIM SIMILAR  
 SQ FT SQUARE FOOT  
 SS STAINLESS STEEL  
 STL STEEL  
 STORE STORAGE  
 STRUC STRUCTURE  
 SYS SYSTEM  
 TBR TO BE REMOVED  
 TEL TELEPHONE  
 TO TOP OF  
 TOD TOP OF DECK  
 TOS TOP OF STEEL  
 TYP TYPICAL  
 UL UNDERWRITERS LABORATORIES  
 UON UNLESS OTHERWISE NOTED  
 VB VAPOR BARRIER  
 VCT VINYL COMPOSITION TILE  
 VERT VERTICAL  
 VIF VERIFY IN FIELD  
 W WEST  
 WI WITH  
 W/O WITHOUT  
 WC WATER CLOSET  
 WD WOOD  
 WD WIDTH  
 WP WORKING POINT

**SYMBOLS**

Room name  
 101 ROOM NAME  
 0 STRUCTURAL GRID  
 E ELEVATION  
 1 SECTION  
 NPT 100 ABOVE FINISH FLOOR LEVEL  
 NW-1 30.00 WINDOW MEASUREMENTS TABLE  
 95.50 55.00  
 ND 1 DOOR MEASUREMENTS TABLE  
 36.00 80.00  
 EXISTING TO REMAIN  
 NEW CONSTRUCTION  
 EXISTING TO DEMOLISH

**GENERAL NOTES**

THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE WORK PRIOR TO STARTING CONSTRUCTION. SHALL VERIFY EXISTING CONDITIONS AND DIMENSIONS AND SHALL REPORT ANY DISCREPANCIES OR UNIDENTIFIED CONDITIONS TO THE ARCHITECT FOR RESOLUTION BEFORE BEGINNING WORK.

ANY DAMAGE TO EXISTING CONDITIONS IN THE EXECUTION OF THE WORK IN THIS CONTRACT SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE CONTRACT.

THE PURPOSE OF THESE DRAWINGS IS FOR THE CONTRACTOR TO INCLUDE ALL LABOR, MATERIALS, AND SERVICES REQUIRED FOR THE COMPLETION OF ALL WORK SHOWN OR REASONABLY IMPLIED BUT NOT LIMITED TO THAT EXPLICITLY SHOWN IN THE DOCUMENTS.

DO NOT SCALE THE DRAWINGS. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, DIMENSIONS, DETAILS, NOTES AND SYMBOLS THAT APPLY TO ONE UNIT, APPLY TO ALL UNITS IN LIKE SITUATIONS, U.N.O.

UNLESS SPECIFICALLY SHOWN OR NOTED ON THE DRAWINGS, NO STRUCTURAL MEMBER SHALL BE CUT, NOTCHED, BORED OR OTHERWISE MODIFIED WITHOUT THE PERMISSION OF THE STRUCTURAL ENGINEER OF RECORD.

THE CONTRACTOR SHALL NOTIFY THE BUILDING OWNER FIVE WORKING DAYS PRIOR TO ANY UTILITY BEING SHUT DOWN FOR CONSTRUCTION WORK.

INSTALLATION SHALL FOLLOW THE MANUFACTURER'S PUBLISHED SPECIFICATIONS AND/OR TRADE STANDARDS IN ADDITION TO MEETING OR EXCEEDING THE DESIGN STANDARDS.

ALL DIMENSIONS ARE TO FACE OF STUD / FACE OF WALL OR CENTERLINE OF COLUMN UNLESS NOTED OTHERWISE.

THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES IN THE DOCUMENTS PRIOR TO PROCEEDING WITH ANY WORK INVOLVED.

CONTRACTOR SHALL APPLY AND PAY FOR ANY REQUIRED PERMITS FOR WORK PERFORMED.

ALL WORK IS NEW UNLESS OTHERWISE NOTED. REVIEW EXISTING DRAWINGS TO DETERMINE WHAT SELECTIVE DEMOLITION MUST TAKE PLACE IN ORDER TO INSTALL NEW WORK.

"REMOVE" MEANS TO REMOVE AND DISPOSE OF IN A LEGALLY APPROPRIATE DUMP SITE OR TO RECYCLE AT AN APPROPRIATE FACILITY.

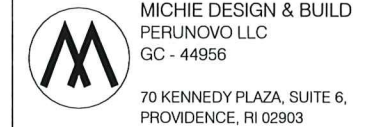
"REPLACE" MEANS TO REMOVE EXISTING AND INSTALL NEW.

"FURNISH" MEANS TO PROVIDE NEW MATERIALS.

INFORMATION MAY NOT BE SHOWN IN TRADITIONAL LOCATIONS WITHIN THE DOCUMENTS. REVIEW ALL DOCUMENTS TO DETERMINE COMPLETE SCOPE OF WORK. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR ALL NEW REQUIRED SCOPE.

Sheet List

Number	Sheet Name
G'102	SURVEY PLAN - AVERAGE GRADE LEVEL
G'103	SITE PLAN - SOIL CONTROL - LANDSCAPE PLAN & TREE CANOPY
01_ARCHITECTURE PLANS	
A100	PROPOSAL - BASEMENT & GROUND FLOOR
A101	PROPOSAL - SECOND & THIRD FLOOR
A102	PROPOSAL - MEZZANINE & ROOF ELEVATIONS
A104	WINDOWS & DOORS SCHEDULE
A105	SECTIONS & DETAILS
S100	SAFETY EGRESS - GROUND & SECOND FLOOR
S101	SAFETY EGRESS - THIRD FLOOR & MEZZANINE
S200	SPRINKLER SYSTEM - GROUND FLOOR & SECOND FLOOR
S201	SPRINKLER SYSTEM - THIRD FLOOR & MEZZANINE



Team  
 Architectural Designer  
 Bryan B. Michie

86 SPRUCE ST.  
 PROVIDENCE

Client  
 Steven Meresi  
 86 Spruce St.  
 Providence  
 RI 02903, USA



PROJECT: 86 Spruce St.

RECEIVED FOR RECORD  
 CITY OF PROVIDENCE, RI  
 FEB 10, 2025 09:58 AM  
 Jeanne Pascone  
 RECORDER OF DEEDS  
 Vol: 106 PG: 98



ACME Architects LLC  
 9 Simmons Road  
 Little Compton, RI 02837  
 401 465 5247

**City of Providence**  
**Minor Subdivision or Minor Land Development Project**  
**Final Approval**

Project Address: 86 SPRUCE ST

Project Number: 24-059 ml

Approved pursuant to the City of Providence Zoning Ordinance and Land Development and Subdivision Review Regulations.

*Cj* 2/7/25

Administrative Officer Date  
 Department- of Planning & Development

No.	Description	Date
1	Encroachments, U-factor values, fire-rating doors, UL listings, stair risers and treads, wall types	11/26

DATE: DECEMBER 2024  
 SCALE:

GENERAL NOTES

G'100

TABLE 5-1: COMMERCIAL DISTRICT DIMENSIONAL STANDARDS\* ABSTRACTED FROM CITY OF PROVIDENCE ZONING ORDINANCE, ARTICLE 5.502 DIMENSIONAL STANDARDS

ACTION	MIN. LOT AREA C-2	MIN. BUILDING HEIGHT (ft) C-2	MIN. FIRST STORY HEIGHT (ft) C-2	MAX. BUILDING HEIGHT C-2	MAX. BUILDING COVERAGE C-2	TOTAL MAXIMUM IMPERVIOUS SURFACE COVERAGE C-2	MIN. FRONT SETBACK (ft) C-2	MIN. INTERIOR SIDE SETBACK (ft) C-2	MIN. CORNER SIDE SETBACK (ft) C-2	MIN. REAR SETBACK (ft) C-2	1410 PARKING	
											PARKING EXEMPTIONS	
REQUIRED	None	16'	9' Residential Use 11' Non-Residential Use	50', not to exceed 4 stories	None	None	Build-to Zone of 0' to 5' (503.A.6)	None, unless abutting residential district, then 10'	Build-to Zone of 0' to 5' (503.A.6)	None, unless abutting residential district, then 20'	In the R-4, C-1 and C-2 districts, all lots of 10,000 square feet or less are exempt from parking requirements	
PROPOSED	2091 SF	50'	11' Commercial 9' Residential	50' (3.5 stories)	89%	96%	0'	None	0'	7'-6"		

**PROJECT SUMMARY**

PROJECT:  
86 Spruce St.  
Providence, RI 02903, USA

DESCRIPTION:  
Mix Used Building - Retail Space (01) and Multi-Family Units (10)

ZONING: C-2 General Commercial District

APPLICABLE CODES:  
RISBC-2 RHODE ISLAND BUILDING CODE  
510-RICR-BUILDING CODE COMMISSION

2021 RI FIRE CODE  
2021 RI LIFE SAFETY CODE

CONSTRUCTION TYPE (Type IIIA)

**MICHIE DESIGN & BUILD**  
PERUNOVO LLC  
GC - 44956

70 KENNEDY PLAZA, SUITE 6,  
PROVIDENCE, RI 02903

**Team**  
Architectural Designer  
Bryan B. Michie

**86 SPRUCE ST.**  
PROVIDENCE

Client  
Steven Meresi

86 Spruce St.  
Providence  
RI 02903, USA

PROJECT: 86 Spruce St.

STAMP IS TO APPROVE STRUCTURAL WORK ONLY. ALL OTHER ASPECTS SUCH AS ELECTRICAL OR ARCHITECTURAL SHALL BE APPROVED BY APPROPRIATE DESIGN PROFESSIONALS.



**Approved**

FEB 07 2025

**City of Providence**

No.	Description	Date
1	Encroachments, U-factor values, fire-rating doors, UL listings, stair risers and treads, wall types	11/26

DATE: DECEMBER 2024  
SCALE: As indicated

ZONING AND BUILDING CODE

**G'101**



ACME Architects LLC  
9 Simmons Road  
Little Compton, RI 02837  
401 465 5247

**1. Climate Zone: 5A**

**2. Design Parameters**

- A. Winter Design Temperature
  - a. 99% Winter Design Temperature: -1°F
  - b. 1% Winter Design Temperature: 10°F
- B. Summer Design Temperature
  - a. 1% Dry Bulb Temperature: 87°F
  - b. 2% Dry Bulb Temperature: 85°F
- C. Mean Coincident Wet Bulb: 73°F
- 3. Humidity
  - A. Indoor Design Relative Humidity (Heating): 30%
  - B. Indoor Design Relative Humidity (Cooling): 50%
- 3. Wind
  - A. Basic Wind Speed: 120 mph (3-second gust) per ASCE 7-16
  - B. Exposure Category: Exposure B (urban and suburban areas with closely spaced obstructions having the size of single-family dwellings or larger)

**4. Snow Load: Ground Snow Load: 30 psf**

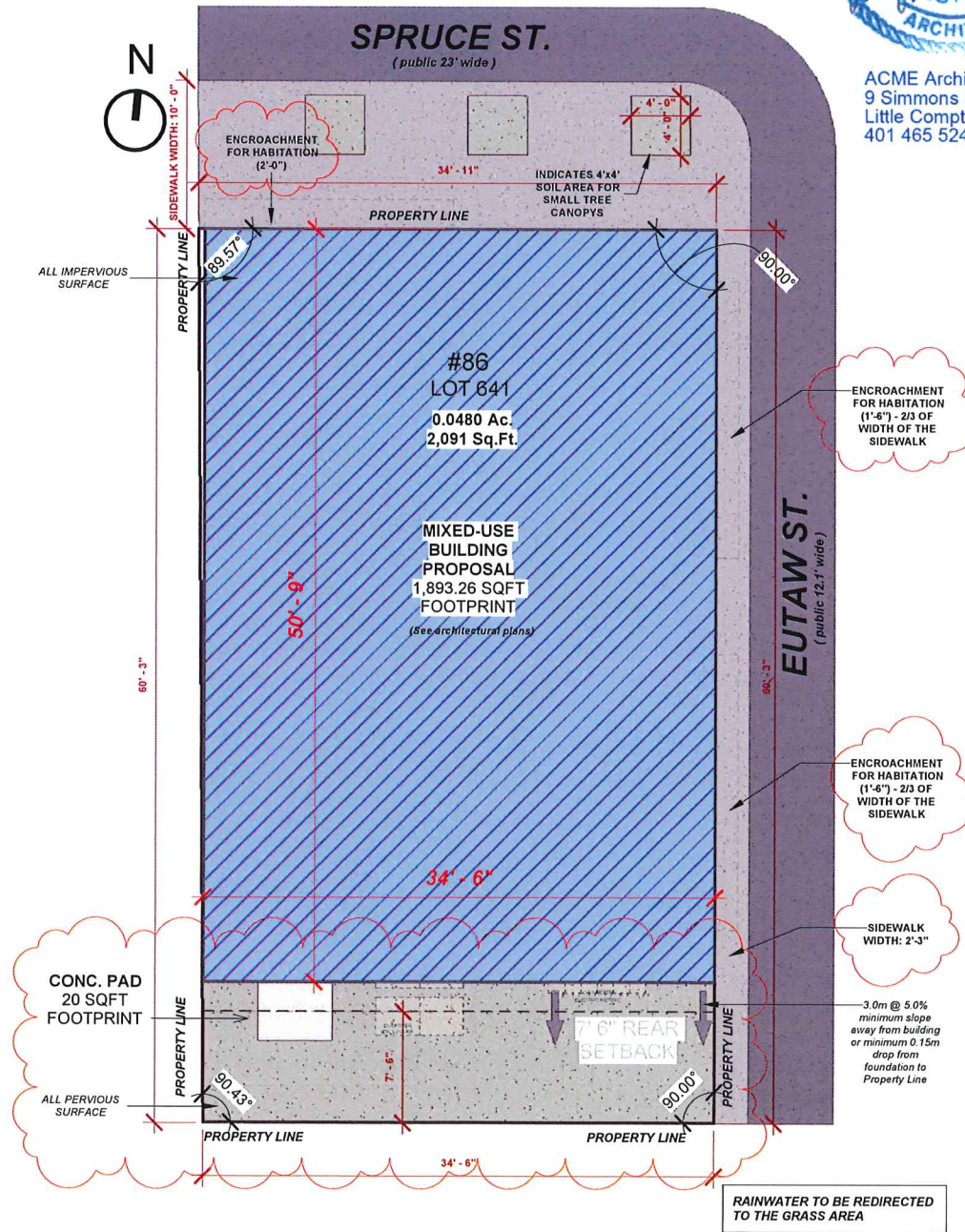
- 5. Seismic Design Category: Seismic Design Category: C (Moderate Seismic Risk)
- 6. Frost Line Depth: Frost Line Depth: 40 inches
- 8. Soil Conditions: Bearing capacity of 2000 psf
- 9. Radon: Radon Zone: Zone 2 (Moderate Potential)
- 10. Other Considerations:
  - 1. Mean Annual Temperature: 50.7°F (10.4°C)
  - 2. Latitude: 41.8240° N
  - 3. Longitude: 71.4128° W

