

LAND DEVELOPMENT PLAN (LDP)
FINAL SUBMISSION

PERMIT PLANS
FOR
COPLEY CENTRE I

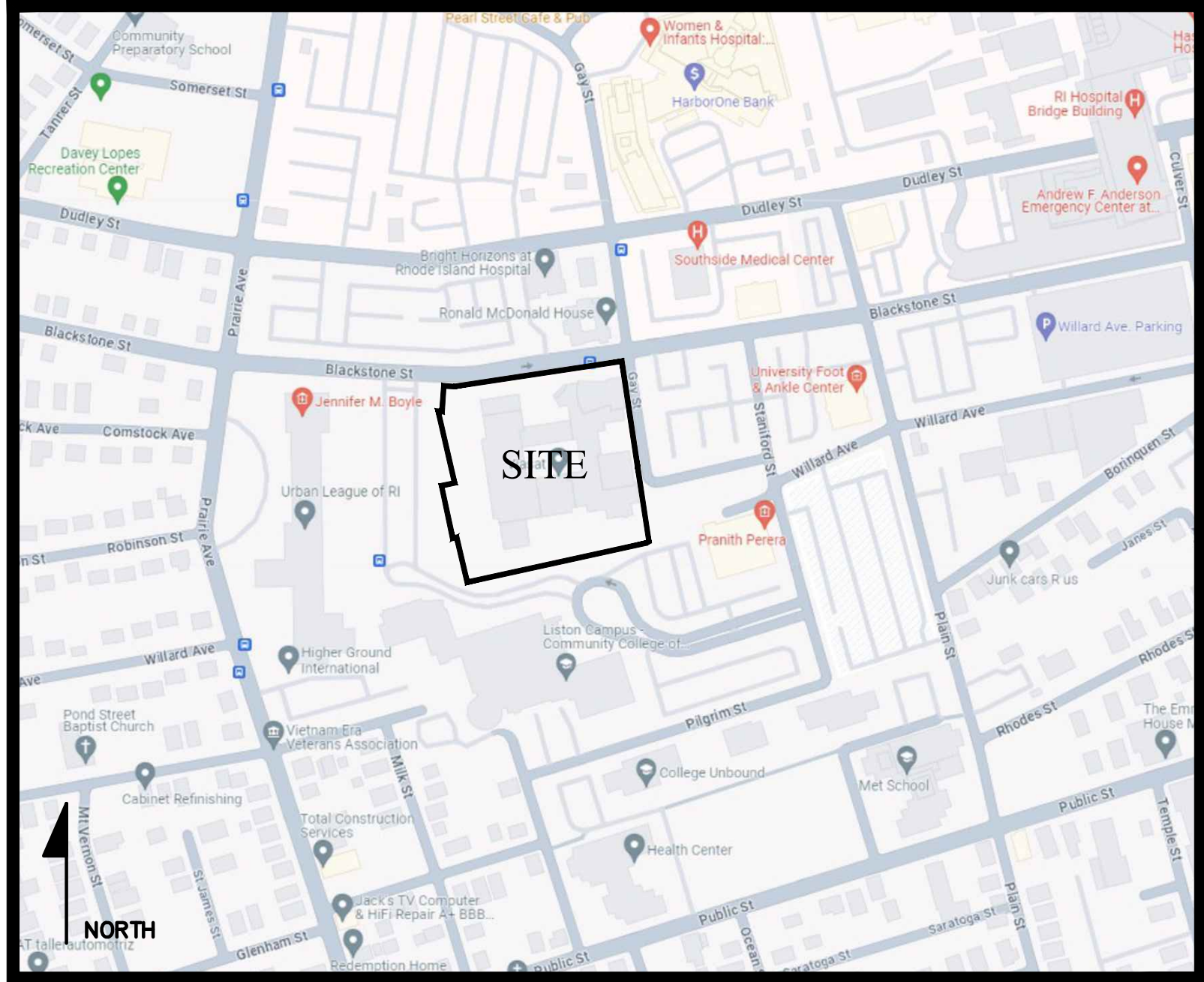
220 BLACKSTONE STREET
(A.P. 45, LOT 85)
PROVIDENCE, RHODE ISLAND 02903

PREPARED FOR:
MARATHON DEVELOPMENT LLC
500 HARRISON AVENUE, SUITE 4 RB
BOSTON, MA 02118

PREPARED BY:



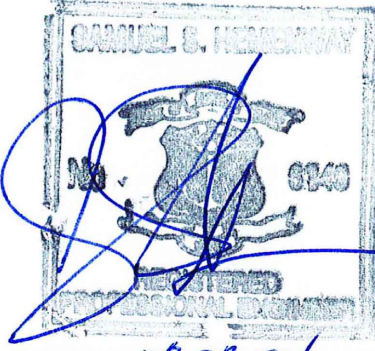
DATE: AUGUST, 2024
REVISED: JANUARY 20, 2025



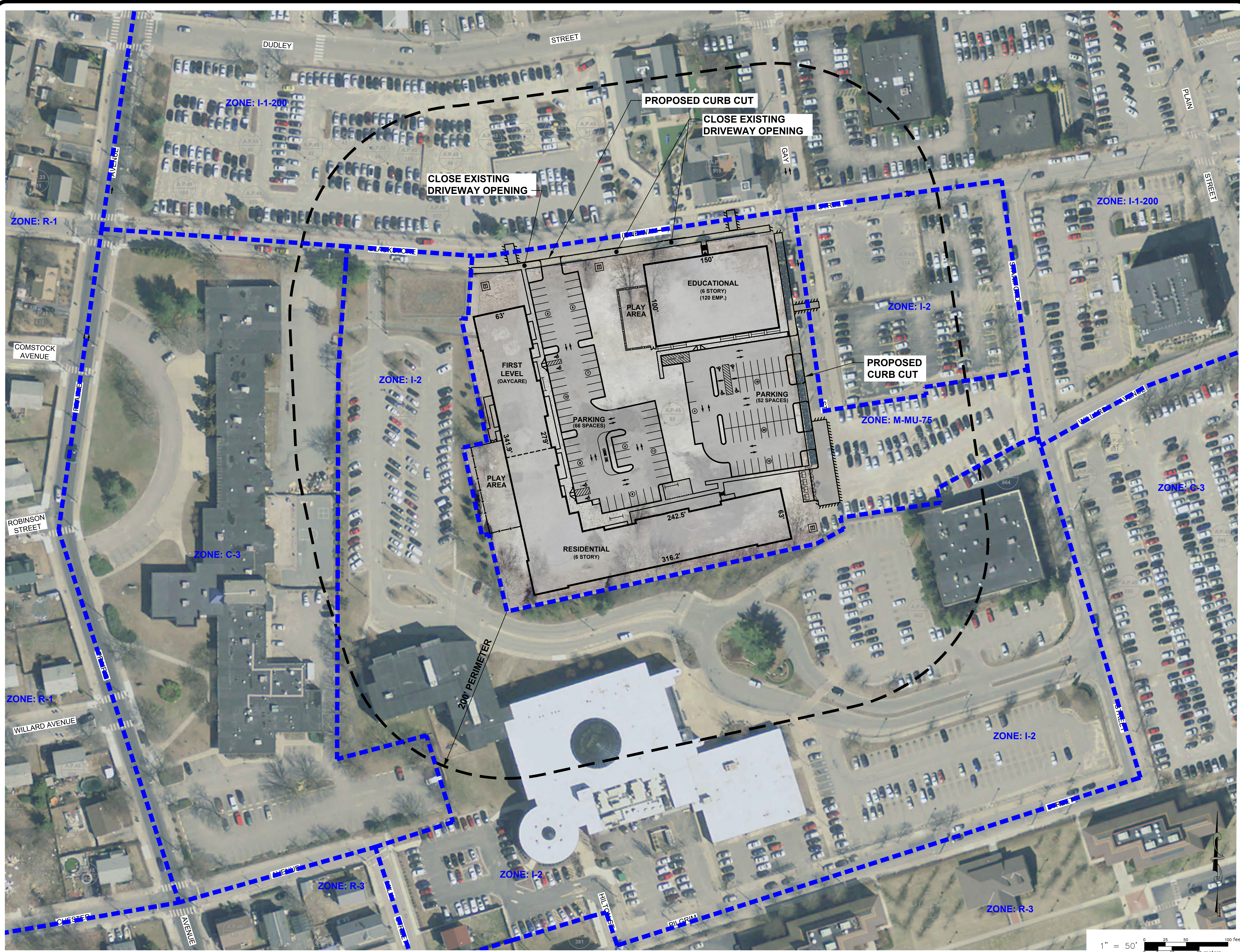
LOCUS MAP
NOT TO SCALE

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VICINITY MAP
 FOR
 (A.P.45, LOT 85)
 COPLEY CENTRE I
 220 BLACKSTONE STREET
 PROVIDENCE, RI
 PREPARED FOR
 Marathon Development, LLC.
 500 Harrison Avenue, Suite 4RB

NO.	REV.	DRWN.	DATE
1	MODIFICATION	JRM	01/20/2025

LAND DEVELOPMENT PLAN (LDP)
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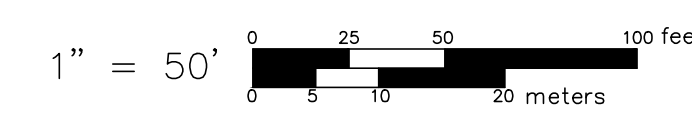
GAROFALO
 GAROFALO & ASSOCIATES, INC.
 CIVIL & STRUCTURAL ENGINEERS/SURVEYORS
 LAND PLANNERS/ENVIRONMENTAL SCIENTISTS

85 CORLISS STREET
 P.O. BOX 6145
 PROVIDENCE, RI 02940
 TEL. 401-273-6000

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 project of this site and are not to
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 location or owner without written
 consent of the engineer or one of its
 directors.

JOB NO. 7366-05	DRAWN BY K.J.A.
DWG. NO. 7366-05-BASE_FINAL LDP_R1	CHECK BY S.S.H.
SCALE: AS SHOWN	APPROVED S.B.G.
	DATE: JUNE, 2024

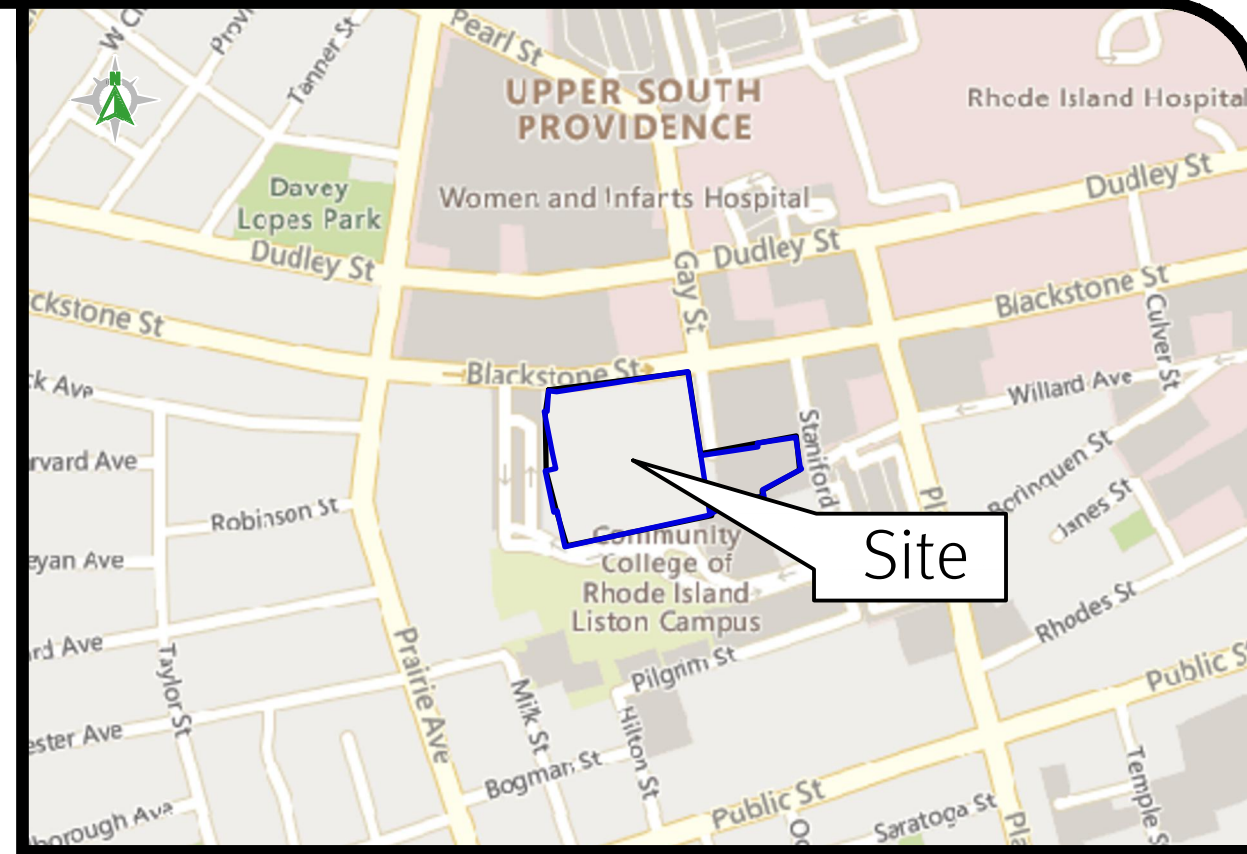
SHEET
G-1
 2 OF 14 SHEETS





LEGEND

- WATER LINE
- SEWER LINE
- SEWER FORCE MAIN
- GAS LINE
- ELECTRIC LINE
- OVERHEAD WIRES
- DRAINAGE LINE
- MINOR CONTOUR LINE
- MAJOR CONTOUR LINE
- PROPERTY LINE
- ASSESSORS LINE
- TREELINE
- GUARDRAIL
- FENCE
- RETAINING WALL
- STONE WALL
- DEED BOOK/PAGE
- ASSESSOR'S PLAT
- HANDICAPPED
- NOW OR FORMERLY
- LANDSCAPING
- RECORD
- CHORD ANGLE
- DRILL HOLE
- IRON ROD/PIPE
- BOUND
- SIGN POST
- SEWER CLEANOUT
- HYDRANT
- IRRIGATION VALVE
- UNKNOWN MANHOLE
- BOLLARD
- SOIL EVALUATION
- CATCH BASIN
- DOUBLE CATCH BASIN
- WATER VALVE
- GAS VALVE
- WETLAND FLAG
- DRAINAGE MANHOLE
- FLARED END SECTION
- GUY POLE
- ELECTRIC MANHOLE
- UTILITY/POWER POLE
- LIGHTPOST
- WELL
- MONITORING WELL
- BENCH MARK
- TREE