**NOTES:**

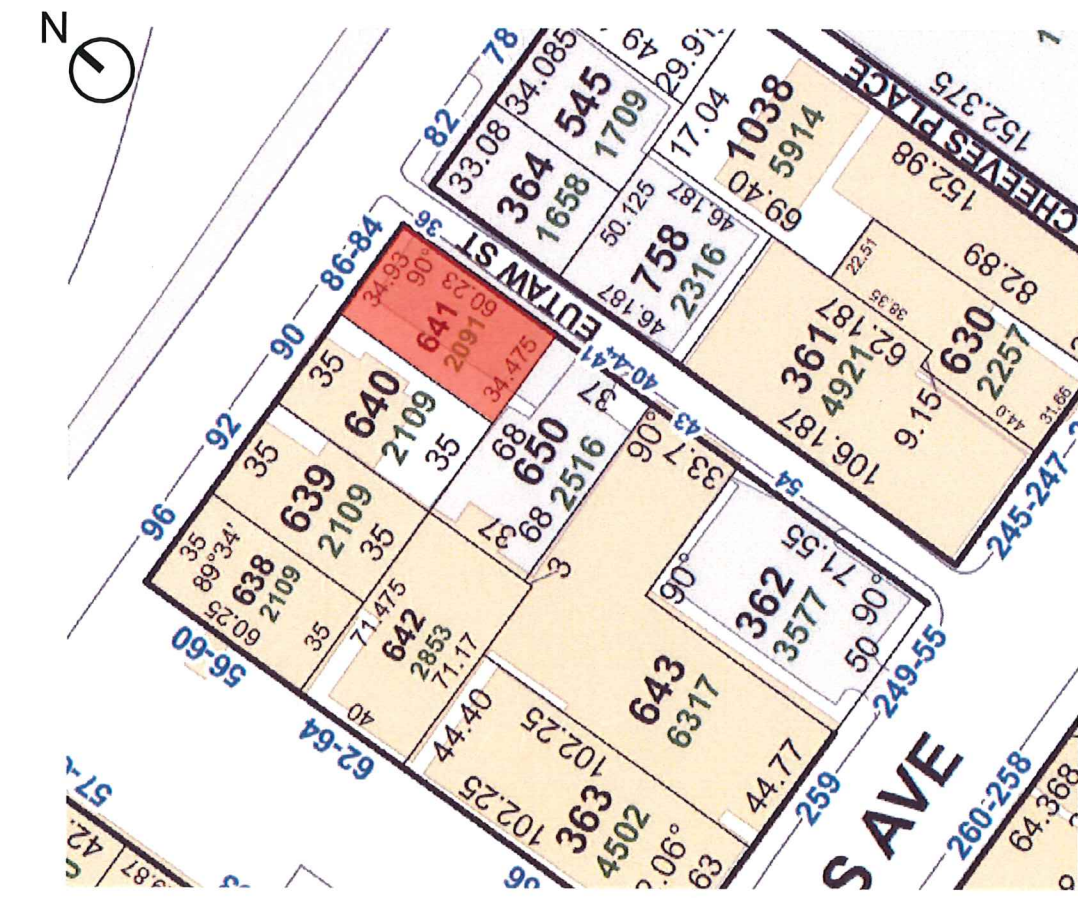
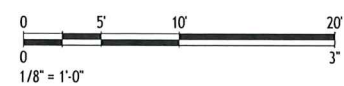
- 1.) SILT FENCE OR HAY WADDLE TO BE SET IN PLACE AROUND PERIMETER OF LOT TO PREVENT SEDIMENT TO SPREAD TO OTHER PROPERTIES OR THE STREET.
- 2.) CONTRACTOR TO CO-ORDINATE INSTALLATION OF WATER LINE SIZE AND LOCATION WITH PROVIDENCE WATER AUTHORITY.
- 3.) ANY CONCRETE SIDEWALK TO BE ADA COMPLIANT. UTILIZING PROVIDENCE STANDARD CONSTRUCTION DETAILS (FROM PROPERTY LINE TO PROPERTY LINE).
- 4.) ALL CONSTRUCTION IN THE PUBLIC ROW MUST BE IN ACCORDANCE WITH THE CITY'S STANDARD DETAILS AVAILABLE AT:  
[https://www.providenceci.gov/public-works/forms/ under 'REPORTS + PUBLICATIONS' or](https://www.providenceci.gov/public-works/forms/under%20REPORTS%20AND%20PUBLICATIONS/or)  
<https://www.providenceci.gov/wp-content/uploads/2019/06/Providence-DPW-Standard-Details.pdf>
- 5.) ROOF DRAINS ARE NOT TO BE CONNECTED TO SEWER LINE

**OWNER:**

STEVEN MERESI  
356 WOODWARD RD  
PROVIDENCE, RI  
02904



**1 SITE PLAN**  
1/8" = 1'-0"



**2 ZONING PLAN**  
1" = 40'-0"

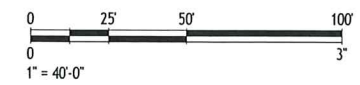


TABLE 5-1. COMMERCIAL DISTRICT DIMENSIONAL STANDARDS ABSTRACTED FROM CITY OF PROVIDENCE ZONING ORDINANCE ARTICLE 5.502 DIMENSIONAL STANDARDS

ACTION	MIN. LOT AREA	MIN. BUILDING HEIGHT (ft)	MIN. FIRST STORY HEIGHT (ft)	MAX. BUILDING HEIGHT	MAX. BUILDING COVERAGE	TOTAL MAXIMUM IMPERVIOUS SURFACE COVERAGE	MIN. FRONT SETBACK (ft)	MIN. INTERIOR SIDE SETBACK (ft)	MIN. CORNER SIDE SETBACK (ft)	MIN. REAR SETBACK (ft)	1410 PARKING
REQUIRED	C-2	C-2	C-2	C-2	C-2	C-2	C-2	C-2	C-2	C-2	PARKING EXEMPTIONS
PROPOSED	2,091 SF	50'	11' Commercial 9' Residential	50' (4 stories)	89%	93.8%	0'	None	0'	7'-6"	In the R-4, C-1 and C-2 districts, all lots of 10,000 square feet or less are exempt from parking requirements

**PROJECT SUMMARY**  
 PROJECT: 86 Spruce St. Providence, RI 02903 USA  
 DESCRIPTION: Dwelling - Multi-Family  
 ZONING: C-2 General Commercial District  
 APPLICABLE CODES: RIBC-2 RHODE ISLAND BUILDING CODE 2021 RI FIRE CODE  
 510-RICR-BUILDING CODE COMMISSION 2021 RI LIFE SAFETY CODE  
 CONSTRUCTION TYPE: 4 STORIES (Type IIA)

**PREPARED FOR:**  
 PERUNOVO LLC  
 70 KENNEDY PLAZA opt 6  
 PROVIDENCE, R.I.  
 02903-2000

**ZONING DATA:**  
 CLASSIFICATION : C-2

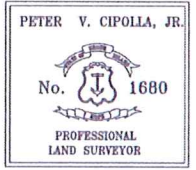
**FLOOD DATA:**  
 ENTIRE PARCEL IS NOT LOCATED IN ANY AREA OF FLOOD HAZARD ON FIRM COMMUNITY PANEL 44007C030BJ EFFECTIVE 10/02/2015

- REFERENCES:**
- 1.) PROVIDENCE ASSESSORS PLAT NO. 28
  - 2.) PROVIDENCE DEED BOOK/PAGE: 4544/204, 14055/290 & 13439/107
  - 3.) PROVIDENCE RECORDED PLAT CARD 163 "PLAN OF ESTATE IN PROV. RI BELONGING TO MRS. H.B. CROUT" - 1860

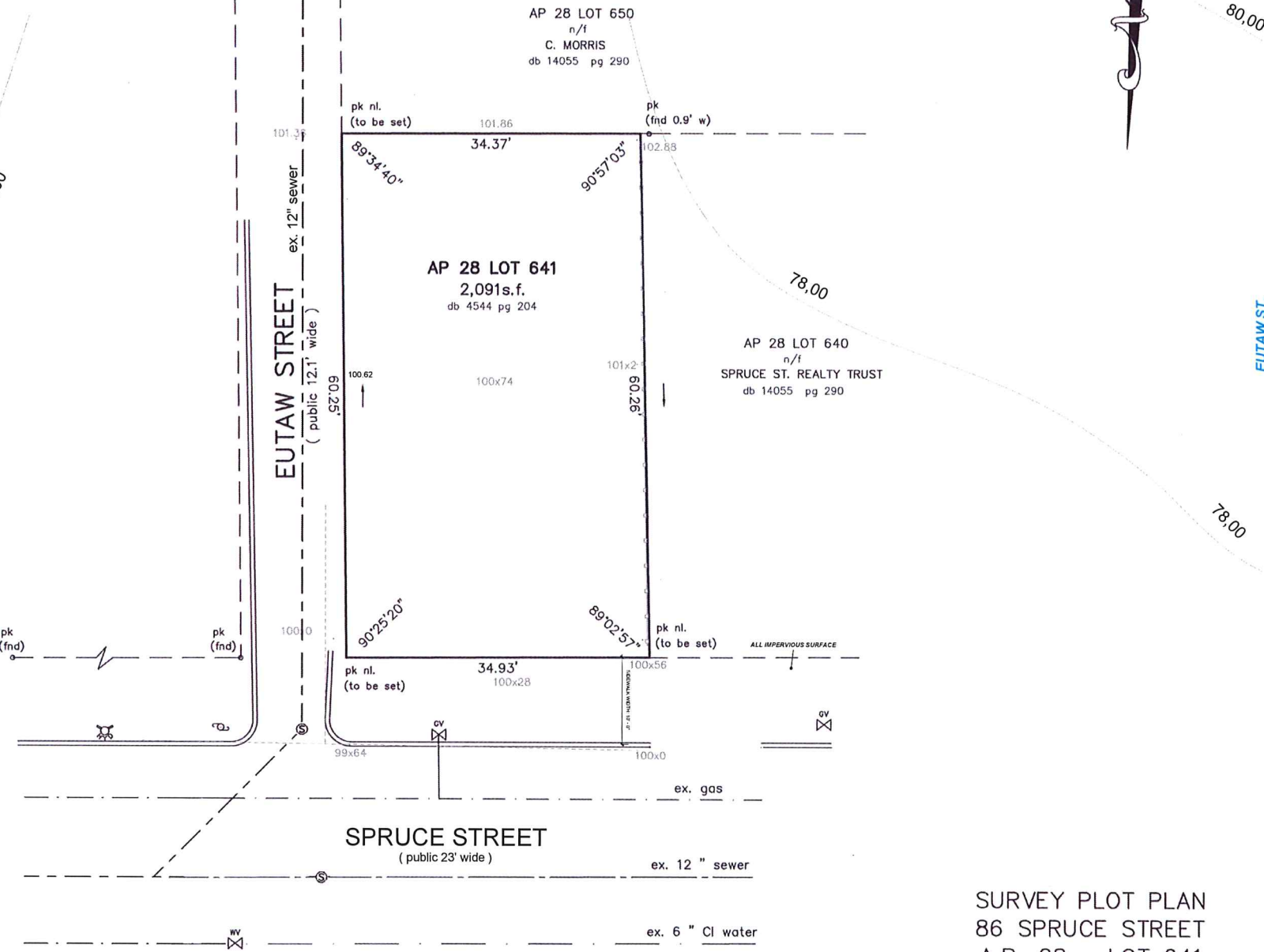
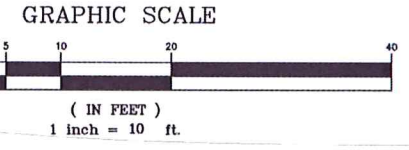
**SURVEY CERTIFICATION:**  
 THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOV. 25, 2015, AS FOLLOWS:

TYPE OF SURVEY:	MEASUREMENT SPECIFICATION
COMPREHENSIVE BOUNDARY SURVEY	CLASS I
DATA ACCUMULATION - PLANIMETRIC	CLASS II

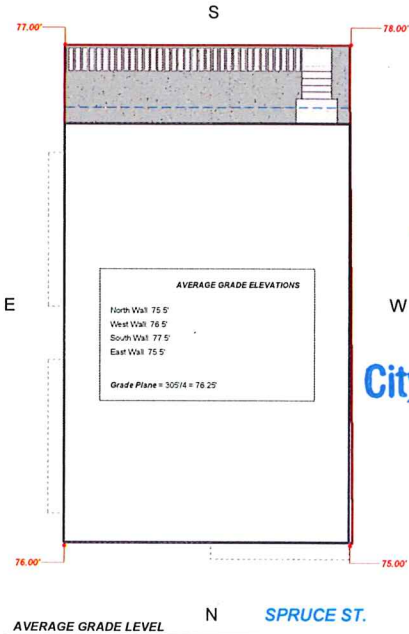
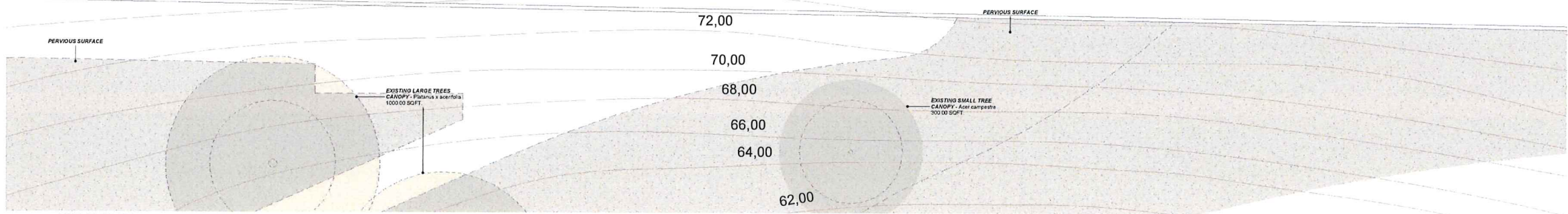
THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS:  
 PERFORM A CLASS 1 PROPERTY SURVEY AND SHOW EXISTING CONDITIONS



BY: *Peter V. Cipolla, Jr.*  
 PETER V. CIPOLLA, JR. - RIPLS # 1680  
 COA # LS-A64



**SURVEY PLOT PLAN**  
 86 SPRUCE STREET  
 A.P. 28 LOT 641  
 PROVIDENCE, R.I.  
 JULY 11, 2024  
 PETER V. CIPOLLA, JR.  
 professional land surveyor  
 P.O. BOX 8662 - CRANSTON, R.I. - 02920



**CURRENT TREES IN THE AREA**



**Approved**  
 FEB 07 2025  
 City of Providence



**Team**  
 Architectural Designer  
 Bryan B. Michie



ACME Architects LLC  
 9 Simmons Road  
 Little Compton, RI 02837  
 401 465 5247

**86 SPRUCE ST**  
 PROVIDENCE

Client  
 Steven Meresi  
 86 Spruce St.  
 Providence  
 RI 02903

PROJECT: 86 SPRUCE ST.

No.	Description	Date
1	Encroachments, U-factor values, fire-rated doors, UL listings, stair risers and treads, wall types	11/26

DATE: JANUARY 2025  
 SCALE: As indicated

SURVEY PLAN - AVERAGE GRADE LEVEL

G'102

**STORMWATER MANAGEMENT STATEMENT:**

Gutters and downspouts to be installed at perimeter of structure and discharged at vegetative areas on site. Site to be graded to retain stormwater onsite to avoid off site runoff.

**SEDIMENT CONTROL PLAN**

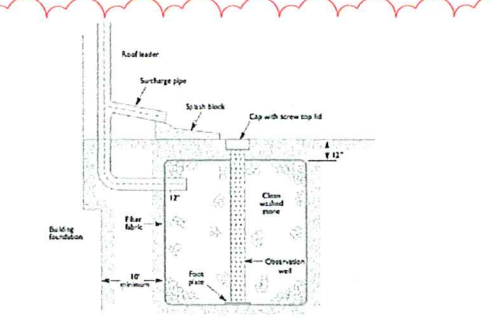
Throughout construction, appropriate measures will be taken to avoid erosion and prevent sediment from leaving the site. Measures shall include temporary silt fencing at the perimeter of the site at all lot lines. Additionally, high-flow inlet protection filters, such as Gutterbuddies, will be installed at where the site meets the curb/ROW to prevent sediment from flowing into the city's stormwater system during construction.

**LEGEND - LANDSCAPE**

- GRASS**  
Bermuda type: It produces a rustic and dense grass, suitable for all types of soils, and resistant to diseases and pests.
- CONCRETE WALKWAY**  
Concrete floor that has been treated with a chemical densified and ground with progressively finer polishing tools.

**LEGEND - IMPERVIOUS SURFACES**

- NEW STRUCTURE**
- PAVING**



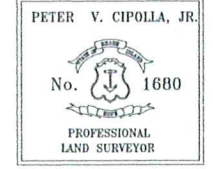
**D1 U.G. WELL PROJ. FOR ROOF RUNOFF VIA DOWNSPOUTS**  
1/4" = 1'-0"

- NOTES:**
- 1.) SILT FENCE OR HAY WADDLE TO BE SET IN PLACE AROUND PERIMETER OF LOT TO PREVENT SEDIMENT TO SPREAD TO OTHER PROPERTIES OR THE STREET.
  - 2.) CONTRACTOR TO CO-ORDINATE INSTALLATION OF WATER LINE SIZE AND LOCATION WITH PROVIDENCE WATER AUTHORITY.
  - 3.) ANY CONCRETE SIDEWALK TO BE ADA COMPLIANT. UTILIZING PROVIDENCE STANDARD CONSTRUCTION DETAILS (FROM PROPERTY LINE TO PROPERTY LINE).
  - 4.) ALL CONSTRUCTION IN THE PUBLIC ROW MUST BE IN ACCORDANCE WITH THE CITY'S STANDARD DETAILS AVAILABLE AT:  
[https://www.providenceri.gov/public-works/forms/under 'REPORTS + PUBLICATIONS' or https://www.providenceri.gov/wp-content/uploads/2019/06/Providence-DPW-Standard-Details.pdf](https://www.providenceri.gov/public-works/forms/under%20REPORTS%20PUBLICATIONS%20or%20https://www.providenceri.gov/wp-content/uploads/2019/06/Providence-DPW-Standard-Details.pdf)
  - 5.) ROOF DRAINS ARE NOT TO BE CONNECTED TO SEWER LINE
  - 6.) THE TREE AND TREE WELLS WERE DESIGNED IN ACCORDANCE WITH THE CITY FORESTERS REMARKS

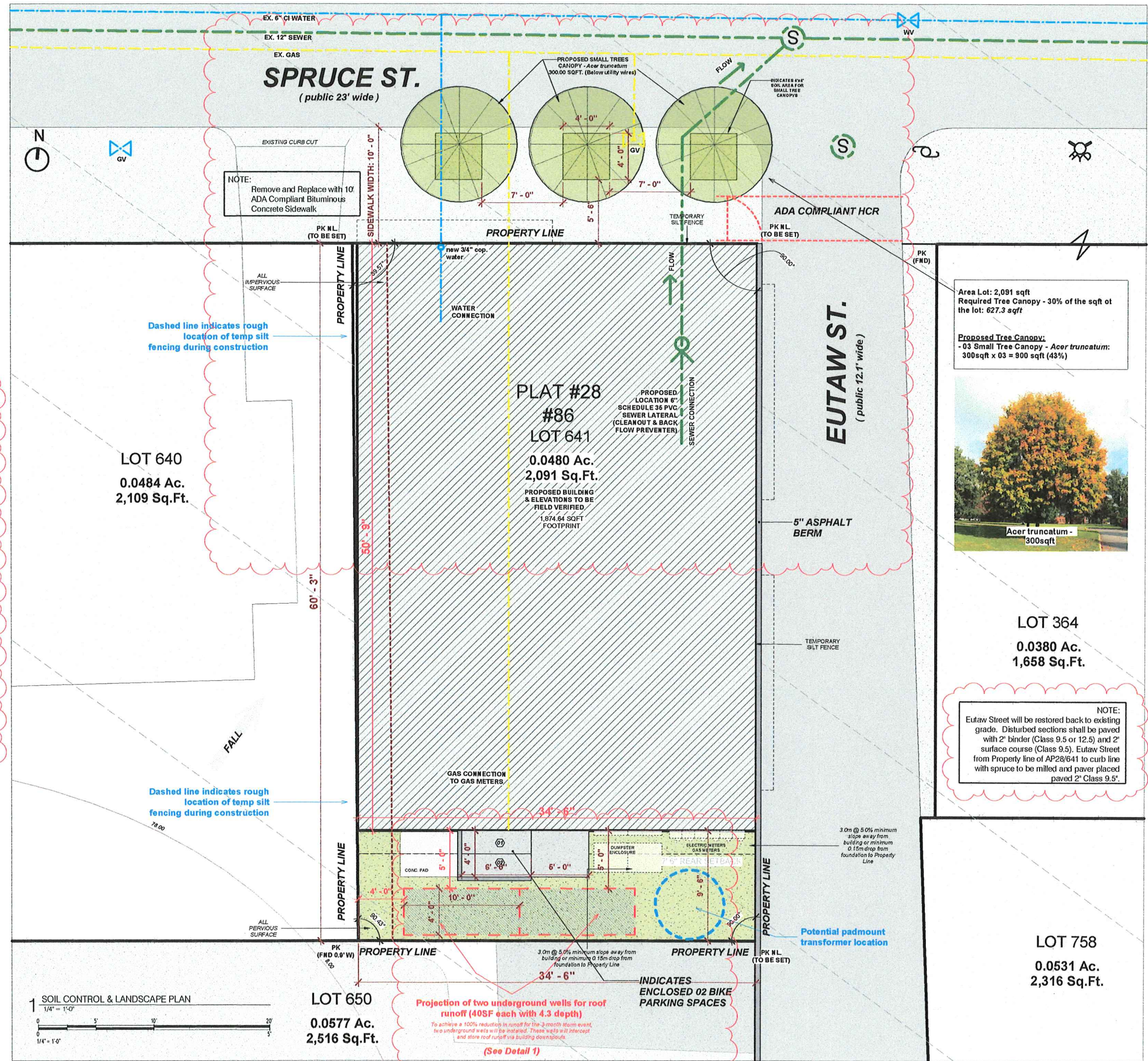
**SURVEY CERTIFICATION:**  
THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOV. 25, 2015, AS FOLLOWS:

**TYPE OF SURVEY:** COMPREHENSIVE BOUNDARY SURVEY DATA ACCUMULATION - PLANIMETRIC  
**MEASUREMENT SPECIFICATION:** CLASS I CLASS II

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS:  
PERFORM A CLASS I PROPERTY SURVEY AND REVIEWED PROPOSED SITE PLAN



BY: *Peter V. Cipolla, Jr.*  
PETER V. CIPOLLA, JR. - RIPLS #1680  
COA # LS-A64



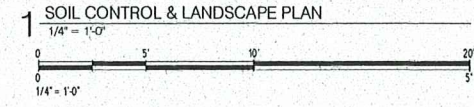
Area Lot: 2,091 sqft  
Required Tree Canopy - 30% of the sqft of the lot: 627.3 sqft  
**Proposed Tree Canopy:**  
- 03 Small Tree Canopy - *Acer truncatum*: 300sqft x 03 = 900 sqft (43%)



LOT 364  
0.0380 Ac.  
1,658 Sq.Ft.

**NOTE:**  
Eutaw Street will be restored back to existing grade. Disturbed sections shall be paved with 2" binder (Class 9.5 or 12.5) and 2" surface course (Class 9.5). Eutaw Street from Property line of AP28/641 to curb line with spruce to be milled and paver placed paved 2" Class 9.5".

LOT 758  
0.0531 Ac.  
2,316 Sq.Ft.



LOT 650  
0.0577 Ac.  
2,516 Sq.Ft.

**Projection of two underground wells for roof runoff (40SF each with 4.3 depth)**  
To achieve a 100% reduction in runoff for the 3-month storm event, two underground wells will be installed. These wells will intercept and store roof runoff via building downspouts.  
(See Detail 1)

MICHELLE DESIGN & BUILD PERUNOVO LLC  
GC - 44966  
70 KENNEDY PLAZA, SUITE 6, PROVIDENCE, RI 02903

Team  
Architectural Designer  
Bryan B. Michie

ACME Architects LLC  
2/6/25

Approved  
FEB 07 2025  
City of Providence

STAMP IS TO APPROVE DESIGN AND LOCATIONS OF DRAINAGE WELLS ONLY. ALL OTHER ASPECTS OF SITE PLAN ARE RESPONSIBILITY OF OTHERS.

ADAM TADDONIO  
No. 12232  
REGISTERED PROFESSIONAL ENGINEER (CIVIL)  
Adam M. Taddonio  
2023.02.03  
20:41:15 -05:00

86 SPRUCE ST  
PROVIDENCE

Client: Steven Meresi  
Owner: MUR, LLC  
Email: smeresi@hotmail.com  
Contact Number: (401) 965-7462

86 Spruce St.  
Providence  
RI 02903

PROJECT: 86 SPRUCE ST.

No.	Description	Date
1	Encroachments, U-factor values, fire-rating doors, UL listings, stair risers and treads, wair types	1/1/26

DATE: FEBRUARY 2025  
SCALE: As indicated

SITE PLAN - SOIL CONTROL - LANDSCAPE PLAN & TREE CANOPY

G'103

Team  
 Architectural Designer  
 Bryan B. Michie

RESIDENTIAL Room Schedule		
No.	Room	Area
100	ENTRY	121.27 SF
101	FOYER	153.75 SF
102	RETAIL SPACE	153.75 SF
103	HALLWAY	121.27 SF
104	CL	121.27 SF
105	UTILITY	121.27 SF
106	STORAGE	121.27 SF
107	HANDICAP BATHROOM	121.27 SF
108	CL	121.27 SF
109	CL	121.27 SF
110	CL	121.27 SF
111	CL	121.27 SF
112	CL	121.27 SF
113	CL	121.27 SF
114	CL	121.27 SF
115	CL	121.27 SF
116	CL	121.27 SF
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197	CL	121.27 SF
198	CL	121.27 SF
199	CL	121.27 SF
200	CL	121.27 SF

Approved  
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No.	Room	Area
100	ENTRY	121.27 SF
101	FOYER	153.75 SF
102	RETAIL SPACE	153.75 SF
103	HALLWAY	121.27 SF
104	CL	121.27 SF
105	UTILITY	121.27 SF
106	STORAGE	121.27 SF
107	HANDICAP BATHROOM	121.27 SF
108	CL	121.27 SF
109	CL	121.27 SF
110	CL	121.27 SF
111	CL	121.27 SF
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198	CL	121.27 SF
199	CL	121.27 SF
200	CL	121.27 SF