LOCUS MAP Not To Scale

GENERAL NOTES

- THE PARCEL IS FOUND ON ASSESSOR'S PLAT 45, LOTS 85, 797, & 833 IN THE CITY OF PROVIDENCE, PROVIDENCE COUNTY, RHODE ISLAND.
- THE OWNER PER DEED BOOK 1235, PAGE 324 IS 220 BLACKSTONE STREET, LLC.
- THE PARCEL IS LOCATED IN ZONE X AND X SHADED PER FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP 44007C0613G, DATED MARCH 2, 2009.
- THERE WERE NO CEMETERIES, GRAVE SITES AND OR BURIAL GROUNDS OBSERVED WITHIN THE LIMITS OF THE SURVEY.
- FIELD SURVEY PERFORMED BY DIPRETE ENGINEERING ON SEPTEMBER 13 AND 15, 2021. THIS PLAN REFLECTS ON THE GROUND CONDITIONS AS OF THOSE DATES.
- THIS PLAN ASSUMES RECORDING OF ADMINISTRATIVE SUBDIVISION BY DIPRETE ENGINEERING DATED 3/4/2022 UNRECORDED.

PLAN REFERENCES

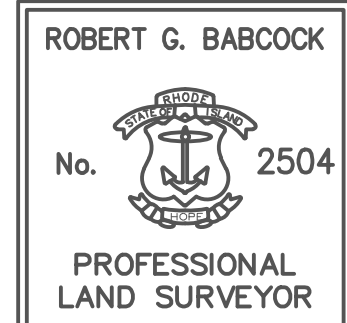
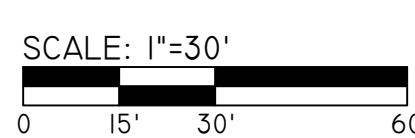
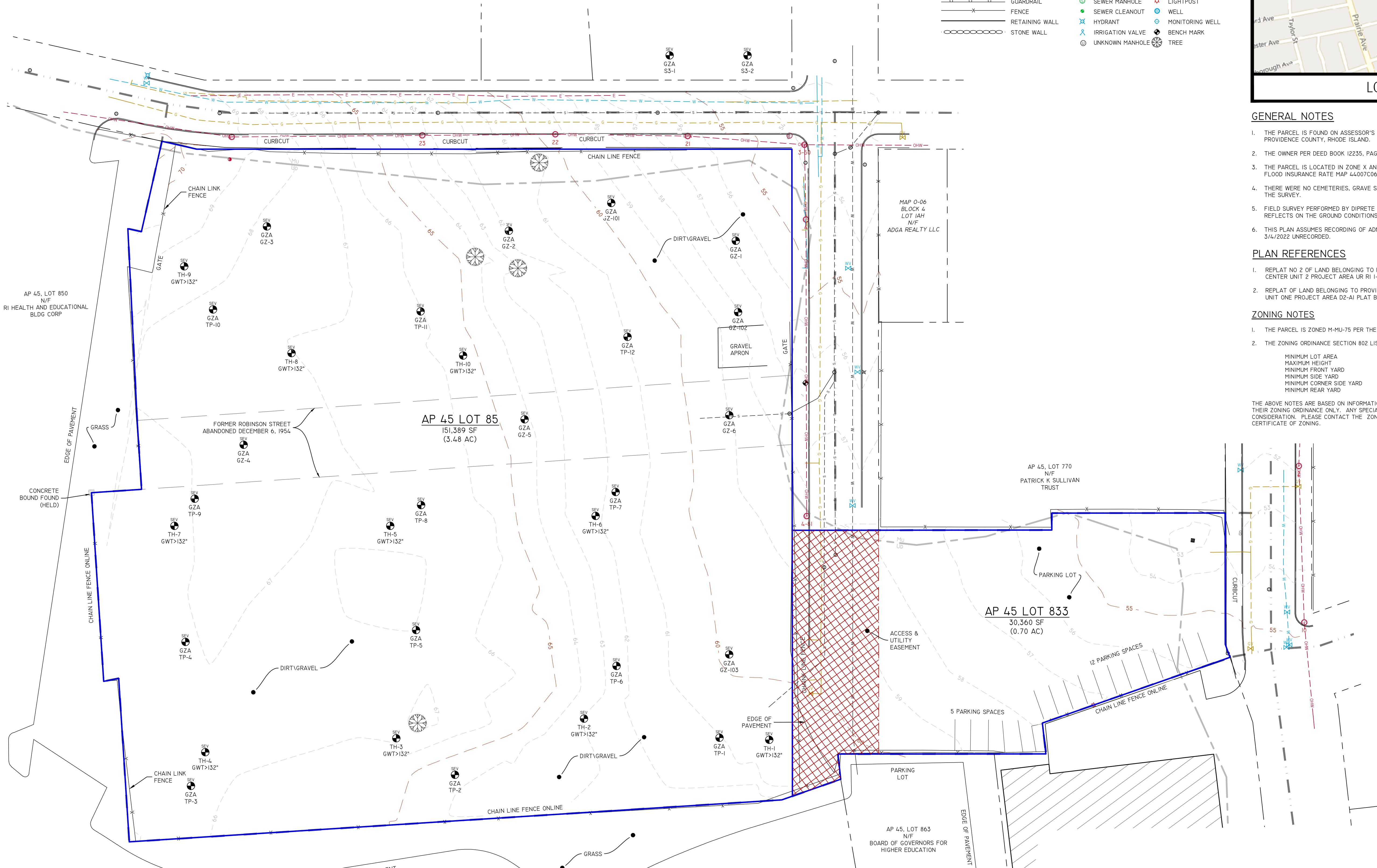
- REPLAT NO 2 OF LAND BELONGING TO PROVIDENCE REDEVELOPMENT AGENCY WITHIN THE WILLARD CENTER UNIT 2 PROJECT AREA UR RI 1-3 PLAT BOOK 42, PAGE 24.
- REPLAT OF LAND BELONGING TO PROVIDENCE REDEVELOPMENT AGENCY WITH THE WILLARD CENTER UNIT ONE PROJECT AREA D2-AI PLAT BOOK 43, PAGE 22.

ZONING NOTES

- THE PARCEL IS ZONED M-MU-75 PER THE ASSESSOR'S ONLINE DATABASE.
- THE ZONING ORDINANCE SECTION 802 LISTS THE DIMENSIONAL REGULATIONS AS FOLLOWS:

MINIMUM LOT AREA	NONE
MINIMUM HEIGHT	75 FEET
MINIMUM FRONT YARD	NONE, IF RESIDENTIAL ON OPPOSITE SIDE OF STREET THEN 10'
MINIMUM SIDE YARD	NONE, IF ABUTTING RESIDENTIAL DISTRICT THEN 10'
MINIMUM CORNER SIDE YARD	NONE, IF RESIDENTIAL ON OPPOSITE SIDE OF STREET THEN 10'
MINIMUM REAR YARD	NONE, IF ABUTTING RESIDENTIAL DISTRICT THEN 20'

THE ABOVE NOTES ARE BASED ON INFORMATION FROM THE CITY OF PROVIDENCE ASSESSOR'S ONLINE DATABASE AND THEIR ZONING ORDINANCE ONLY. ANY SPECIAL PERMITS OR VARIANCES SPECIFIC TO THIS SITE ARE NOT TAKEN INTO CONSIDERATION. PLEASE CONTACT THE ZONING DEPARTMENT FOR ANY ADDITIONAL INFORMATION OR FOR A CERTIFICATE OF ZONING.



ROBERT G. BABCOCK
No. 2504
PROFESSIONAL
LAND SURVEYOR
5/21/22
ROBERT G. BABCOCK, RIPLS #2504, COA #LS.000A160

SURVEYOR'S CERTIFICATE

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:
• LIMITED CONTENT BOUNDARY SURVEY (PERIMETER)
CLASS I
THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS: ADMINISTRATIVE SUBDIVISION TO SUBDIVIDE LOT 797 INTO PARCEL A AND PARCEL B AND MERGE PARCEL A WITH LOT 85 AND PARCEL B WITH LOT 833.

Diprete Engineering
Two Stafford Court Cranston, RI 02920
tel 401-943-1000 fax 401-464-6006 www.diprete-eng.com

Boston • Providence • Newport

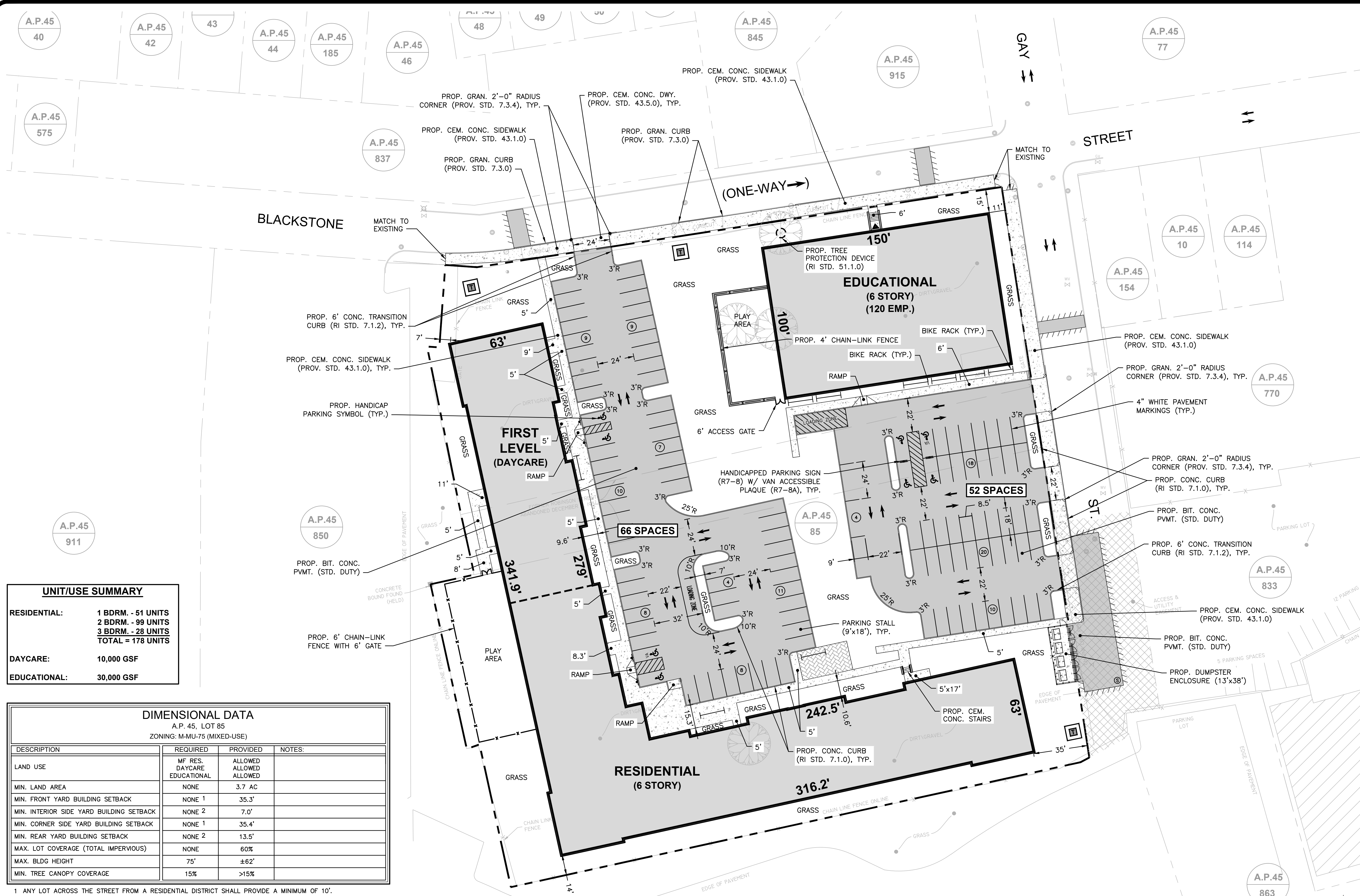
DANA R. NISSET
No. 11876
REGISTERED
PROFESSIONAL ENGINEER
CIVIL

THIS PLAN SET MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS STAMPED AND SIGNED BY A REGISTERED PROFESSIONAL ENGINEER OR ARCHITECT.

NO.	DATE	DESCRIPTION	BY	DT.
1	08-27-2022	ADMINISTRATIVE & FINAL SUBDIVISION	B.A.W.	
2	09-15-2022	PROVIDENCE, RI	B.A.W.	
3	09-15-2022	PROVIDENCE, RI	B.A.W.	
4	09-15-2022	PROVIDENCE, RI	B.A.W.	
5	09-15-2022	PROVIDENCE, RI	B.A.W.	
6	09-15-2022	PROVIDENCE, RI	B.A.W.	
7	09-15-2022	PROVIDENCE, RI	B.A.W.	
8	09-15-2022	PROVIDENCE, RI	B.A.W.	
9	09-15-2022	PROVIDENCE, RI	B.A.W.	
10	09-15-2022	PROVIDENCE, RI	B.A.W.	
11	09-15-2022	PROVIDENCE, RI	B.A.W.	
12	09-15-2022	PROVIDENCE, RI	B.A.W.	
13	09-15-2022	PROVIDENCE, RI	B.A.W.	
14	09-15-2022	PROVIDENCE, RI	B.A.W.	
15	09-15-2022	PROVIDENCE, RI	B.A.W.	
16	09-15-2022	PROVIDENCE, RI	B.A.W.	
17	09-15-2022	PROVIDENCE, RI	B.A.W.	
18	09-15-2022	PROVIDENCE, RI	B.A.W.	
19	09-15-2022	PROVIDENCE, RI	B.A.W.	
20	09-15-2022	PROVIDENCE, RI	B.A.W.	
21	09-15-2022	PROVIDENCE, RI	B.A.W.	
22	09-15-2022	PROVIDENCE, RI	B.A.W.	
23	09-15-2022	PROVIDENCE, RI	B.A.W.	
24	09-15-2022	PROVIDENCE, RI	B.A.W.	
25	09-15-2022	PROVIDENCE, RI	B.A.W.	
26	09-15-2022	PROVIDENCE, RI	B.A.W.	
27	09-15-2022	PROVIDENCE, RI	B.A.W.	
28	09-15-2022	PROVIDENCE, RI	B.A.W.	
29	09-15-2022	PROVIDENCE, RI	B.A.W.	
30	09-15-2022	PROVIDENCE, RI	B.A.W.	
31	09-15-2022	PROVIDENCE, RI	B.A.W.	
32	09-15-2022	PROVIDENCE, RI	B.A.W.	
33	09-15-2022	PROVIDENCE, RI	B.A.W.	
34	09-15-2022	PROVIDENCE, RI	B.A.W.	
35	09-15-2022	PROVIDENCE, RI	B.A.W.	
36	09-15-2022	PROVIDENCE, RI	B.A.W.	
37	09-15-2022	PROVIDENCE, RI	B.A.W.	
38	09-15-2022	PROVIDENCE, RI	B.A.W.	
39	09-15-2022	PROVIDENCE, RI	B.A.W.	
40	09-15-2022	PROVIDENCE, RI	B.A.W.	
41	09-15-2022	PROVIDENCE, RI	B.A.W.	
42	09-15-2022	PROVIDENCE, RI	B.A.W.	
43	09-15-2022	PROVIDENCE, RI	B.A.W.	
44	09-15-2022	PROVIDENCE, RI	B.A.W.	
45	09-15-2022	PROVIDENCE, RI	B.A.W.	
46	09-15-2022	PROVIDENCE, RI	B.A.W.	
47	09-15-2022	PROVIDENCE, RI	B.A.W.	
48	09-15-2022	PROVIDENCE, RI	B.A.W.	
49	09-15-2022	PROVIDENCE, RI	B.A.W.	
50	09-15-2022	PROVIDENCE, RI	B.A.W.	
51	09-15-2022	PROVIDENCE, RI	B.A.W.	
52	09-15-2022	PROVIDENCE, RI	B.A.W.	
53	09-15-2022	PROVIDENCE, RI	B.A.W.	
54	09-15-2022	PROVIDENCE, RI	B.A.W.	
55	09-15-2022	PROVIDENCE, RI	B.A.W.	
56	09-15-2022	PROVIDENCE, RI	B.A.W.	
57	09-15-2022	PROVIDENCE, RI	B.A.W.	
58	09-15-2022	PROVIDENCE, RI	B.A.W.	
59	09-15-2022	PROVIDENCE, RI	B.A.W.	
60	09-15-2022	PROVIDENCE, RI	B.A.W.	
61	09-15-2022	PROVIDENCE, RI	B.A.W.	
62	09-15-2022	PROVIDENCE, RI	B.A.W.	
63	09-15-2022	PROVIDENCE, RI	B.A.W.	
64	09-15-2022	PROVIDENCE, RI	B.A.W.	
65	09-15-2022	PROVIDENCE, RI	B.A.W.	
66	09-15-2022	PROVIDENCE, RI	B.A.W.	
67	09-15-2022	PROVIDENCE, RI	B.A.W.	
68	09-15-2022	PROVIDENCE, RI	B.A.W.	
69	09-15-2022	PROVIDENCE, RI	B.A.W.	
70	09-15-2022	PROVIDENCE, RI	B.A.W.	
71	09-15-2022	PROVIDENCE, RI	B.A.W.	
72	09-15-2022	PROVIDENCE, RI	B.A.W.	
73	09-15-2022	PROVIDENCE, RI	B.A.W.	
74	09-15-2022	PROVIDENCE, RI	B.A.W.	
75	09-15-2022	PROVIDENCE, RI	B.A.W.	
76	09-15-2022	PROVIDENCE, RI	B.A.W.	
77	09-15-2022	PROVIDENCE, RI	B.A.W.	
78	09-15-2022	PROVIDENCE, RI	B.A.W.	
79	09-15-2022	PROVIDENCE, RI	B.A.W.	
80	09-15-2022	PROVIDENCE, RI	B.A.W.	
81	09-15-2022	PROVIDENCE, RI	B.A.W.	
82	09-15-2022	PROVIDENCE, RI	B.A.W.	
83	09-15-2022	PROVIDENCE, RI	B.A.W.	
84	09-15-2022	PROVIDENCE, RI	B.A.W.	
85	09-15-2022	PROVIDENCE, RI	B.A.W.	
86	09-15-2022	PROVIDENCE, RI	B.A.W.	
87	09-15-2022	PROVIDENCE, RI	B.A.W.	
88	09-15-2022	PROVIDENCE, RI	B.A.W.	
89	09-15-2022	PROVIDENCE, RI	B.A.W.	
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92	09-15-2022	PROVIDENCE, RI	B.A.W.	
93	09-15-2022	PROVIDENCE, RI	B.A.W.	
94	09-15-2022	PROVIDENCE, RI	B.A.W.	
95	09-15-2022	PROVIDENCE, RI	B.A.W.	
96	09-15-2022	PROVIDENCE, RI	B.A.W.	
97	09-15-2022	PROVIDENCE, RI	B.A.W.	
98	09-15-2022	PROVIDENCE, RI	B.A.W.	
99	09-15-2022	PROVIDENCE, RI	B.A.W.	
100	09-15-2022	PROVIDENCE, RI	B.A.W.	

EXISTING ANALYSIS PLAN
BLACKSTONE STREET APARTMENTS
ASSESSOR'S PLAT 45, LOTS 85, 797 & 833
220 BLACKSTONE ST., PROVIDENCE, RHODE ISLAND
PREPARED FOR:
AP BUILDING COMPANY
41 SEVEN FIELDS ROAD, SUITE 150
SEVEN FIELDS, PA 66046

L:\7366-05-220-Blackstone & 23-Stratford (Marathon) - Providence, RI\Map\01-Current\7366-05-Base_Final_LDP_1.dwg 01/21/2025 kyngang 09:51



UNIT/USE SUMMARY	
RESIDENTIAL:	1 BDRM. - 51 UNITS 2 BDRM. - 99 UNITS 3 BDRM. - 28 UNITS TOTAL = 178 UNITS
DAYCARE:	10,000 GSF
EDUCATIONAL:	30,000 GSF

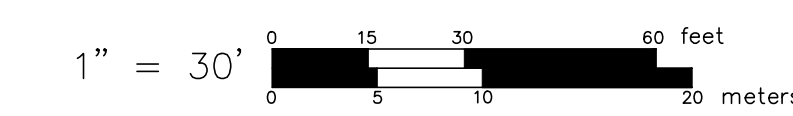
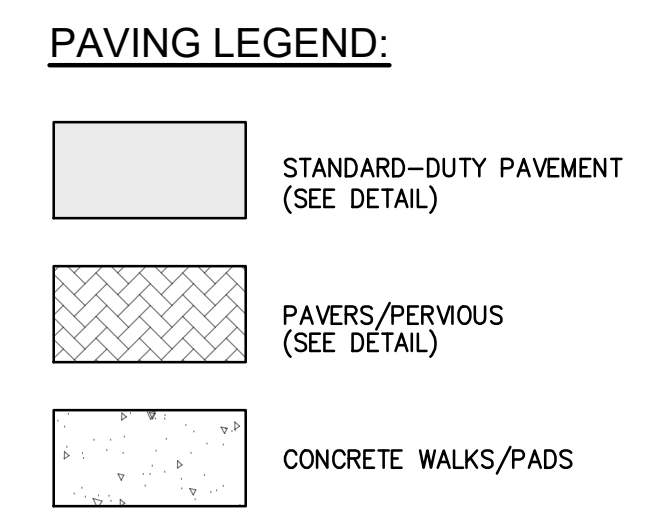
DIMENSIONAL DATA			
A.P. 45, LOT 85			
ZONING: M-MU-75 (MIXED-USE)			
DESCRIPTION	REQUIRED	PROVIDED	NOTES:
LAND USE	MF RES. DAYCARE EDUCATIONAL	ALLOWED ALLOWED ALLOWED	
MIN. LAND AREA	NONE	3.7 AC	
MIN. FRONT YARD BUILDING SETBACK	NONE 1	35.3'	
MIN. INTERIOR SIDE YARD BUILDING SETBACK	NONE 2	7.0'	
MIN. CORNER SIDE YARD BUILDING SETBACK	NONE 1	35.4'	
MIN. REAR YARD BUILDING SETBACK	NONE 2	13.5'	
MAX. LOT COVERAGE (TOTAL IMPERVIOUS)	NONE	60%	
MAX. BLDG HEIGHT	75'	±62'	
MIN. TREE CANOPY COVERAGE	15%	>15%	

- 1 ANY LOT ACROSS THE STREET FROM A RESIDENTIAL DISTRICT SHALL PROVIDE A MINIMUM OF 10'.
- 2 ANY LOT ABUTTING A RESIDENTIAL DISTRICT SHALL PROVIDE A MINIMUM OF 10'.