86 SPRUCE ST  
 PROVIDENCE

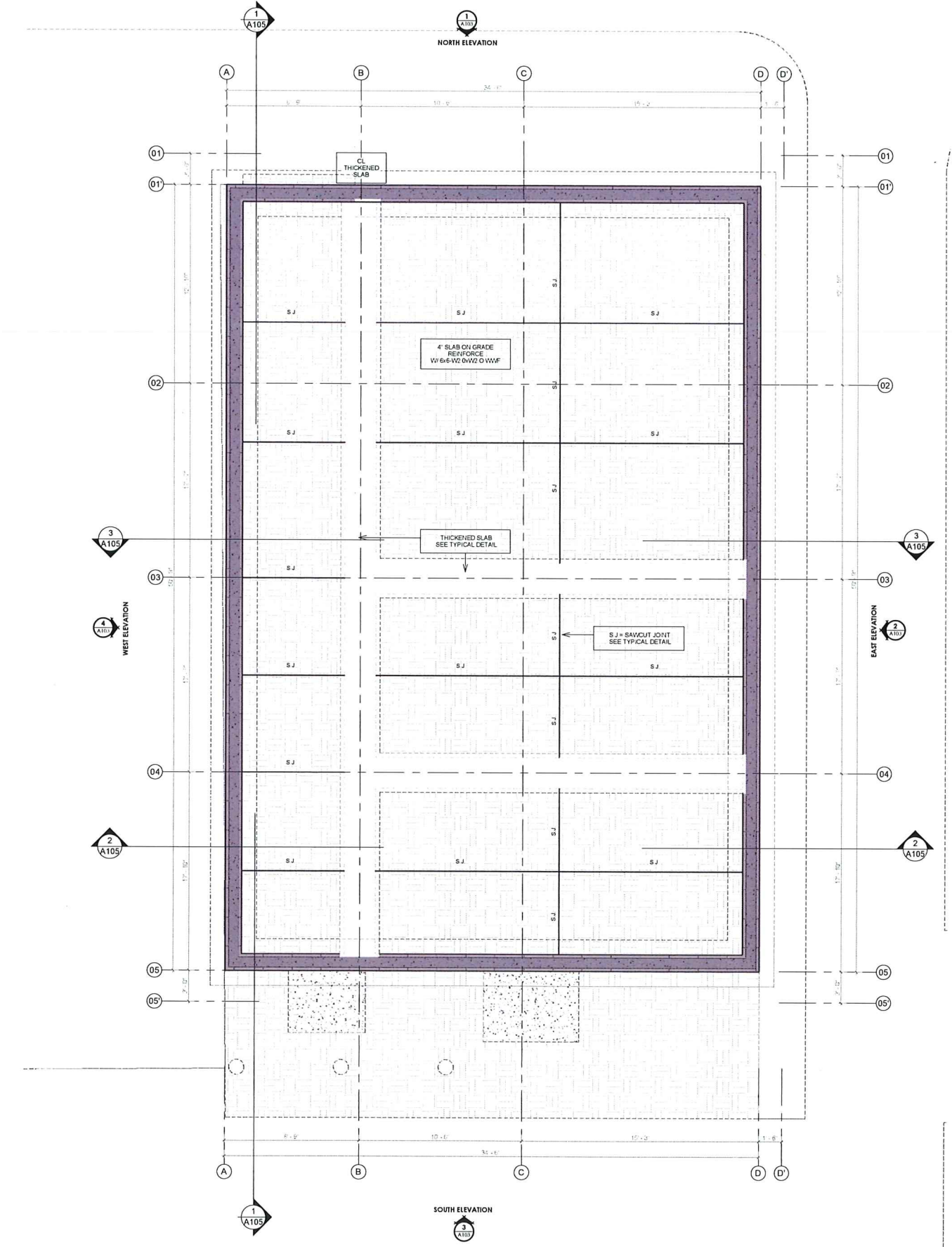
Client  
 Steven Meresi  
 86 Spruce St.  
 Providence  
 RI 02903

No.	Description	Date
1	Encroachments U-factor values, fire-rated doors, UL listings, stair risers and treads, wall types	11/26

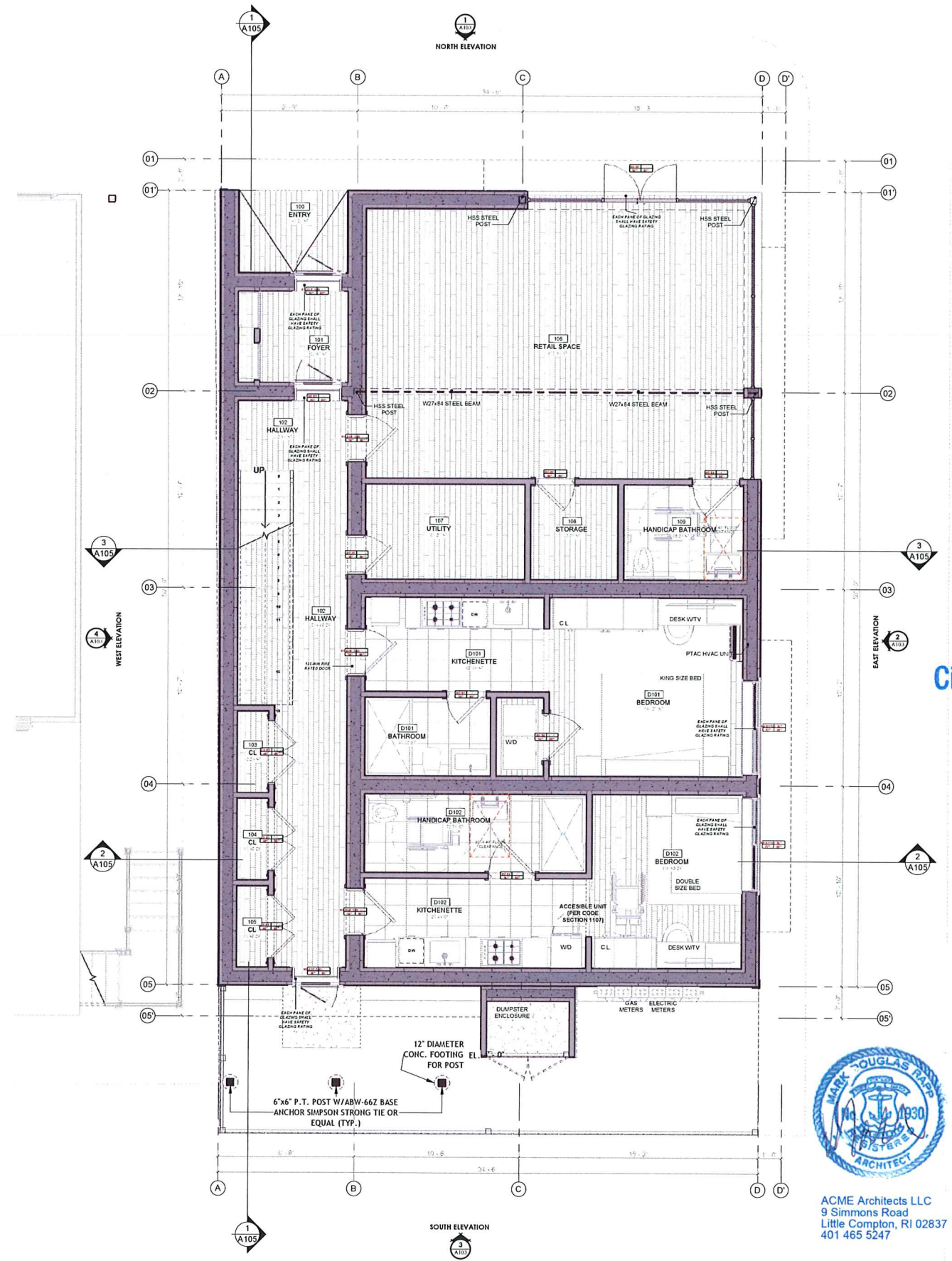
DATE: JANUARY 2025  
 SCALE: 1/4" = 1'-0"

PROPOSAL - BASEMENT &  
 GROUND FLOOR

A100



2 00 BASEMENT - PROPOSAL  
 1/4" = 1'-0"



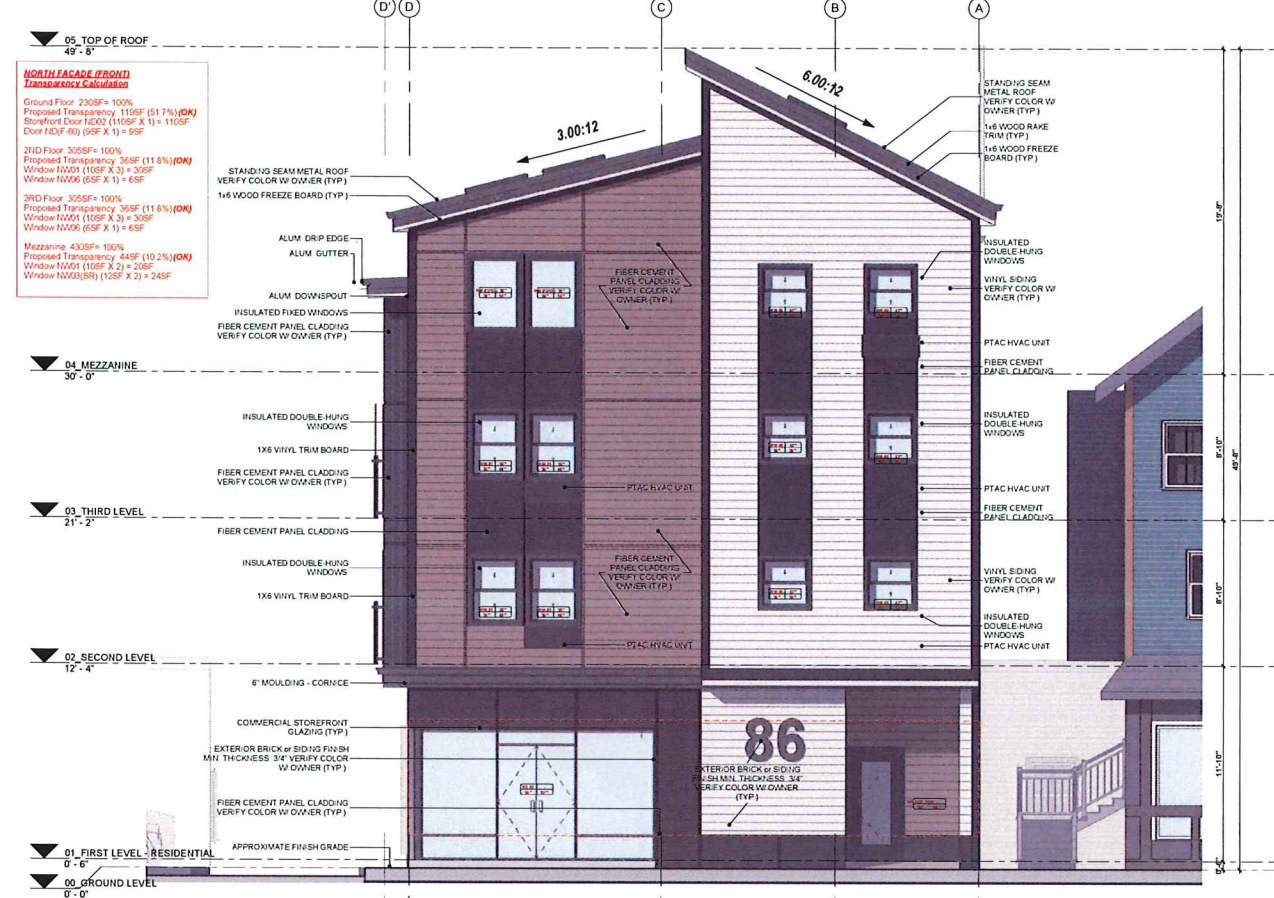
1 01. GROUND FLOOR - PROPOSAL  
 1/4" = 1'-0"



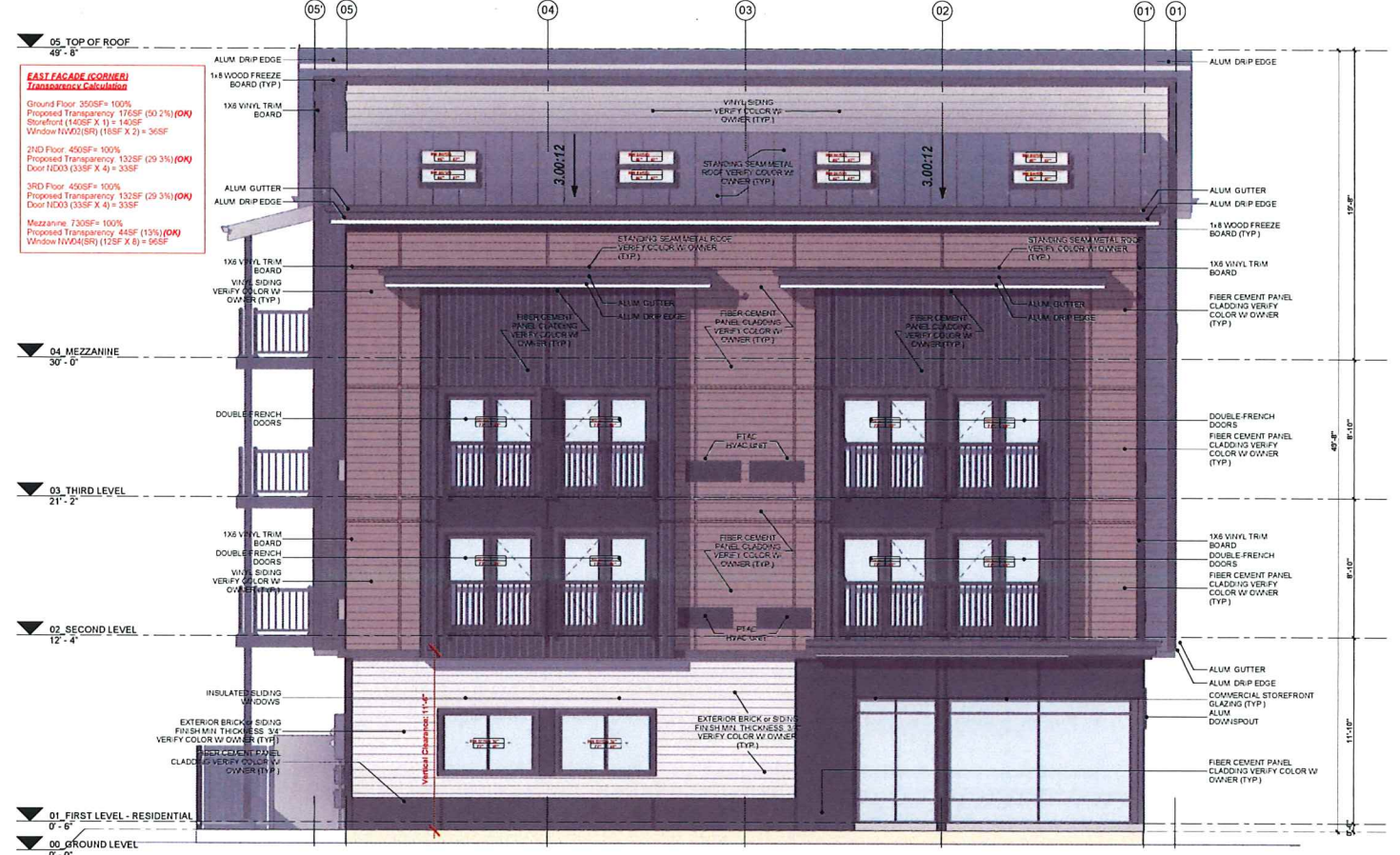
ACME Architects LLC  
 9 Simmons Road  
 Little Compton, RI 02837  
 401 465 5247