PARKING REQUIREMENTS (ARTICLE 14)						
DESCRIPTION	REQ (AUTO)	PROVIDED	REQ (LOAD)	PROVIDED	REQ (BIKE)	PROVIDED
DWELLING—MULTI—FAMILY (178 UNITS): CAR:1 PER DWELLING UNIT BICYCLE:1 PER 5 DWELLINGS	178	56	1	1	36	18
DAYCARE (10,000 GSF): CAR:1 PER 1,000 GFA BICYCLE:N/A	10	10	-	0	-	0
EDUCATIONAL (120 EMPLOYEES/30 CLASSROOMS): CAR:1 PER 3 EMPLOYEES BICYCLE:3 PER CLASSROOM	40	52	1	1	90	45
PROJECT TOTAL	200	118**	2	2	126	63

** ZONING RELIEF REQUIRED.

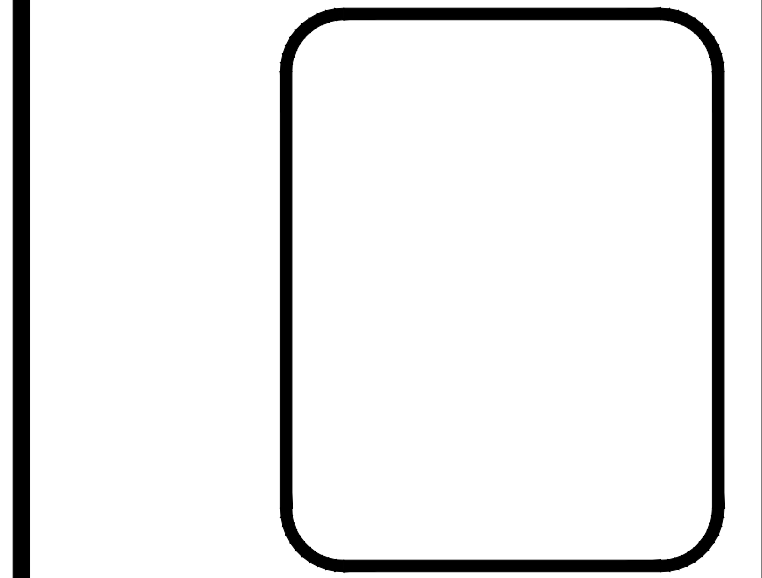
- DEVELOPEMENT NOTES:**
1. THIS PLAN IS SCHEMATIC ONLY AND INTENDED TO PROVIDE GENERAL DEVELOPMENT CONDITIONS. FINAL LAYOUT AND BUILDING DIMENSIONS MAY VARY AND SHALL BE COORDINATED BY THE CONTRACTOR.
 2. NO WETLAND, WATERCOURSES OR COASTAL FEATURES HAVE BEEN IDENTIFIED WITHIN 200-FOOT OF THE PROJECT(S).
 3. THE PROJECT(S) FALL WITHIN RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT (RIDEM) JURISDICTION:
 - 3.1. THE PROJECT DOES NOT REQUIRE PERMITTING UNDER RULES REGARDING THE FRESHWATER WETLAND ACT.
 - 3.2. CONSTRUCTION REQUIRES COVERAGE UNDER THE RI GENERAL PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.



SITE LAYOUT
FOR
(A.P.45, LOT 85)
COPLEY CENTRE I
220 BLACKSTONE STREET
PROVIDENCE, RI
PREPARED FOR
Marathon Development, LLC.
500 Harrison Avenue, Suite 4RB

NO.	REV.	DRWN.	DATE
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LAND DEVELOPMENT PLAN (LDP)
FINAL SUBMISSION - PERMIT ONLY



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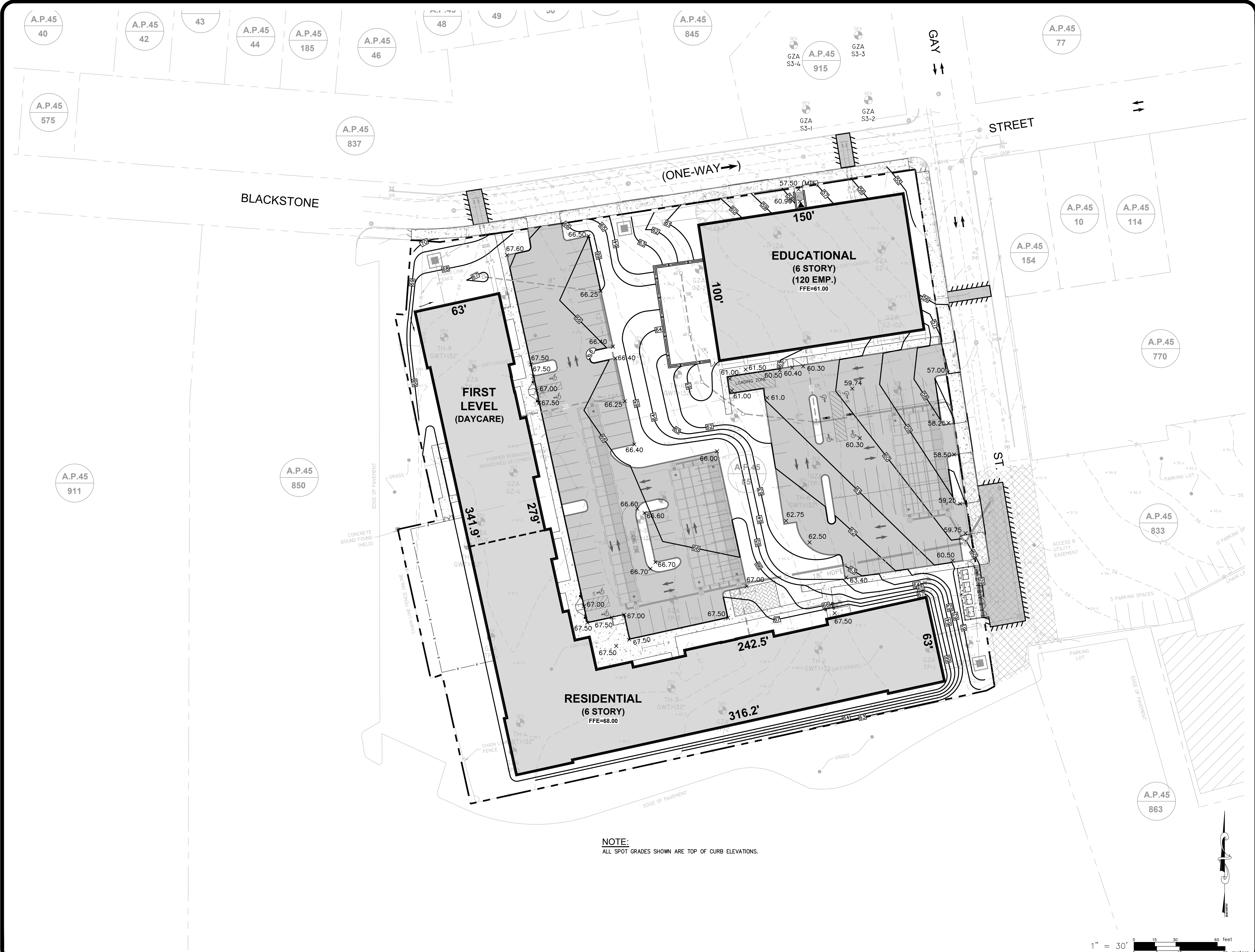
85 CORLISS STREET
P.O. BOX 6145
PROVIDENCE, RI 02940
TEL. 401-273-6000

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JOB NO. 7366-05	DRAWN BY K.J.A.
DWG. NO. 7366-05-BASE_FINAL LDP_R1	CHECK BY S.S.H.
SCALE: AS SHOWN	APPROVED S.B.G.
DATE: JANUARY, 2025	

SHEET
C-200
5 OF 14 SHEETS

L:\7366-05-220-Blackstone & 23 Stratford (Marathon) - Providence, RI\Map\01-Current\7366-05-Base_Final_LDP_1.dwg, 01/21/2025, kyngang, 10:02

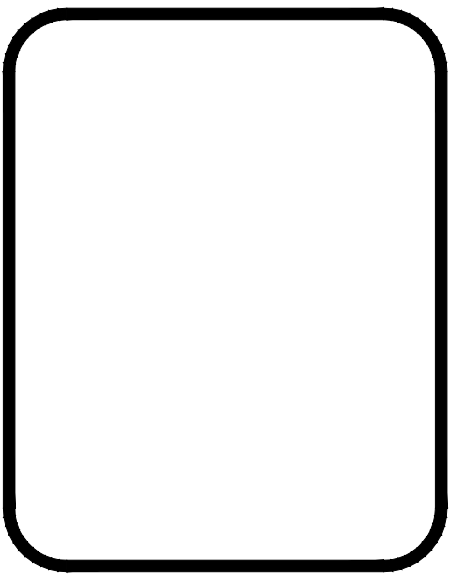


NOTE:
ALL SPOT GRADES SHOWN ARE TOP OF CURB ELEVATIONS.

GRADING PLAN
FOR
(A.P.45, LOT 85)
COPLEY CENTRE I
PROVIDENCE, RI
PREPARED FOR
Marathon Development, LLC.
500 Harrison Avenue, Suite 4RB

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1	MODIFICATION	JRM	01/20/2025

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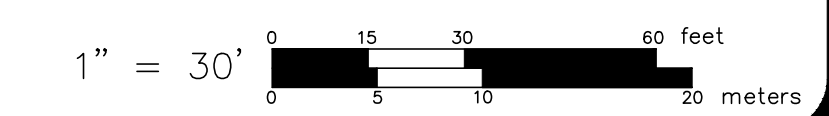
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CIVIL & STRUCTURAL ENGINEERS/SURVEYORS
LAND PLANNERS/ENVIRONMENTAL SCIENTISTS

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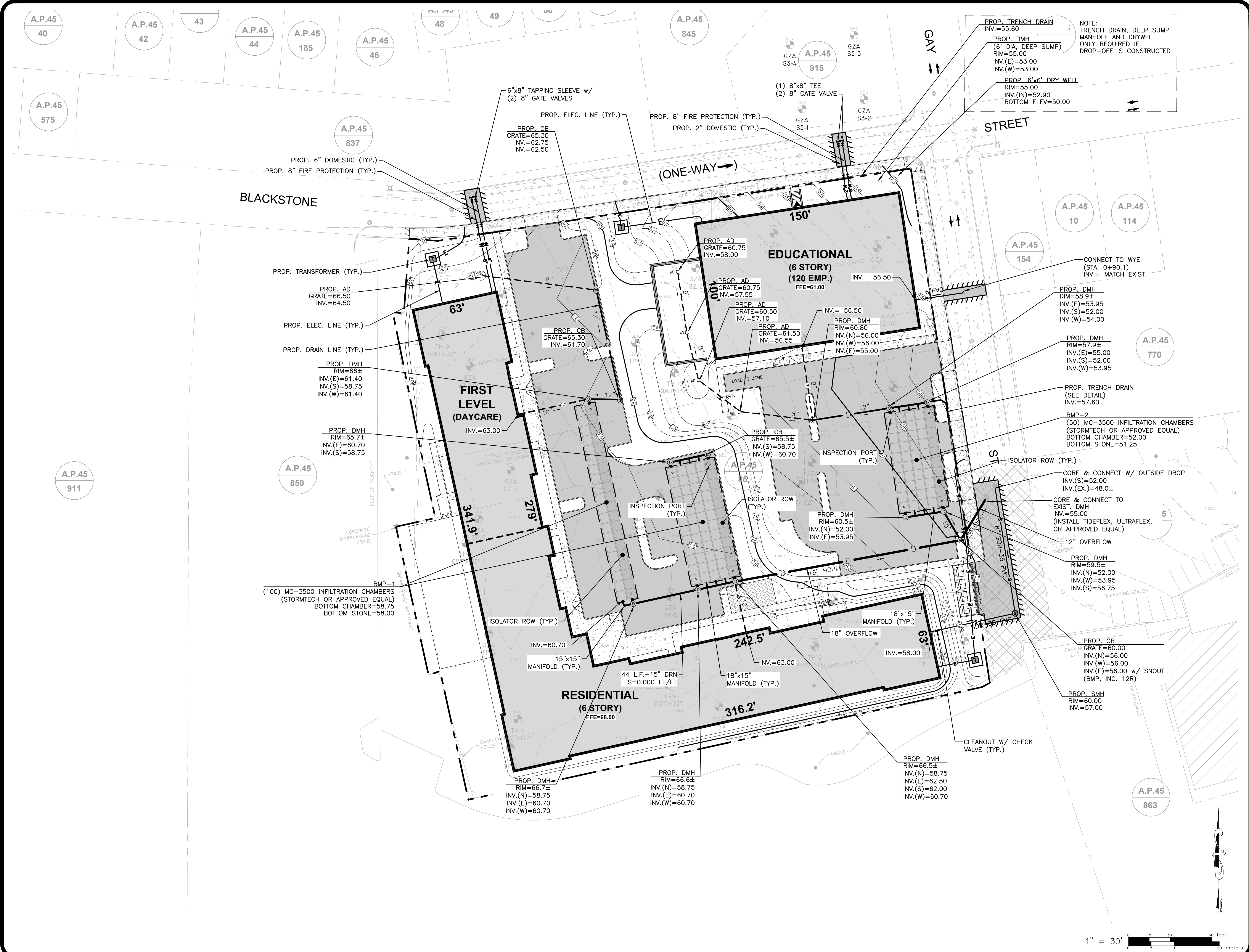
85 CORLISS STREET
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PROVIDENCE, RI 02940
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DWG. NO. 7366-05-BASE_FINAL LDP_R1	CHECK BY S.S.H.
SCALE: AS SHOWN	APPROVED S.B.G.
DATE: JUNE, 2024	

SHEET
C-300
6 OF 14 SHEETS



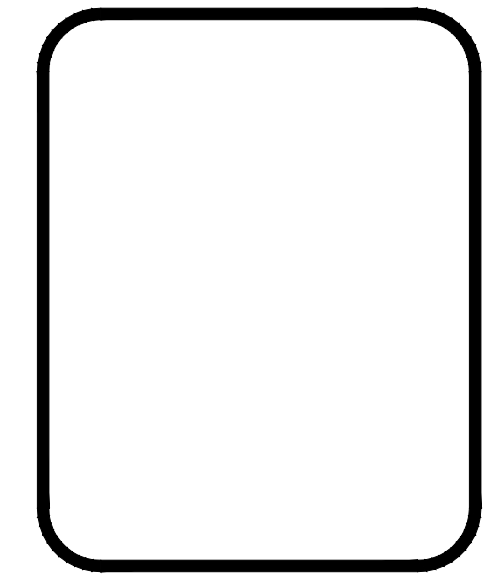
L:\7366-05-220 Blackstone & 23 Stratford (Marathon) - Providence, RI\Map\01-Current\7366-05-Base_Final_LDP_1.dwg, 01/21/2025, kyngang 09:59