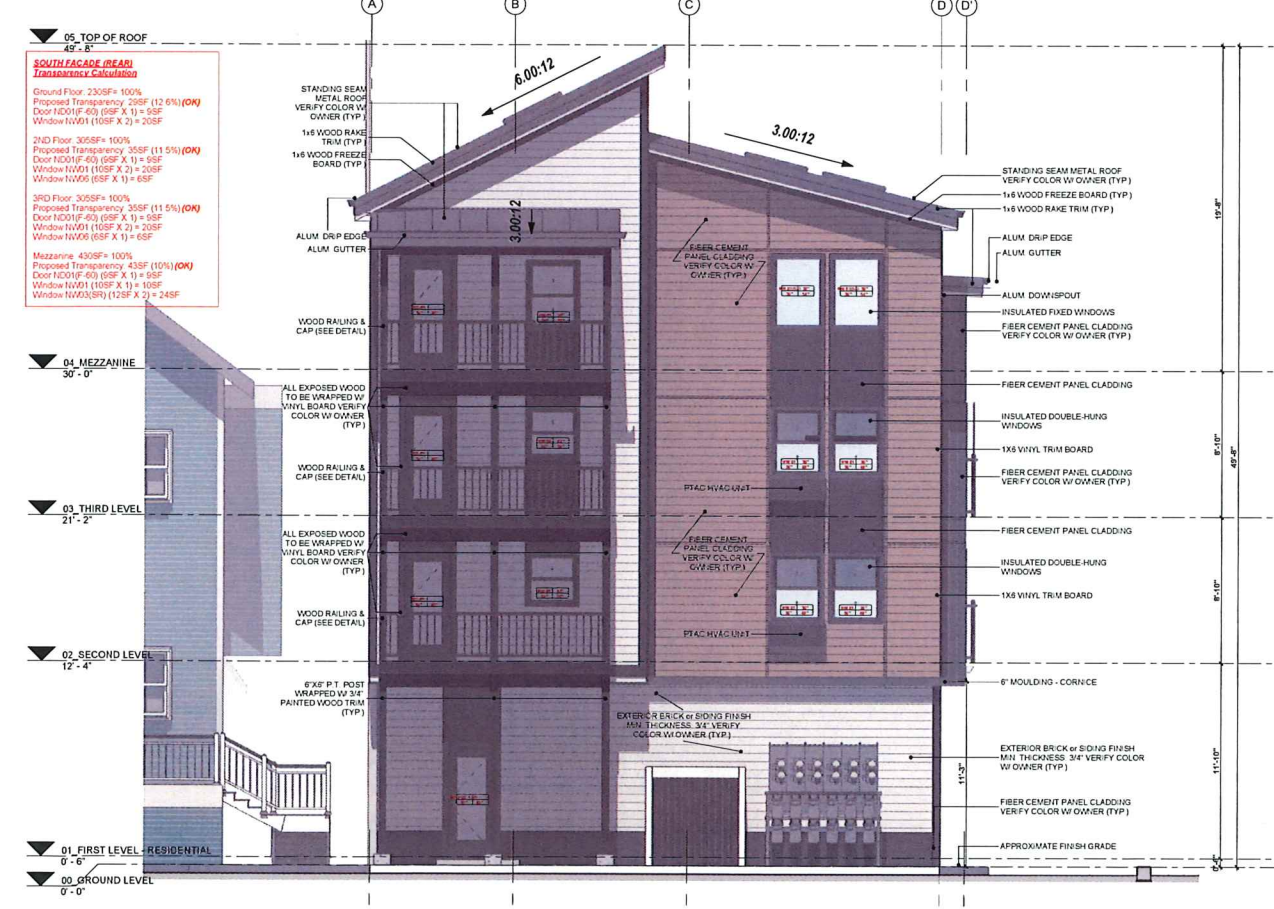




1 NORTH ELEVATION  
3/16" = 1'-0"



2 EAST ELEVATION  
3/16" = 1'-0"



3 SOUTH ELEVATION  
3/16" = 1'-0"



4 WEST ELEVATION  
3/16" = 1'-0"

Team  
Architectural Designer  
Bryan B. Michie

RESIDENTIAL Room Schedule

No.	Room	Area
001	APARTMENT	1,210.00
002	APARTMENT	1,210.00
003	APARTMENT	1,210.00
004	APARTMENT	1,210.00
005	APARTMENT	1,210.00
006	APARTMENT	1,210.00
007	APARTMENT	1,210.00
008	APARTMENT	1,210.00
009	APARTMENT	1,210.00
010	APARTMENT	1,210.00
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097	APARTMENT	1,210.00
098	APARTMENT	1,210.00
099	APARTMENT	1,210.00
100	APARTMENT	1,210.00

City of Providence

Approved  
FEB 07 2025  
86 SPRUCE ST  
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City of Providence

Client  
Steven Meresi  
86 Spruce St.  
Providence  
RI 02903

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No.	Description	Date
1	Encroachments, U-factor values, fire-rating doors, UL listings, stair risers and treads, watt types	11/26

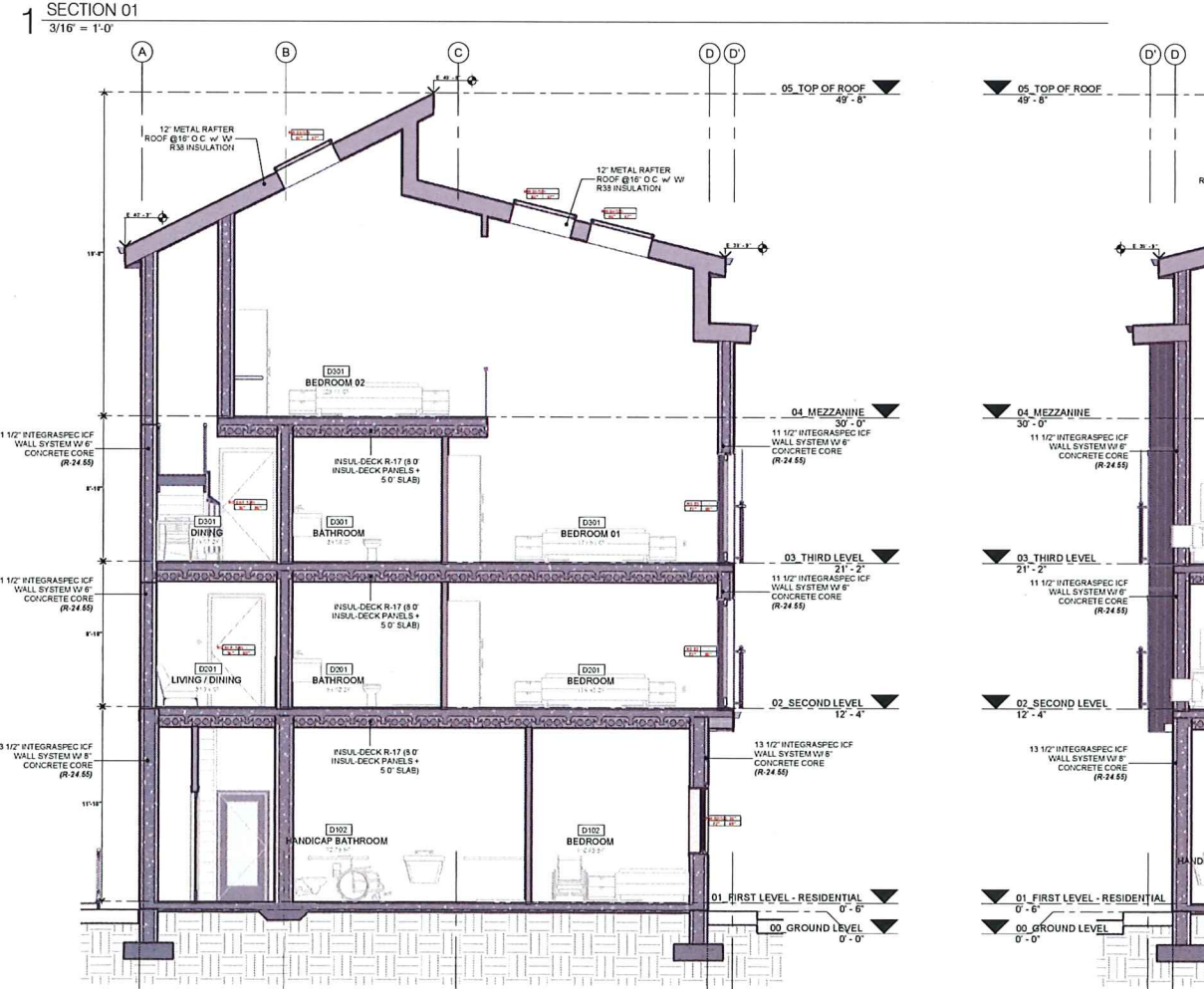
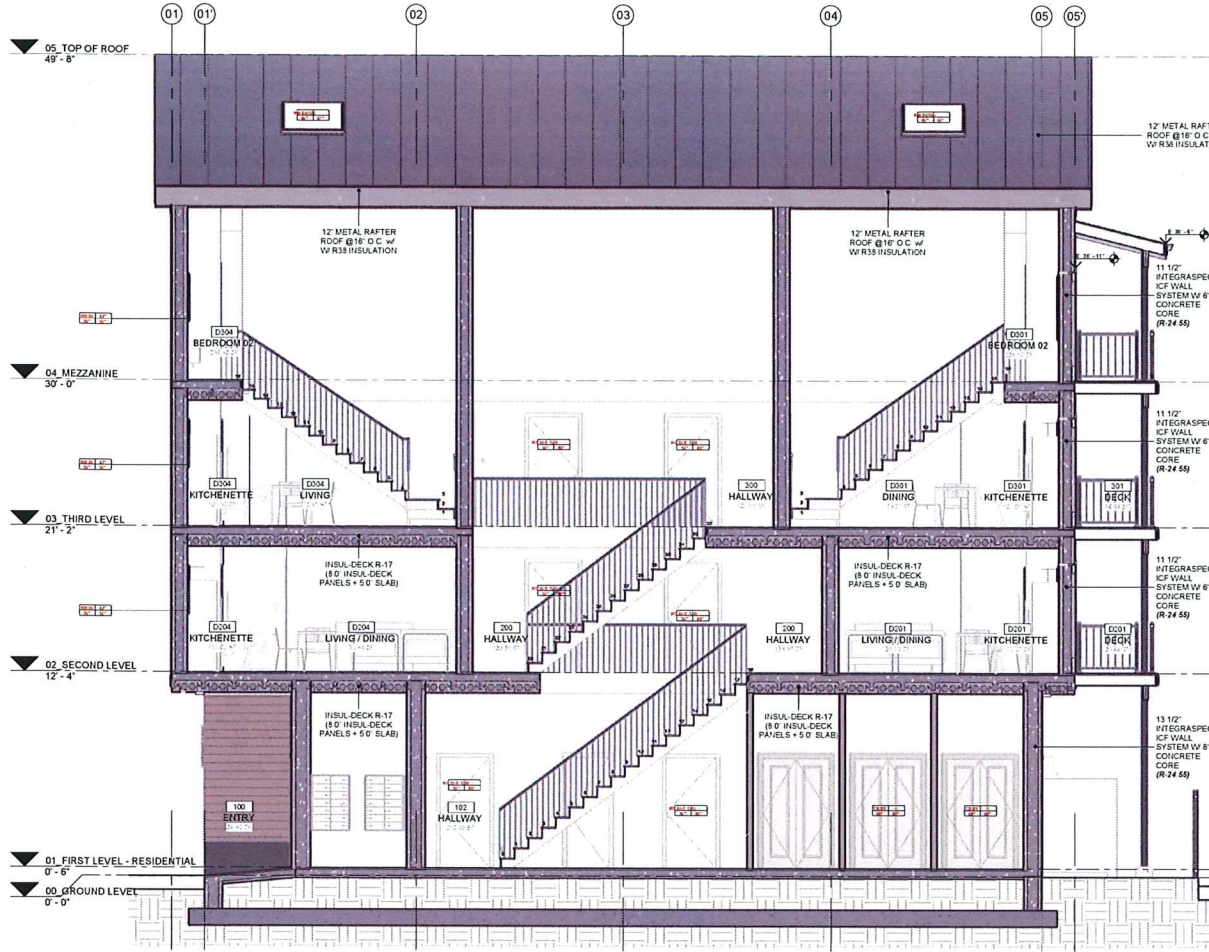
DATE: JANUARY 2025  
SCALE: 3/16" = 1'-0"

ELEVATIONS



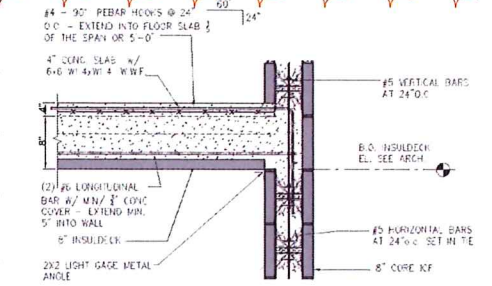




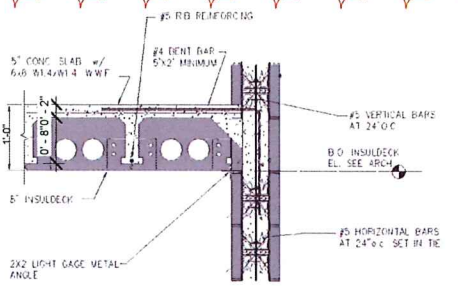


1 SECTION 01  
3/16" = 1'-0"

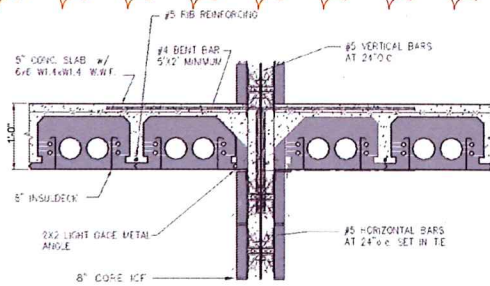
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3/16" = 1'-0"



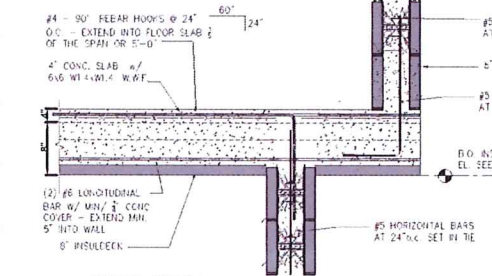
D1 DETAIL ICF 01  
3/4" = 1'-0"



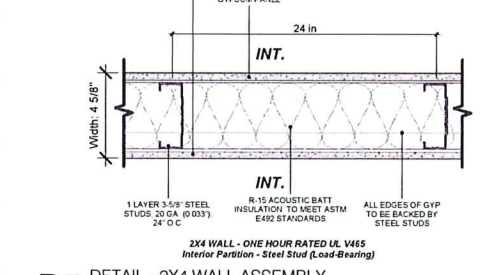
D2 DETAIL ICF 02  
3/4" = 1'-0"



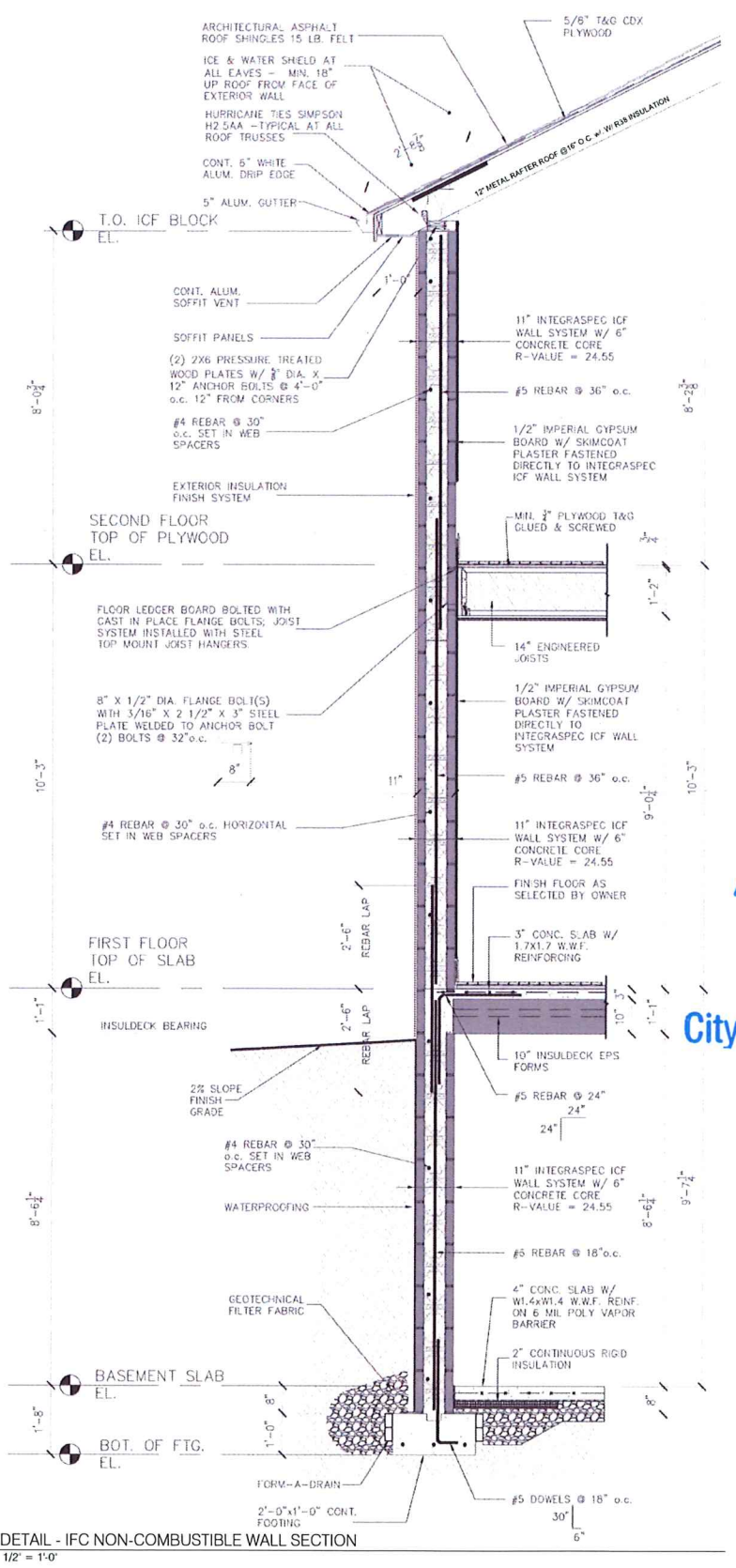
D3 DETAIL ICF 03  
3/4" = 1'-0"



D4 DETAIL ICF 04  
3/4" = 1'-0"



D5 DETAIL - 2X4 WALL ASSEMBLY  
1 1/2" = 1'-0"



4 DETAIL - IFC NON-COMBUSTIBLE WALL SECTION  
1/2" = 1'-0"



Team  
Architectural Designer  
Bryan B. Michie

RESIDENTIAL Room Schedule

Room	Area	Area
001	BEDROOM	11.2
002	BEDROOM	11.2
003	BEDROOM	11.2
004	BEDROOM	11.2
005	BEDROOM	11.2
006	BEDROOM	11.2
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197	BEDROOM	11.2
198	BEDROOM	11.2
199	BEDROOM	11.2
200	BEDROOM	11.2



ACME Architects LLC  
9 Simmons Road  
Little Compton, RI 02837  
401 465 5247

Approved  
86 SPRUCE ST  
PROVIDENCE  
FEB 07 2025

City of Providence  
Client: 86 Spruce St.  
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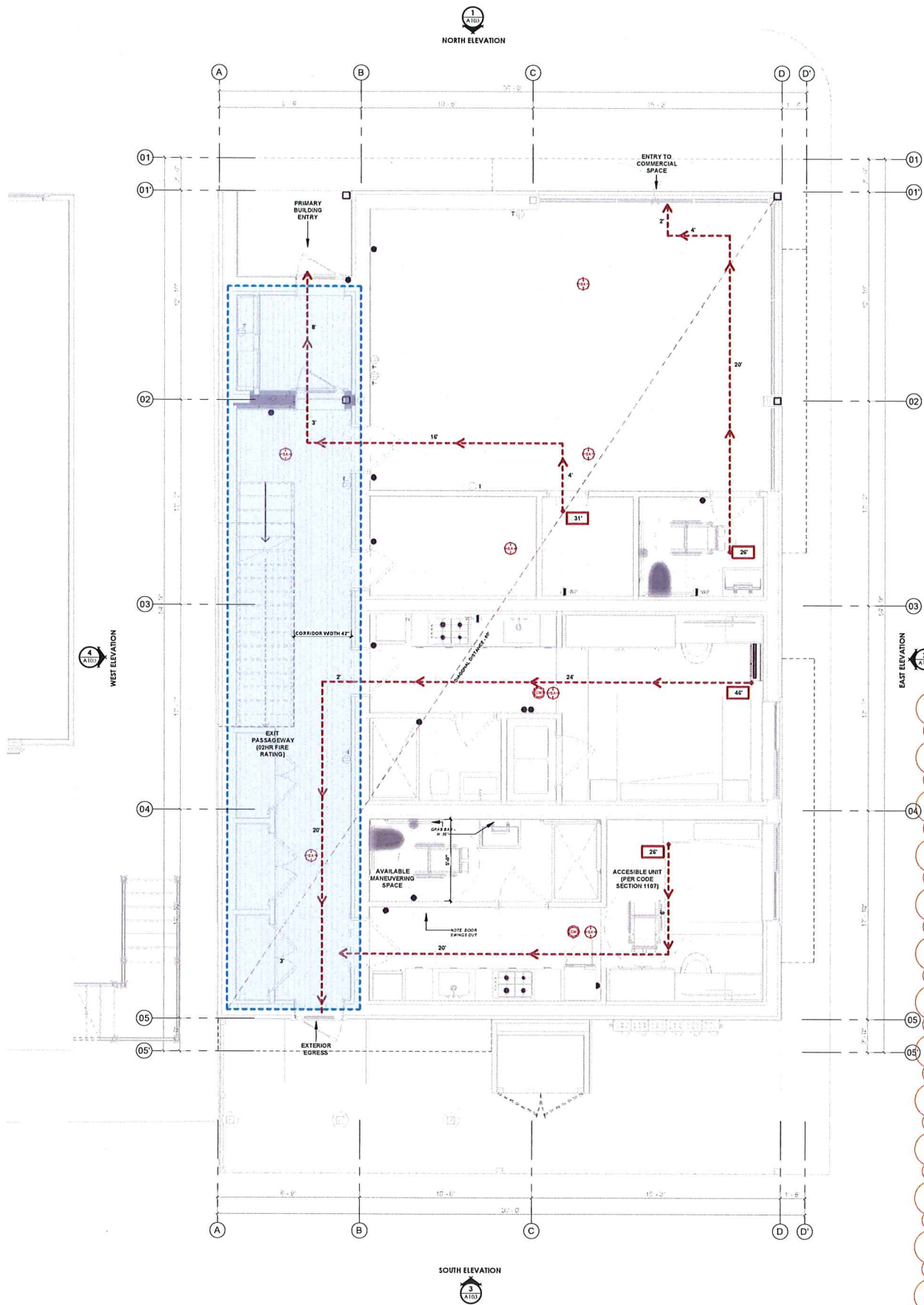
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No.	Description	Date
1	Encroachments: U-factor values, fire-rating doors, UL listings, stair risers and treads, wall types	11/26

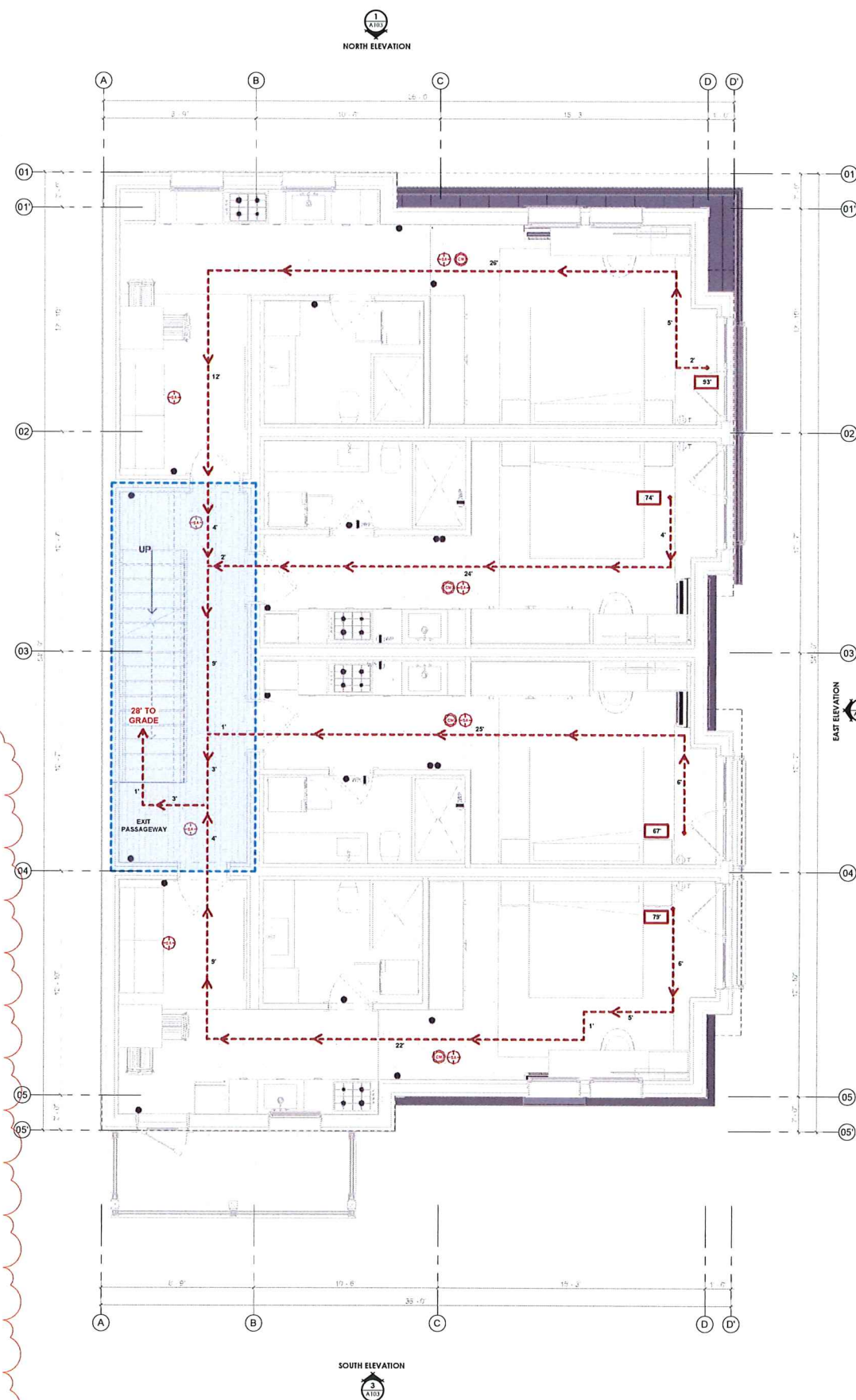
DATE: JANUARY 2025  
SCALE: As indicated

SECTIONS & DETAILS

A105



1 PROP.01 GROUND FLOOR - SAFETY EGRESS  
1/4" = 1'-0"



2 PROP.02 SECOND FLOOR - SAFETY EGRESS  
1/4" = 1'-0"

**CODE REQUIREMENTS:**

**MIXED USE BUILDING**  
 USE GROUPS:  
 R-2 APARTMENTS (10 RESIDENTIAL UNITS)  
 M - MERCANTILE (01 RETAIL UNIT)  
 SEPARATION: R-2 TO M - ONE HOUR APT. TO MERC. - ONE HOUR WITH FIRE SPRINKLER SYSTEM  
 OCCUPANT LOAD ACCORDING TO THE RI STATE BUILDING CODE 2021:  
 FOR RESIDENTIAL (R-2): 1/200 GSF  
 4,801.64 GSF / 200 = 24 OCCUPANTS  
 FOR MERCANTILE (M): 1/60 GSF  
 556.37 GSF / 60 = 10 OCCUPANTS  
 EGRESS: TABLE 1015.1 - TWO REQUIRED, TWO PROVIDED  
 TRAVEL DISTANCE: 250' ALLOWED, 102' PROVIDED  
 TRAVEL DISTANCE UNIT:  
 STAIRS: 0.3' OCC \* 24 OCC = 7.2' (36" MIN. CLEAR 1009.4.1) - 42" PROVIDED  
 DOORS: 0.2' OCC \* 34 OCC = 6.8' (32" MIN. CLEAR 1008.1.1) - 36" PROVIDED  
 CORRIDORS: 0.2' OCC \* 34 OCC = 6.8' REQ. - 40" PROVIDED  
 FINISHES: TABLE 803.3 - CLASS "C"  
 FIRE ALARM: LOCAL ALARM AND NOTIFICATION WITH CO DETECTORS  
**EXIT TRAVEL DISTANCE ACCORDING RI NEPA 101:**  
 FOR AN R-2 OCCUPANCY TYPE, THE EXIT TRAVEL DISTANCE WITH A SPRINKLER SYSTEM SHOULD NOT EXCEED 250 FEET.  
 FOR AN M OCCUPANCY TYPE, THE EXIT TRAVEL DISTANCE WITH A SPRINKLER SYSTEM SHOULD NOT EXCEED 250 FEET.  
 - - - - - EXIT ACCESS TRAVEL DISTANCE  
 ○ START OF TRAVEL PATH  
 99' DISTANCE (IN FEET) TO EXIT  
 - - - - - ICF WALL PARTITION AROUND EGRESS STAIRS

MICHELLE DESIGN & BUILD  
 FERUNOVO LLC  
 GC - 44956  
 70 KENNEDY PLAZA, SUITE 6,  
 PROVIDENCE, RI 02903

Team  
 Architectural Designer  
 Bryan B. Michie



ACME Architects LLC  
 9 Simmons Road  
 Little Compton, RI 02837  
 401 465 5247

Approved

SYMBOL	DESCRIPTION
(SA)	Smoke Alarms
(CM)	Carbon Monoxide Detectors

City of Providence

86 SPRUCE ST  
 PROVIDENCE

Client  
 Steven Meresi  
 86 Spruce St.  
 Providence  
 RI 02903



PROJECT: 86 SPRUCE ST.