UTILITY PLAN
 FOR
(A.P.45, LOT 85)
COPLEY CENTRE I
PROVIDENCE, RI
 PREPARED FOR
 Marathon Development, LLC.
 500 Harrison Avenue, Suite 4RB

NO.	REV.	DRWN.	DATE
1	MODIFICATION	JRM	01/20/2025

LAND DEVELOPMENT PLAN (LDP)
 FINAL SUBMISSION - PERMIT ONLY



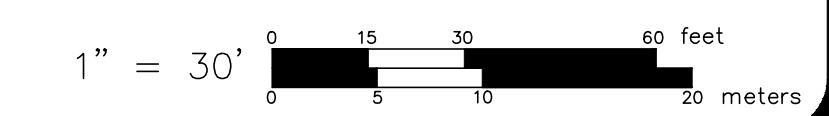
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 GAROFALO & ASSOCIATES, INC.
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 LAND PLANNERS/ENVIRONMENTAL SCIENTISTS

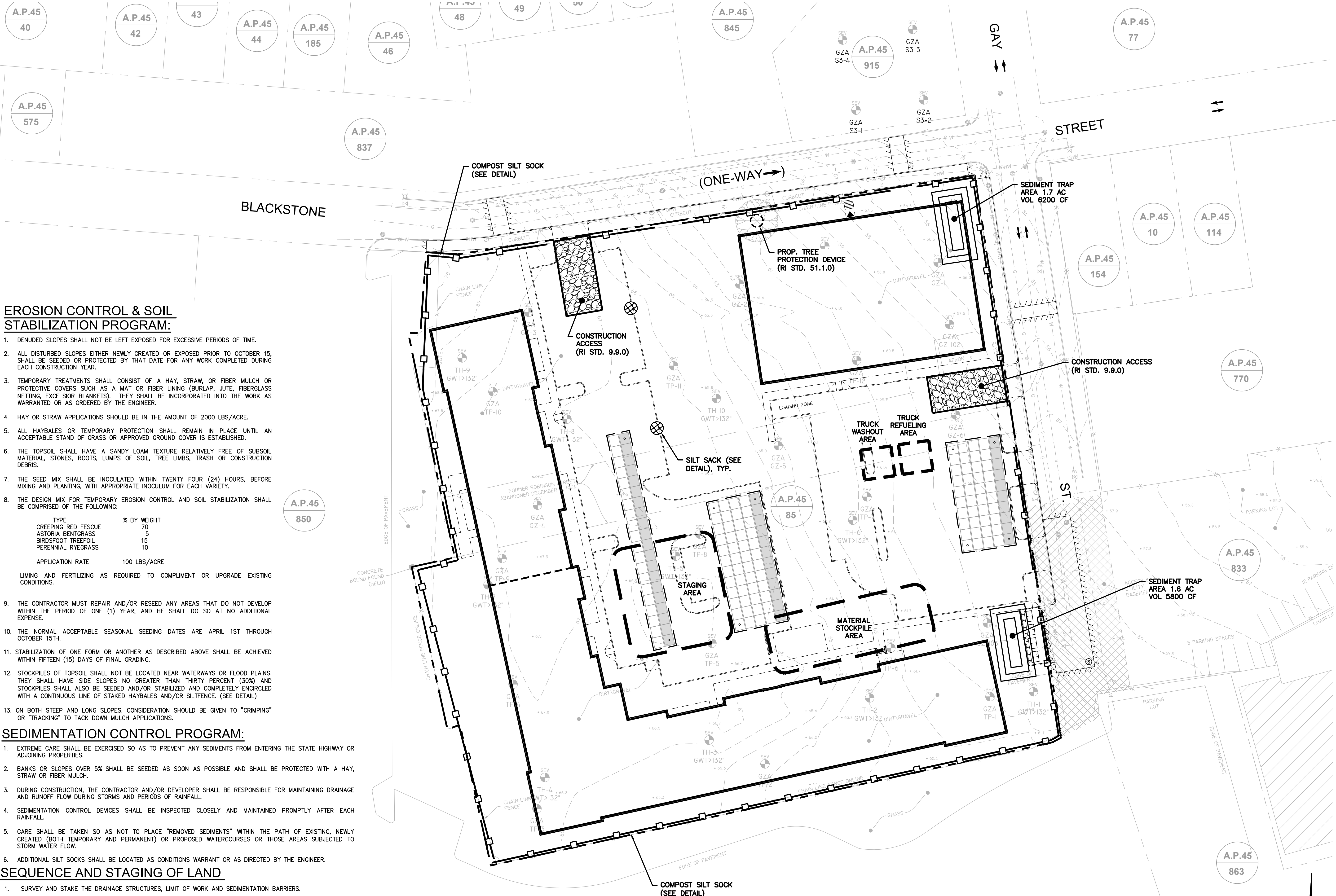
85 CORLISS STREET
 P.O. BOX 6145
 PROVIDENCE, RI 02940
 TEL. 401-273-6000

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JOB NO. 7366-05	DRAWN BY K.J.A.
DWG. NO. 7366-05-BASE_FINAL LDP-RI	CHECK BY S.S.H.
SCALE: AS SHOWN	APPROVED S.B.G.
DATE: JUNE, 2024	

SHEET
C-400
 7 OF 14 SHEETS





EROSION CONTROL & SOIL STABILIZATION PROGRAM:

- DENUDED SLOPES SHALL NOT BE LEFT EXPOSED FOR EXCESSIVE PERIODS OF TIME.
- ALL DISTURBED SLOPES EITHER NEWLY CREATED OR EXPOSED PRIOR TO OCTOBER 15, SHALL BE SEEDED OR PROTECTED BY THAT DATE FOR ANY WORK COMPLETED DURING EACH CONSTRUCTION YEAR.
- TEMPORARY TREATMENTS SHALL CONSIST OF A HAY, STRAW, OR FIBER MULCH OR PROTECTIVE COVERS SUCH AS A MAT OR FIBER LINING (BURLAP, JUTE, FIBERGLASS NETTING, EXCELSIOR BLANKETS). THEY SHALL BE INCORPORATED INTO THE WORK AS WARRANTED OR AS ORDERED BY THE ENGINEER.
- HAY OR STRAW APPLICATIONS SHOULD BE IN THE AMOUNT OF 2000 LBS/ACRE.
- ALL HAYBALES OR TEMPORARY PROTECTION SHALL REMAIN IN PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER IS ESTABLISHED.
- THE TOPSOIL SHALL HAVE A SANDY LOAM TEXTURE RELATIVELY FREE OF SUBSOIL MATERIAL, STONES, ROOTS, LUMPS OF SOIL, TREE LIMBS, TRASH OR CONSTRUCTION DEBRIS.
- THE SEED MIX SHALL BE INOCULATED WITHIN TWENTY FOUR (24) HOURS, BEFORE MIXING AND PLANTING, WITH APPROPRIATE INOCULUM FOR EACH VARIETY.
- THE DESIGN MIX FOR TEMPORARY EROSION CONTROL AND SOIL STABILIZATION SHALL BE COMPRISED OF THE FOLLOWING:

TYPE	% BY WEIGHT
CREeping RED FESCUE	70
ASTORIA BENTGRASS	5
BIRDFOOT TREFFOIL	15
PERENNIAL RYEGRASS	10

APPLICATION RATE 100 LBS/ACRE
LIMING AND FERTILIZING AS REQUIRED TO COMPLIMENT OR UPGRADE EXISTING CONDITIONS.

- THE CONTRACTOR MUST REPAIR AND/OR RESEED ANY AREAS THAT DO NOT DEVELOP WITHIN THE PERIOD OF ONE (1) YEAR, AND HE SHALL DO SO AT NO ADDITIONAL EXPENSE.
- THE NORMAL ACCEPTABLE SEASONAL SEEDING DATES ARE APRIL 1ST THROUGH OCTOBER 15TH.
- STABILIZATION OF ONE FORM OR ANOTHER AS DESCRIBED ABOVE SHALL BE ACHIEVED WITHIN FIFTEEN (15) DAYS OF FINAL GRADING.
- STOCKPILES OF TOPSOIL SHALL NOT BE LOCATED NEAR WATERWAYS OR FLOOD PLAINS. THEY SHALL HAVE SIDE SLOPES NO GREATER THAN THIRTY PERCENT (30%) AND STOCKPILES SHALL ALSO BE SEEDED AND/OR STABILIZED AND COMPLETELY ENCIRCLED WITH A CONTINUOUS LINE OF STAKED HAYBALES AND/OR SILTFENCE. (SEE DETAIL)
- ON BOTH STEEP AND LONG SLOPES, CONSIDERATION SHOULD BE GIVEN TO "CRIMPING" OR "TRACKING" TO TACK DOWN MULCH APPLICATIONS.

SEDIMENTATION CONTROL PROGRAM:

- EXTREME CARE SHALL BE EXERCISED SO AS TO PREVENT ANY SEDIMENTS FROM ENTERING THE STATE HIGHWAY OR ADJOINING PROPERTIES.
- BANKS OR SLOPES OVER 5% SHALL BE SEEDED AS SOON AS POSSIBLE AND SHALL BE PROTECTED WITH A HAY, STRAW OR FIBER MULCH.
- DURING CONSTRUCTION, THE CONTRACTOR AND/OR DEVELOPER SHALL BE RESPONSIBLE FOR MAINTAINING DRAINAGE AND RUNOFF FLOW DURING STORMS AND PERIODS OF RAINFALL.
- SEDIMENTATION CONTROL DEVICES SHALL BE INSPECTED CLOSELY AND MAINTAINED PROMPTLY AFTER EACH RAINFALL.
- CARE SHALL BE TAKEN SO AS NOT TO PLACE "REMOVED SEDIMENTS" WITHIN THE PATH OF EXISTING, NEWLY CREATED (BOTH TEMPORARY AND PERMANENT) OR PROPOSED WATERCOURSES OR THOSE AREAS SUBJECTED TO STORM WATER FLOW.
- ADDITIONAL SILT SOCKS SHALL BE LOCATED AS CONDITIONS WARRANT OR AS DIRECTED BY THE ENGINEER.

SEQUENCE AND STAGING OF LAND

- SURVEY AND STAKE THE DRAINAGE STRUCTURES, LIMIT OF WORK AND SEDIMENTATION BARRIERS.
- PLACE SEDIMENTATION BARRIERS (SILT SOCK) AS SHOWN ON THE PLANS AND STAKED OUT IN THE FIELD. IN NO CASE IS THE LIMIT OF WORK TO EXTEND BEYOND THE SEDIMENTATION BARRIERS.
- PERFORM SITWORK DEMOLITION.
- BEGIN GRADING WORK (CLEARING AND GRUBBING, EXCAVATING AND GRADING, ETC.). TOP SOIL TO BE STRIPPED AND STOCKPILED IN APPROVED AREAS. THE STOCKPILES ARE TO BE PROTECTED BY A ROW OF SEDIMENTATION BARRIER AND COVERED OR TEMPORARILY SEEDED.
- COMPLETE SITE GRADING AND PAVING WORK
- COMPLETE LANDSCAPING AND PERMANENT STABILIZATION. SWEEP PARKING AND ROADWAY AREAS TO REMOVE ALL SEDIMENTS.
- REMOVE ALL TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROL MEASURES FOLLOWING VEGETATIVE ESTABLISHMENT OF ALL DISTURBED AREAS.

SOIL EROSION AND SEDIMENT CONTROL PLAN
FOR
(A.P.45, LOT 85)
COPLEY CENTRE I
220 BLACKSTONE STREET
PROVIDENCE, RI
PREPARED FOR
Marathon Development, LLC.
500 Harrison Avenue, Suite 4RB

NO.	REV.	DRWN.	DATE
1	MODIFICATION	JRM	01/20/2025

LAND DEVELOPMENT PLAN (LDP)
FINAL SUBMISSION - PERMIT ONLY

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LAND PLANNERS/ENVIRONMENTAL SCIENTISTS

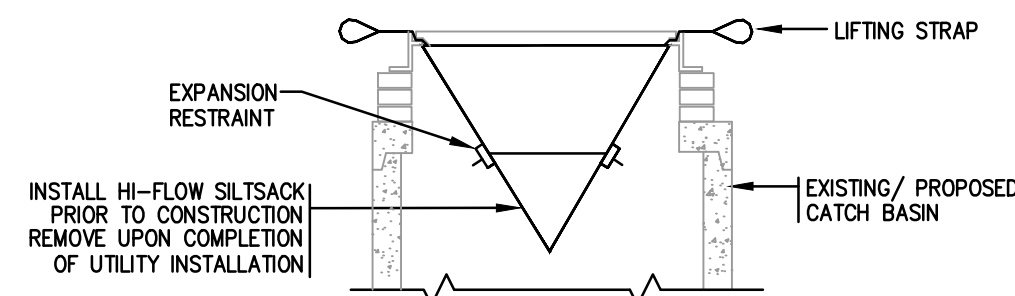
85 CORLISS STREET
P.O. BOX 6145
PROVIDENCE, R.I. 02940
TEL. 401-273-6000

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JOB NO. 7366-05	DRAWN BY K.J.A.
DWG. NO. 7366-05-BASE_FINAL LDP-RI	CHECK BY S.S.H.
SCALE: AS SHOWN	APPROVED S.B.G.
	DATE: JUNE, 2024

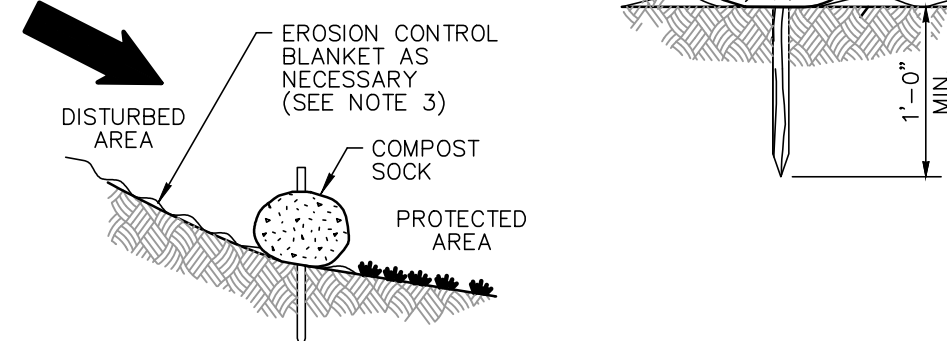
SHEET
C-500
8 OF 14 SHEETS

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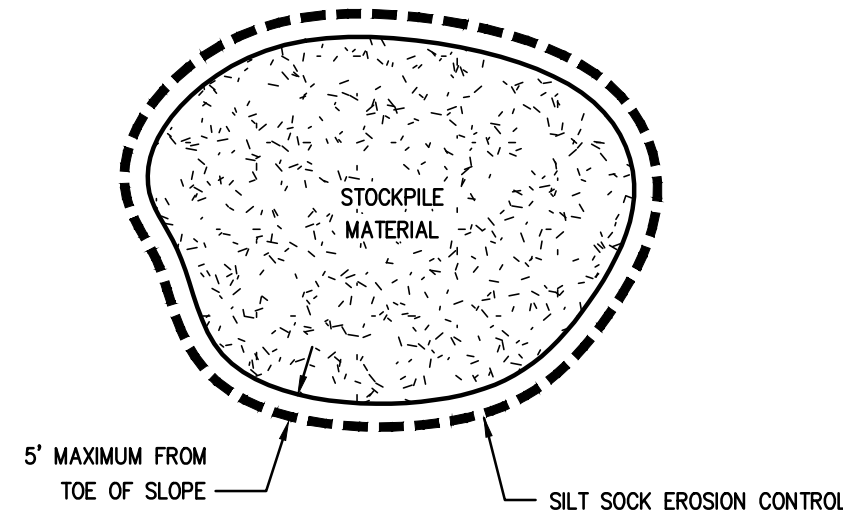


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NOT TO SCALE

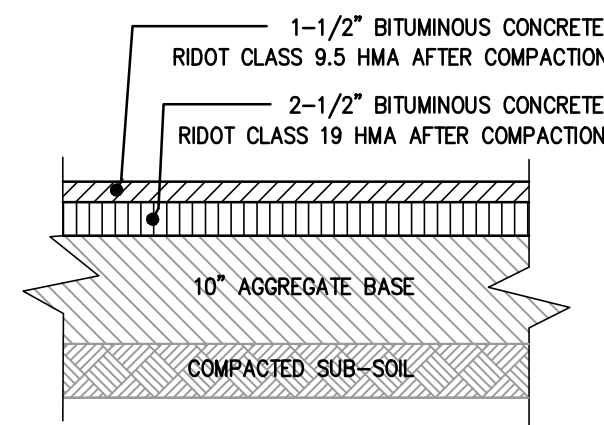
- NOTES:
1. COMPOST SOCK SHALL BE INSTALLED PER MANUFACTURERS RECOMMENDATIONS. COMPOST SOCK SHALL BE A MINIMUM OF 8" IN DIAMETER.
 2. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY THE ENGINEER.
 3. WHEN PLACING COMPOST SOCK ON SLOPES, USE EROSION CONTROL BLANKET IF SPECIFIED ON PLANS.
 4. ALWAYS INSTALL COMPOST SOCK PERPENDICULAR TO SLOPE AND ALONG CONTOUR LINES.
 5. REMOVE SEDIMENT FROM THE UP-SLOPE SIDE OF THE COMPOST SOCK WHEN ACCUMULATION HAS REACHED 1/2 OF THE EFFECTIVE HEIGHT OF THE COMPOST SOCK.



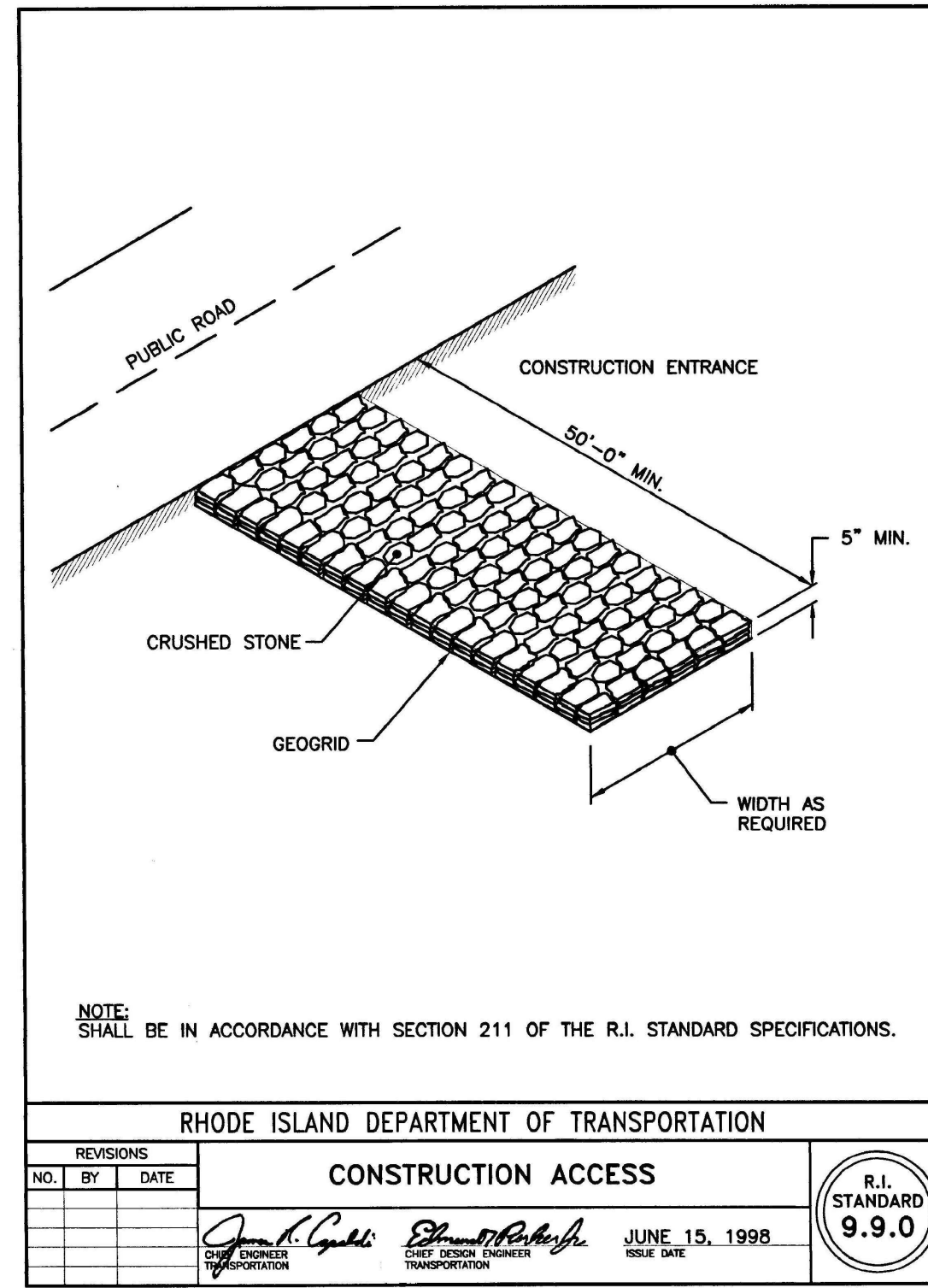
COMPOST SILT SOCK
NOT TO SCALE



STOCKPILE PROTECTION
NOT TO SCALE



STANDARD-DUTY PAVEMENT (PARKING AND TRAVEL LANES)

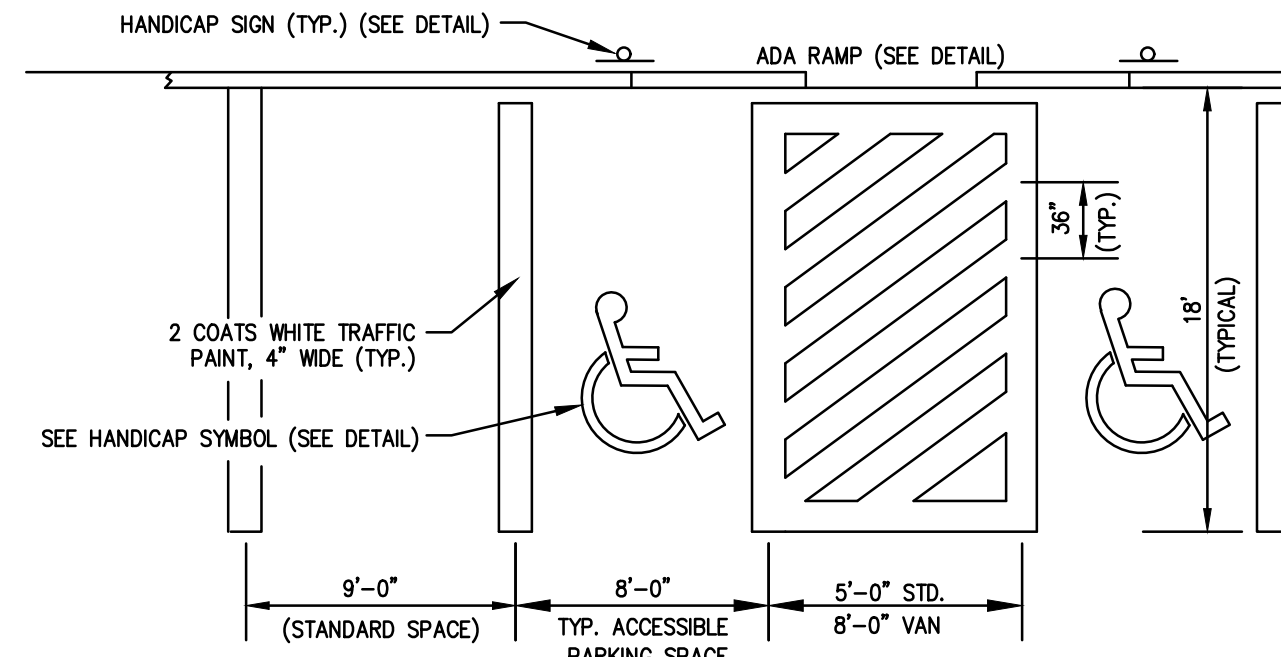


NOTE: SHALL BE IN ACCORDANCE WITH SECTION 211 OF THE R.I. STANDARD SPECIFICATIONS.