No.	Description	Date
1	Encroachments, U-factor values, fire-rated doors, UL listings, stair risers and treads, wall types	11/26

DATE: JANUARY 2025  
 SCALE: 1/4" = 1'-0"

SAFETY EGRESS - GROUND & SECOND FLOOR

S100

Team  
 Architectural Designer  
 Bryan B. Michie



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 9 Simmons Road  
 Little Compton, RI 02837  
 401 465 5247

Approved

FEB 07 2025

City of Providence

SYMBOL	DESCRIPTION
	Smoke Alarms
	Carbon Monoxide Detectors

86 SPRUCE ST  
 PROVIDENCE

Client  
 Steven Meresi  
 86 Spruce St.  
 Providence  
 RI 02903



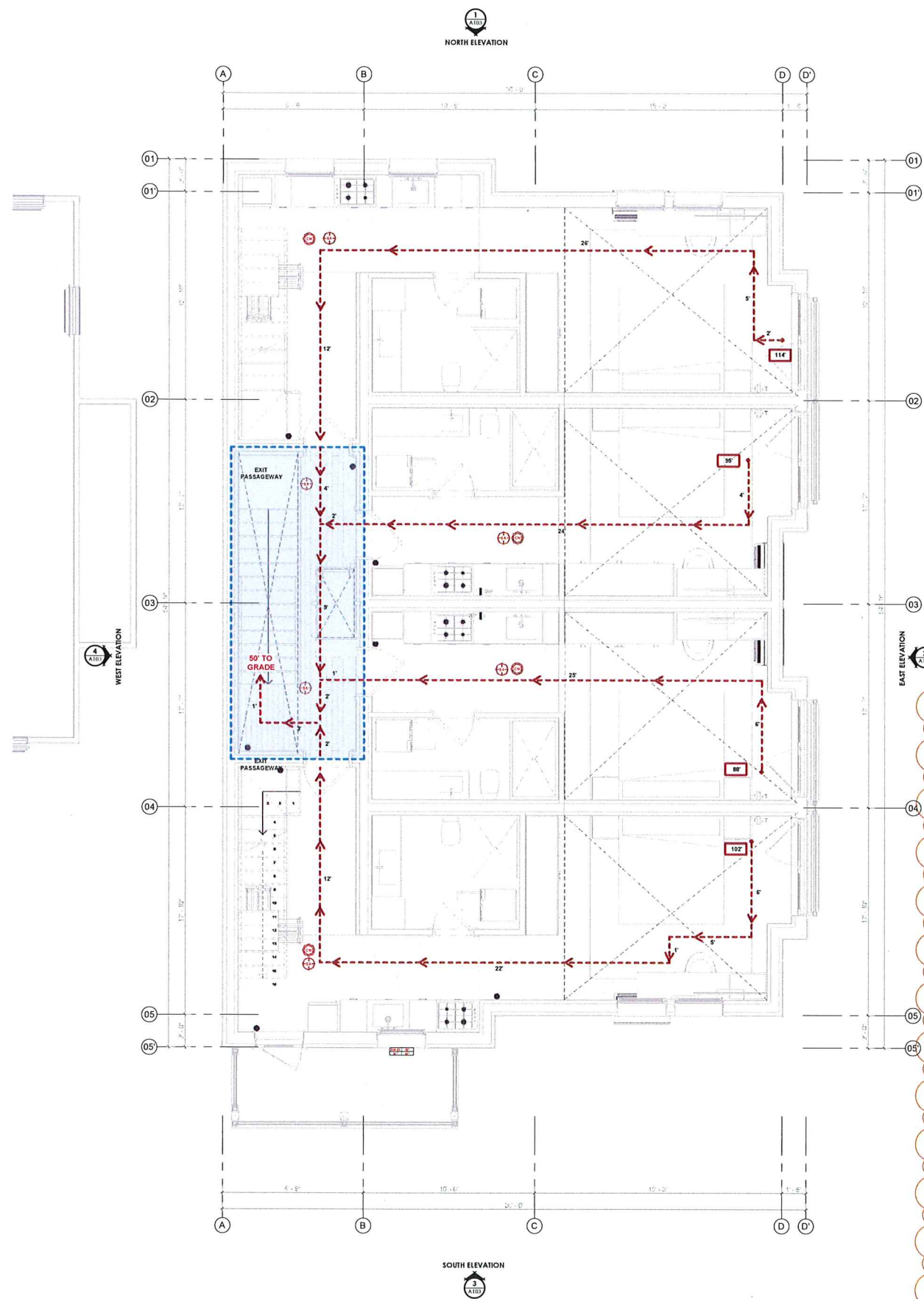
PROJECT: 86 SPRUCE ST.

No.	Description	Date
1	Encroachments: U-factor values, fire-rated doors, UL listings, stair risers and treads: wall types	11/26

DATE: JANUARY 2025  
 SCALE: 1/4" = 1'-0"

SAFETY EGRESS - THIRD FLOOR & MEZZANINE

S101

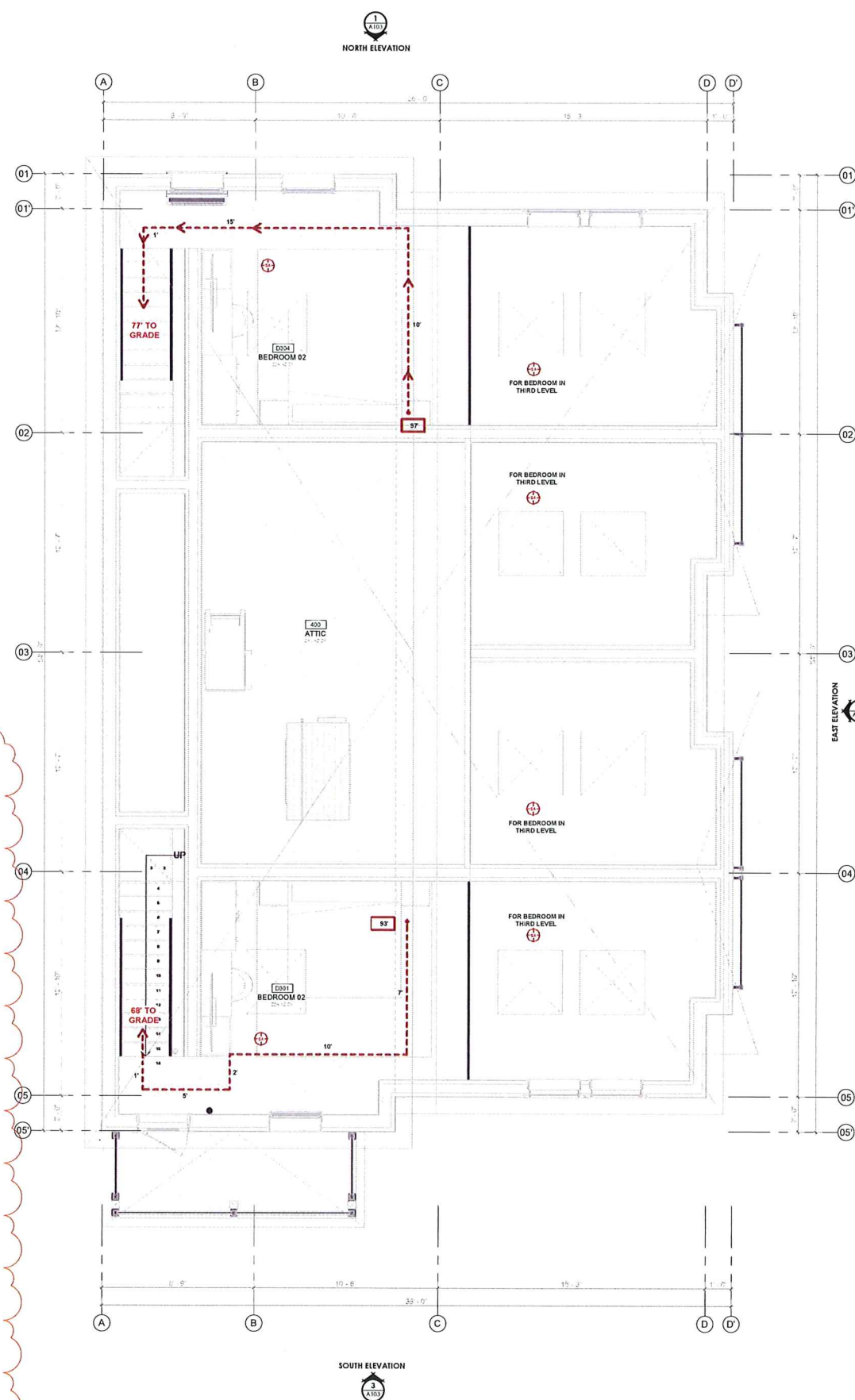


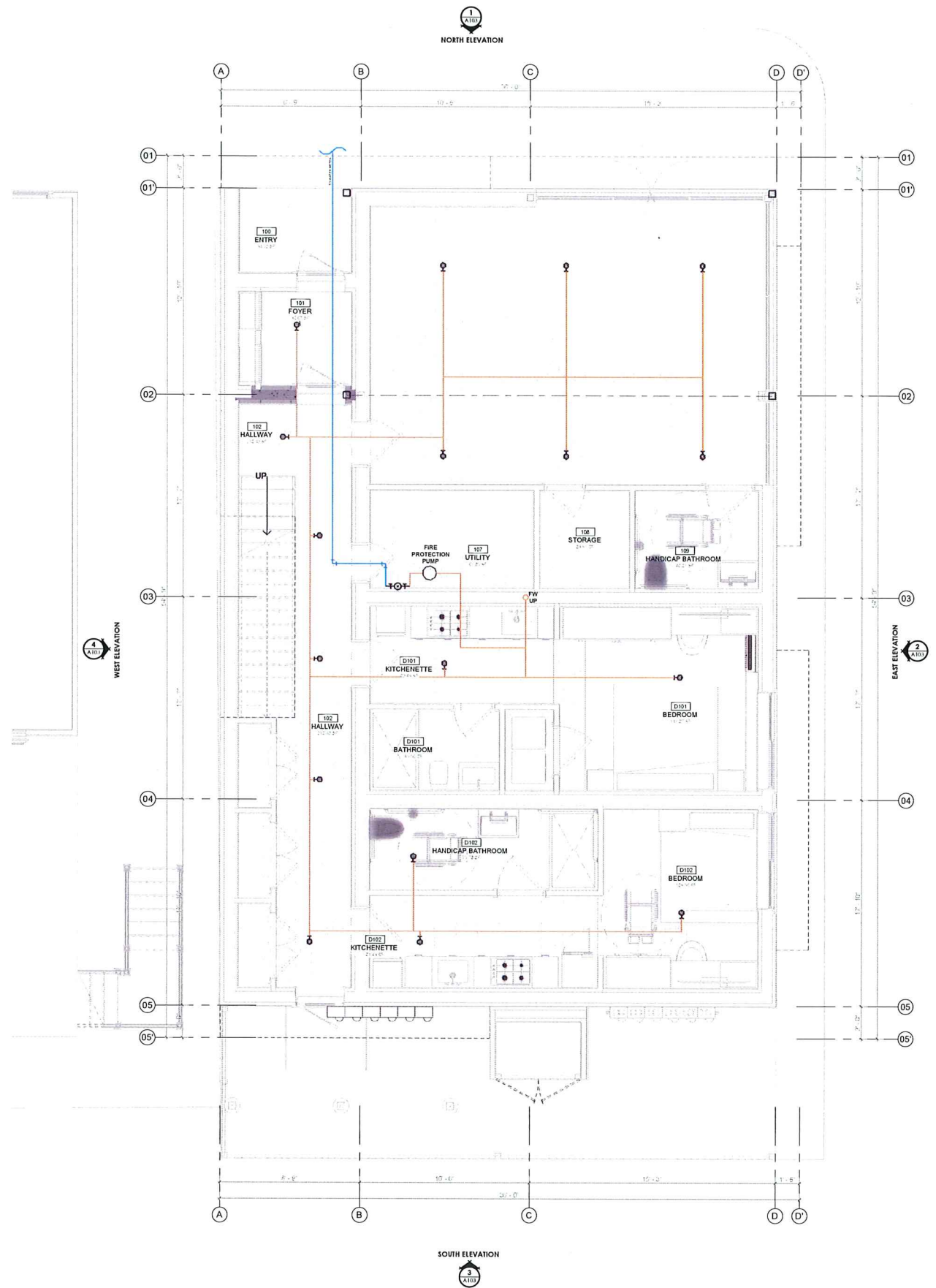
1 PROP.03 THIRD FLOOR - SAFETY EGRESS  
 1/4" = 1'-0"