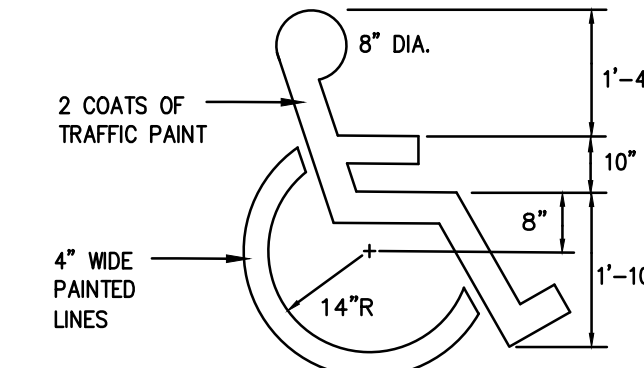
REVISIONS		CONSTRUCTION ACCESS		R.I. STANDARD 9.9.0
NO.	BY	DATE		

RHODE ISLAND DEPARTMENT OF TRANSPORTATION

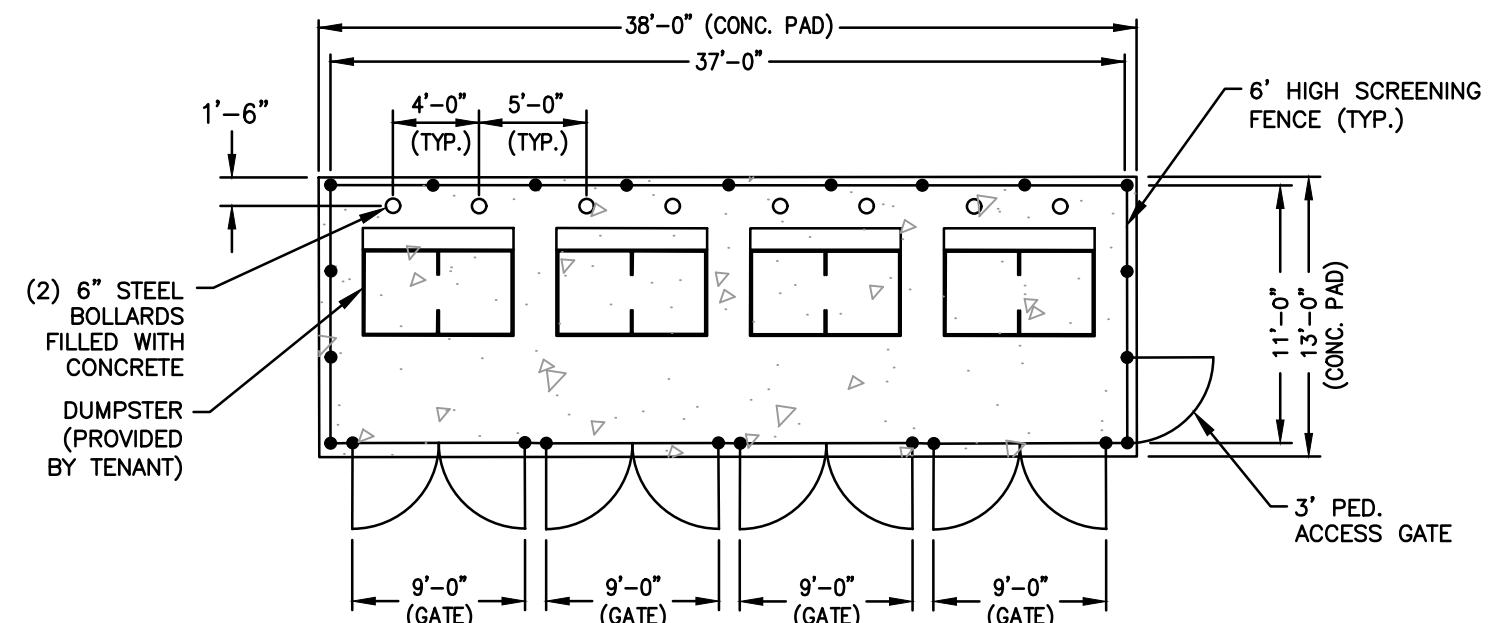
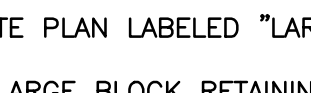
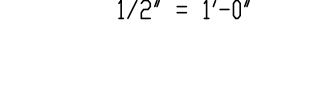
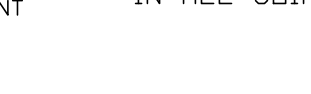
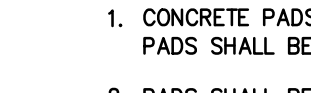
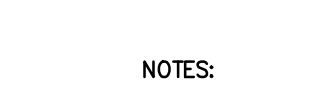
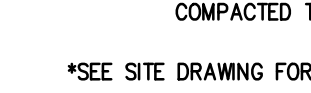
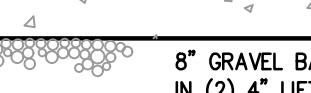
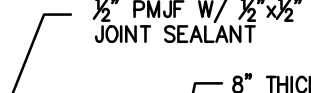
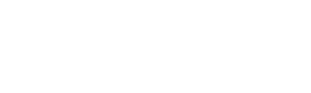
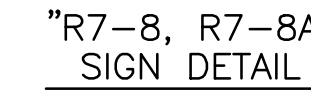
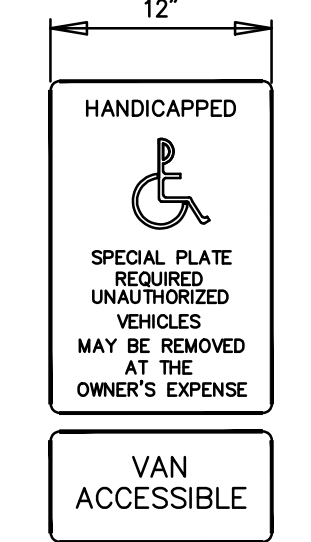
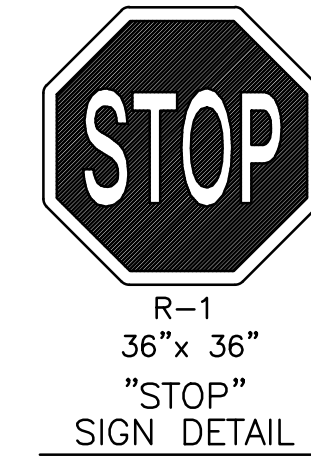
James L. Gault JUN 15, 1998
Thomas P. ...
 JUN 15, 1998



PAVEMENT STRIPING
NOT TO SCALE

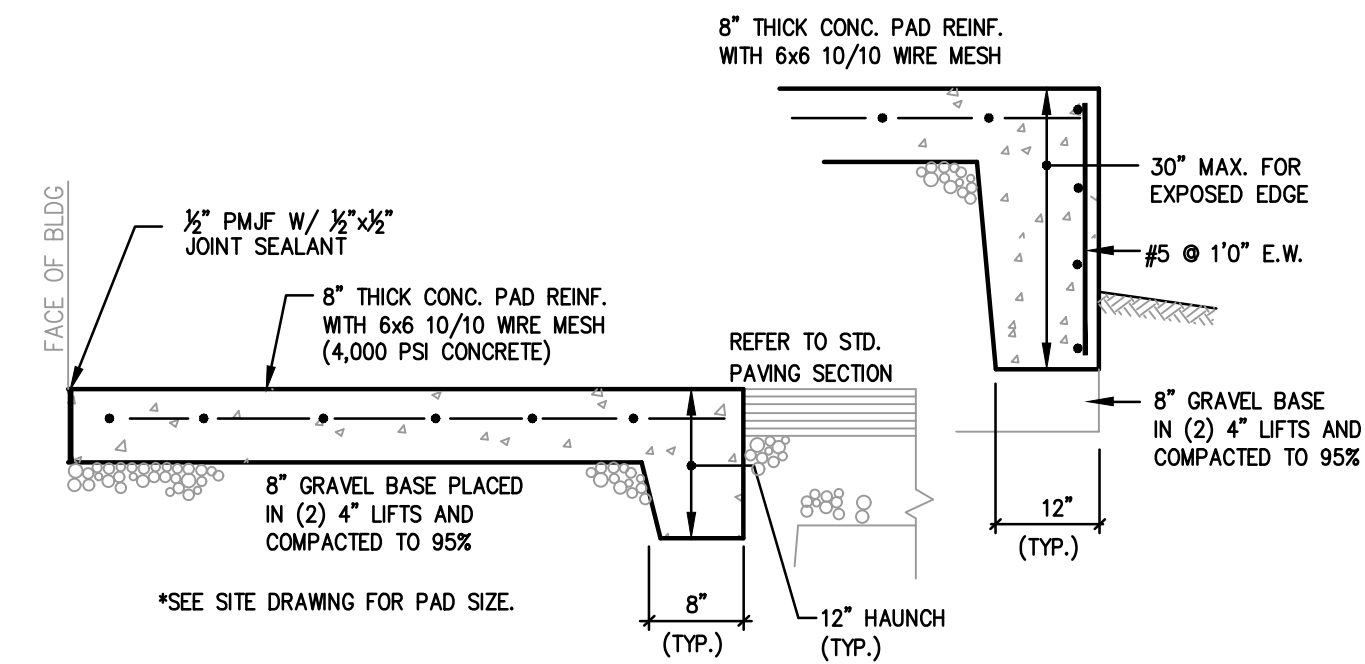


HANDICAP SYMBOL
NOT TO SCALE



DUMPSTER ENCLOSURE
NOT TO SCALE

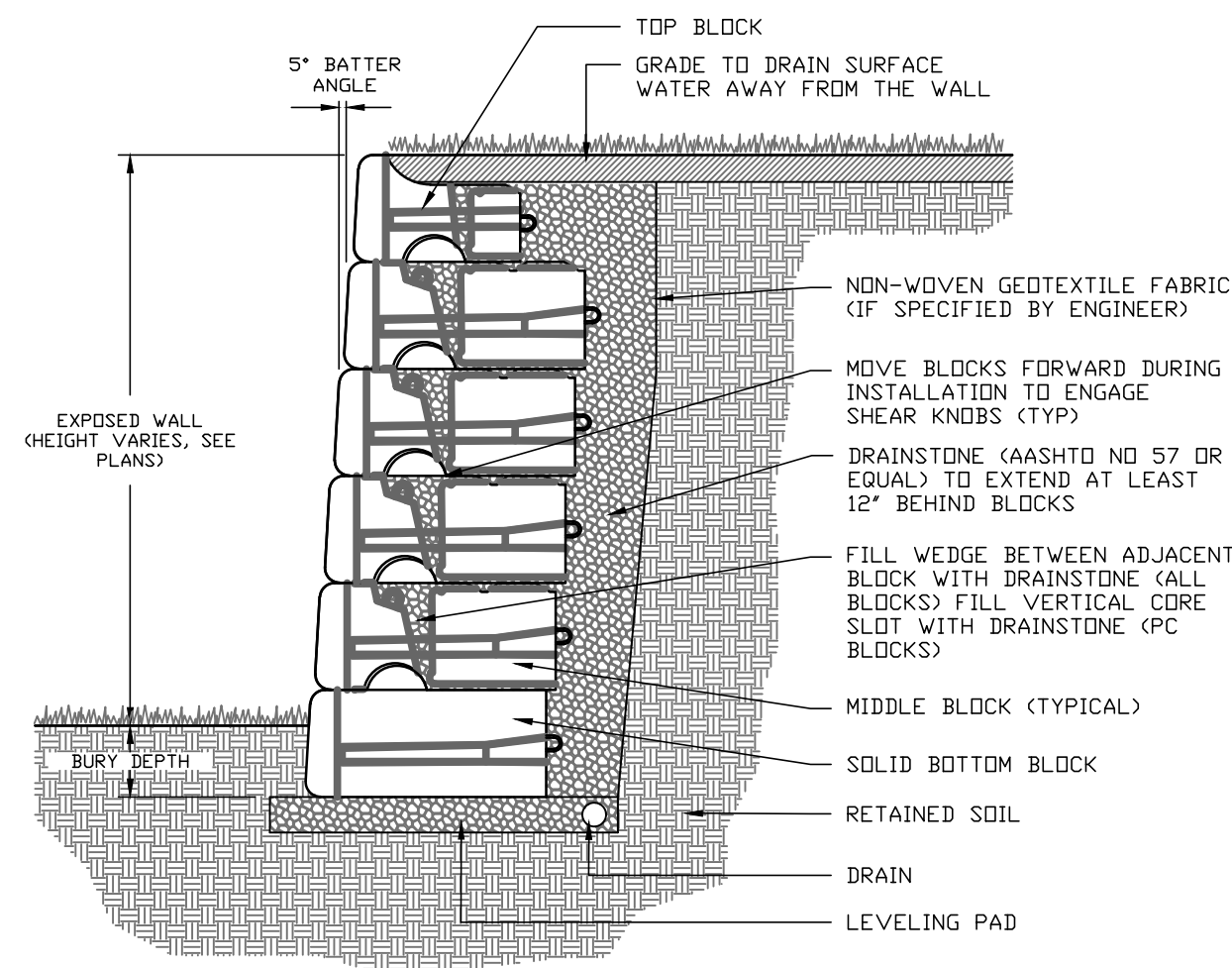
NOTE: SEE CONCRETE PAD DETAIL FOR ADDITIONAL CONSTRUCTION REQUIREMENTS.