**CODE REQUIREMENTS:**

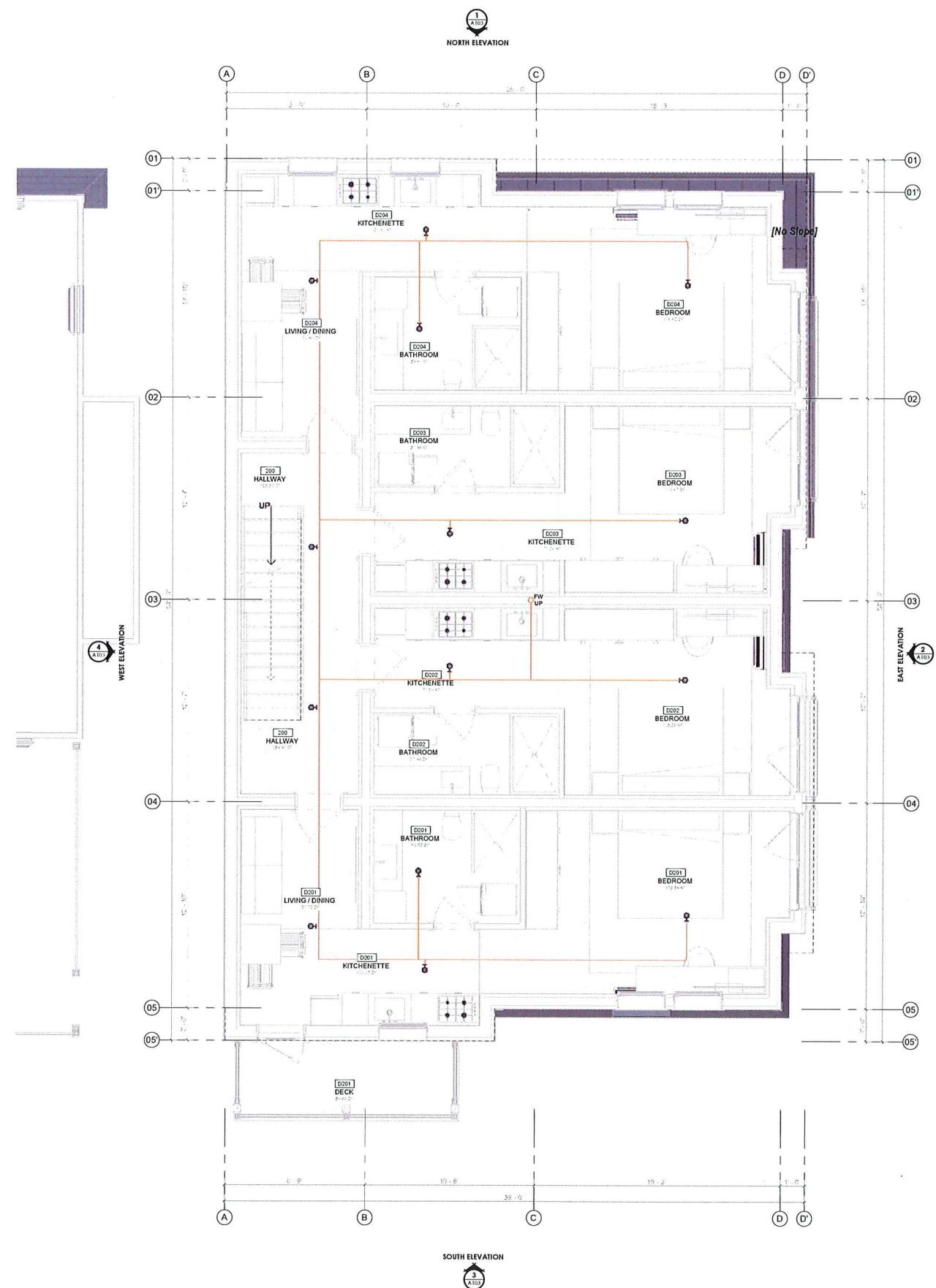
**MIXED USE BUILDING**  
 USE GROUPS:  
 R-2 APARTMENTS (10 RESIDENTIAL UNITS)  
 M - MERCANTILE (01 RETAIL UNIT)  
 SEPARATION: R-2 TO M - ONE HOUR APT. TO MERC. - ONE HOUR WITH FIRE SPRINKLER SYSTEM  
 OCCUPANT LOAD ACCORDING TO THE RI STATE BUILDING CODE 2021:  
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 FOR MERCANTILE (M): 1/60 GSF / 556.37 GSF / 60 = 10 OCCUPANTS  
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 TRAVEL DISTANCE UNIT:  
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 CORRIDORS: 0.2" OCC \* 34 OCC. = 6.8" REQ. - 40" PROVIDED  
 FINISHES: TABLE 803.3 - CLASS "C"  
 FIRE ALARM - LOCAL ALARM AND NOTIFICATION WITH CO DETECTORS  
**EXIT TRAVEL DISTANCE ACCORDING RI NEPA 101:**  
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 FOR AN M OCCUPANCY TYPE, THE EXIT TRAVEL DISTANCE WITH A SPRINKLER SYSTEM SHOULD NOT EXCEED 250 FEET.  
 ---> EXIT ACCESS TRAVEL DISTANCE  
 ○ START OF TRAVEL PATH  
 99' DISTANCE (IN FEET) TO EXIT  
 --- ICF WALL PARTITION AROUND EGRESS STAIRS

2 PROP.04 MEZZANINE - SAFETY EGRESS  
 1/4" = 1'-0"





2 PROP.01 GROUND FLOOR - SPRINKLER SYSTEM  
1/4" = 1'-0"



1 PROP.02 SECOND FLOOR - SPRINKLER SYSTEM  
1/4" = 1'-0"

MICHIE DESIGN & BUILD  
PERUOVO LLC  
GC - 44956  
70 KENNEDY PLAZA SUITE 6  
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Team  
Architectural Designer  
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Approved  
FEB 07 2025

City of Providence

SYMBOL	DESCRIPTION
	FIRE FIGHTING PIPE
	HANGING SPRINKLER
	WATER METER

86 SPRUCE ST  
PROVIDENCE

Client  
Steven Meresi  
86 Spruce St.  
Providence  
RI 02903



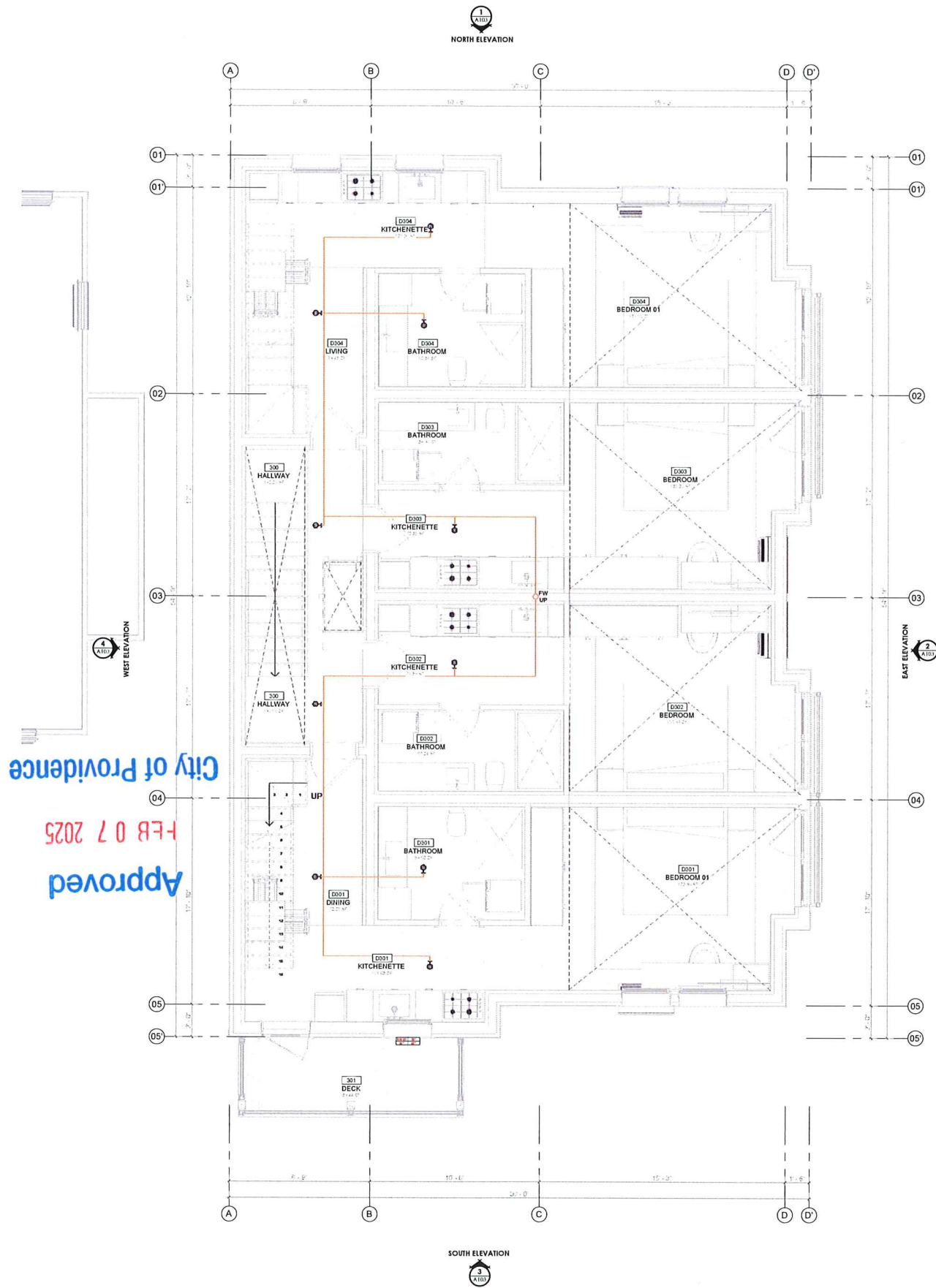
PROJECT: 86 SPRUCE ST.

No.	Description	Date
1	Encroachments, U-factor values, fire-rated doors, UL listings, stair risers and treads, wall types	11/26

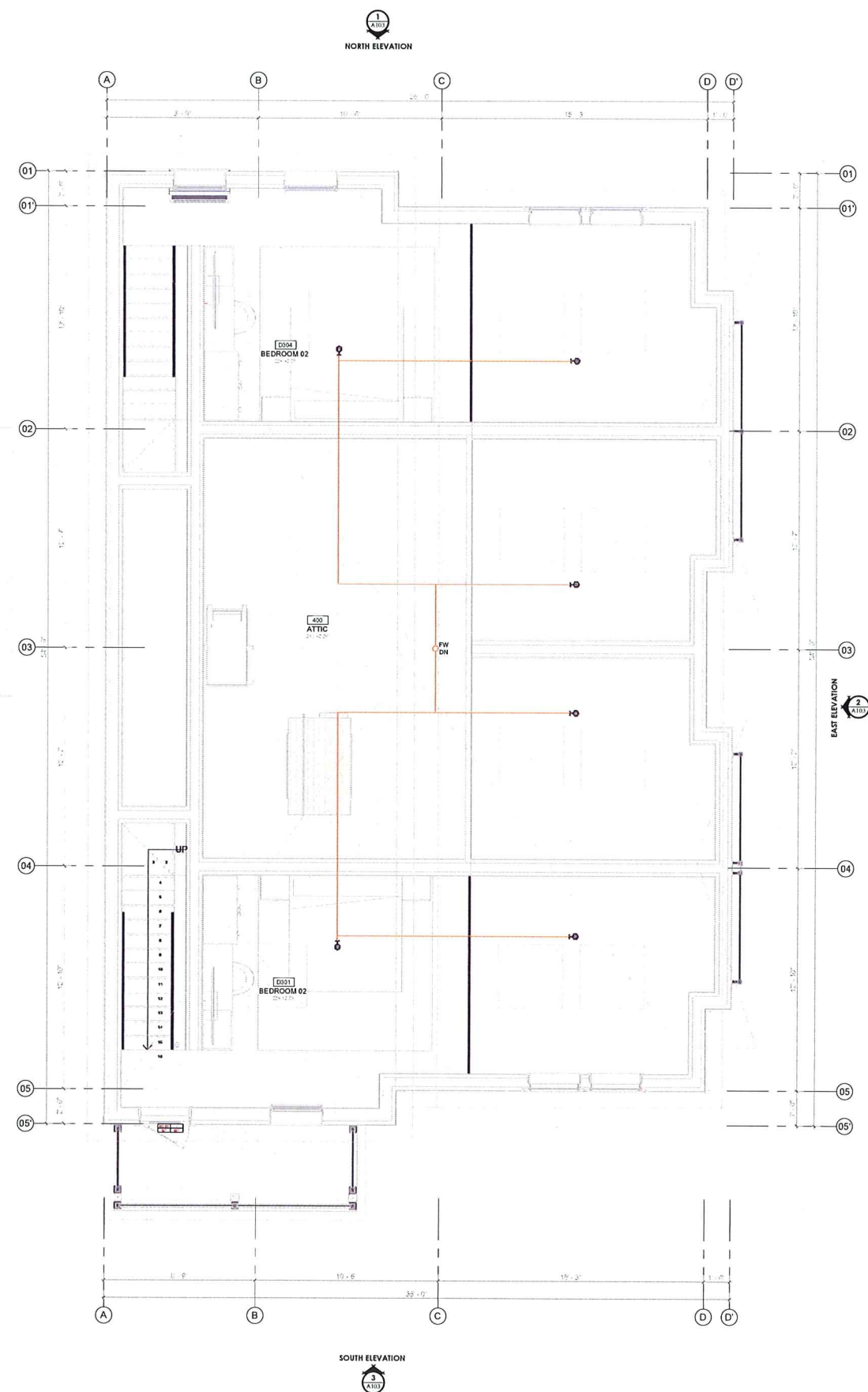
DATE: JANUARY 2025  
SCALE: As indicated

SPRINKLER SYSTEM -  
GROUND FLOOR & SECOND  
FLOOR

S200



City of Providence  
Approved  
FEB 07 2025



Team  
Architectural Designer  
Bryan B. Michie



ACME Architects LLC  
9 Simmons Road  
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401 465 5247

SYMBOL	DESCRIPTION
	FIRE FIGHTING PIPE
	HANGING SPRINKLER
	WATER METER

86 SPRUCE ST  
PROVIDENCE

Client  
Steven Meresi  
86 Spruce St.  
Providence  
RI 02903



PROJECT: 86 SPRUCE ST.

No.	Description	Date
1	Encroachments, U-factor values, fire-rating doors, UL listings, stair risers and treads, wair types	11/26

DATE: JANUARY 2025  
SCALE: As indicated

SPRINKLER SYSTEM - THIRD FLOOR & MEZZANINE