NOTES:

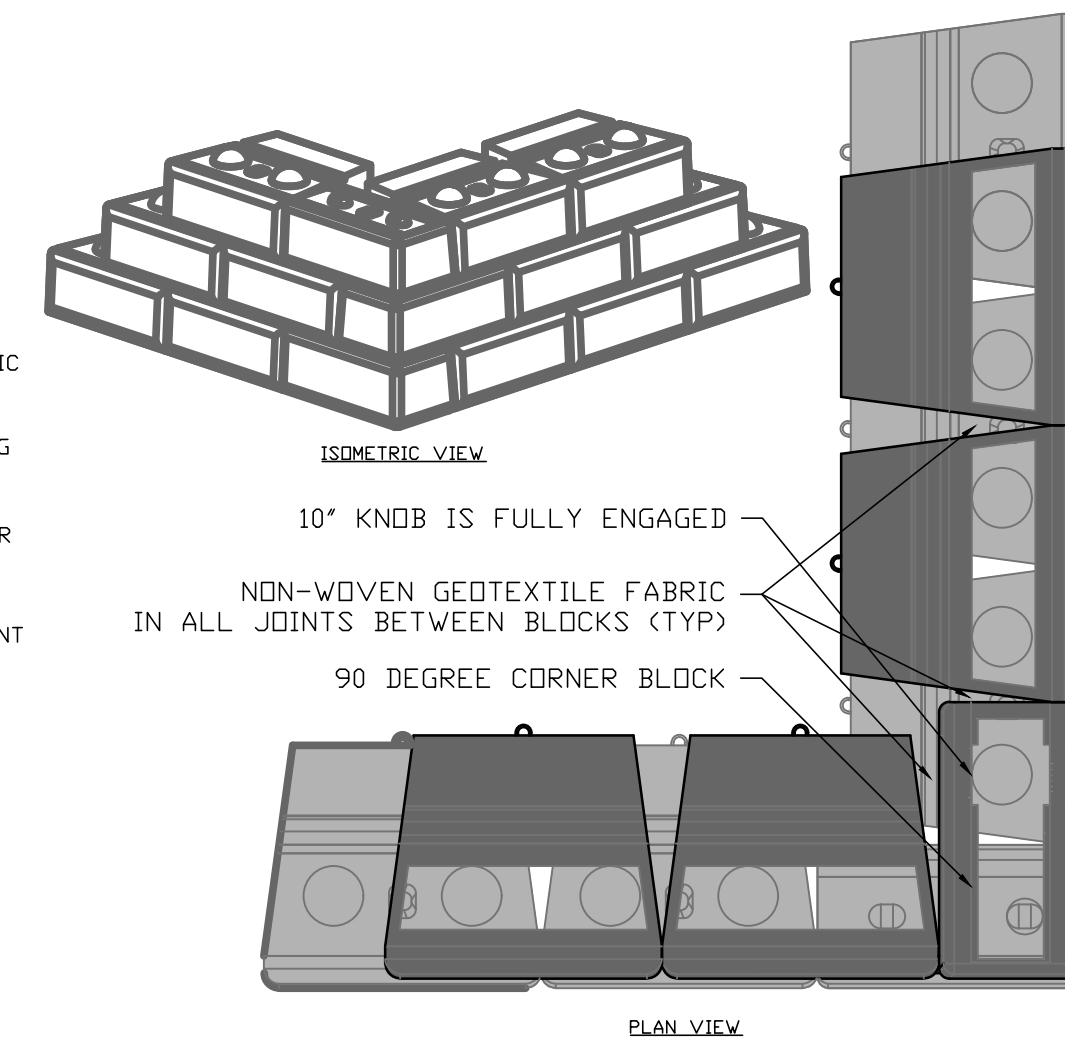
1. CONCRETE PADS AND ENTRANCES SHALL BE 6" MINIMUM THICKNESS AND DUMPSTER PADS SHALL BE 8" MINIMUM THICKNESS REINFORCED CONCRETE.
2. PADS SHALL BE INSTALLED WITH CONTRACTION JOINTS AGAINST ALL STRUCTURAL FEATURES AND/OR AT 24" CENTERS. TOOLED JOINTS SHALL BE INSTALLED AT 6' MAXIMUM SPACING EACH WAY.

DUMPSTER/ GENERATOR/ EQUIPMENT PADS
NOT TO SCALE



LARGE BLOCK GRAVITY WALL (SECTION)

1/2" = 1'-0"



LARGE BLOCK GRAVITY WALL (CORNER)

1/2" = 1'-0"

NOTE:

1. WALL AND BASE BID TO REFLECT WALLS SHOWN ON SITE PLAN LABELED "LARGE BLOCK GRAVITY WALL".
2. CONTRACTOR SHALL PROVIDE AN ALTERNATE BID FOR "LARGE BLOCK RETAINING WALL" FOR THE ENTIRE SITE AND ALL PROPOSED RETAINING WALLS.

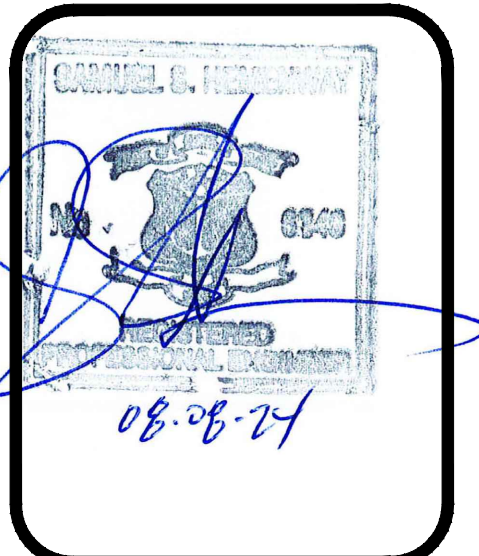
LARGE BLOCK RETAINING WALL
NOT TO SCALE

CONSTRUCTION DETAILS - 1

FOR
 (A.P.45, LOT 85)
 COPLEY CENTRE I
 220 BLACKSTONE STREET
 PROVIDENCE, RI
 PREPARED FOR
 Marathon Development, LLC.
 500 Harrison Avenue, Suite 4RB

NO.	REV.	DRWN.	DATE

LAND DEVELOPMENT PLAN (LDP) FINAL SUBMISSION - PERMIT ONLY



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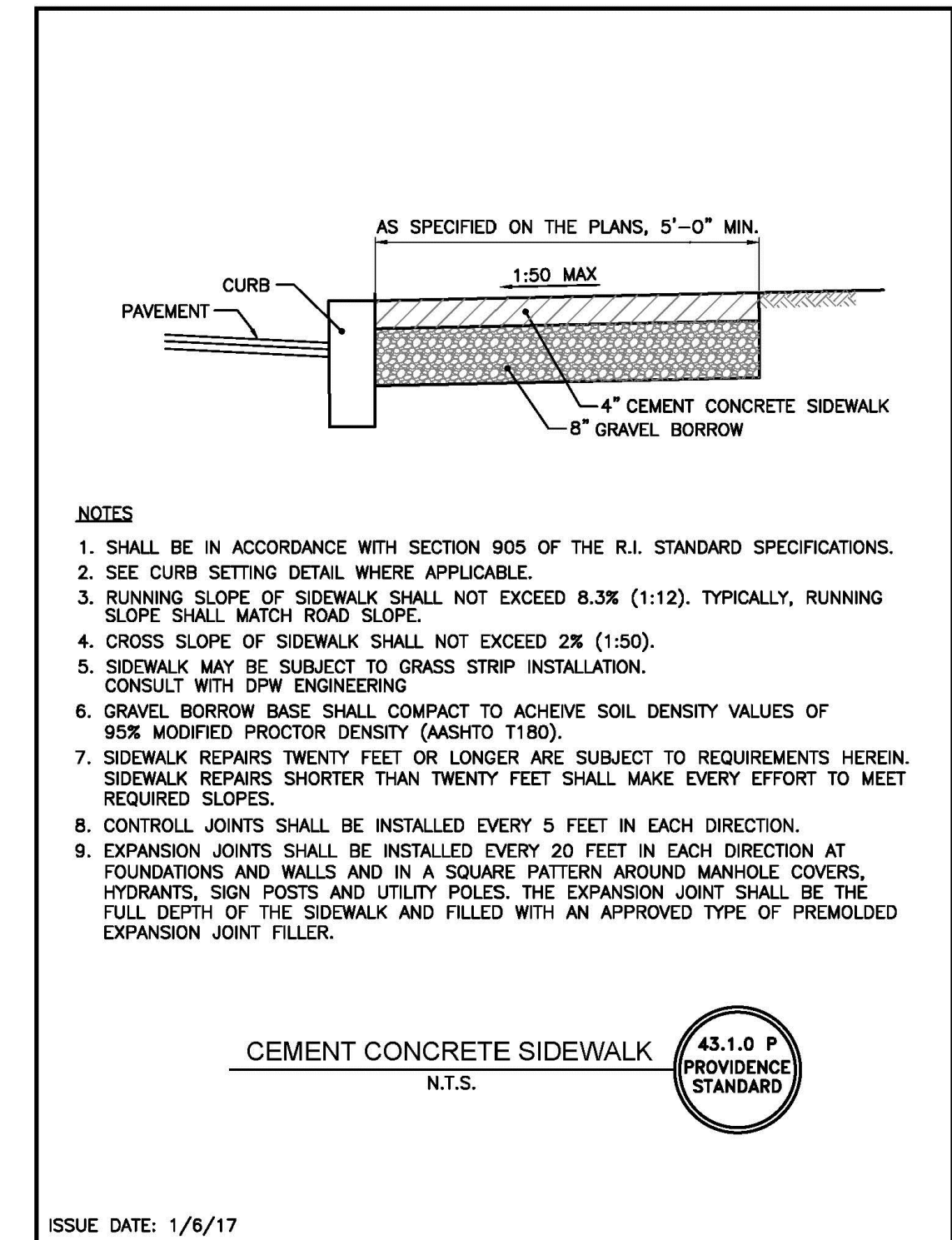
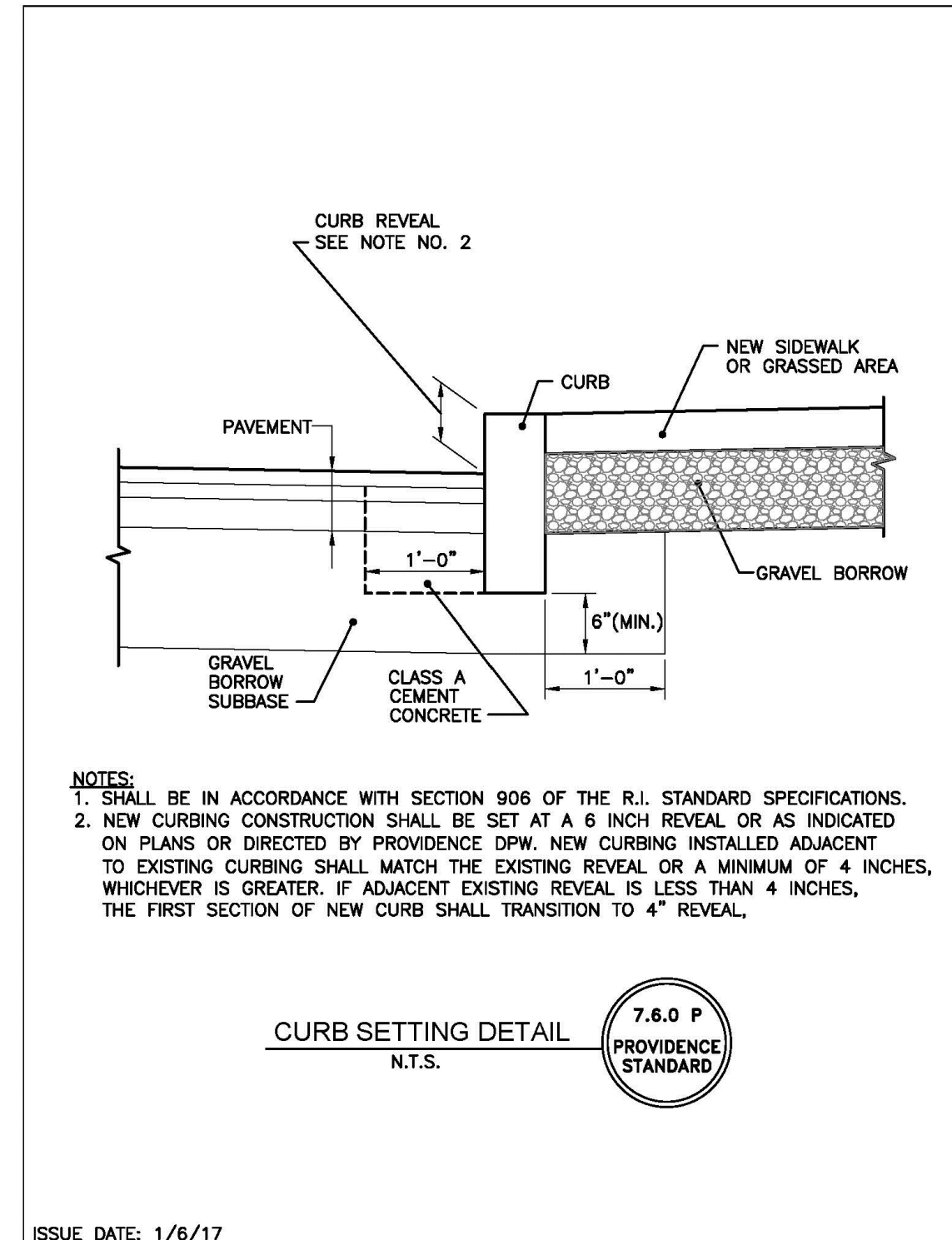
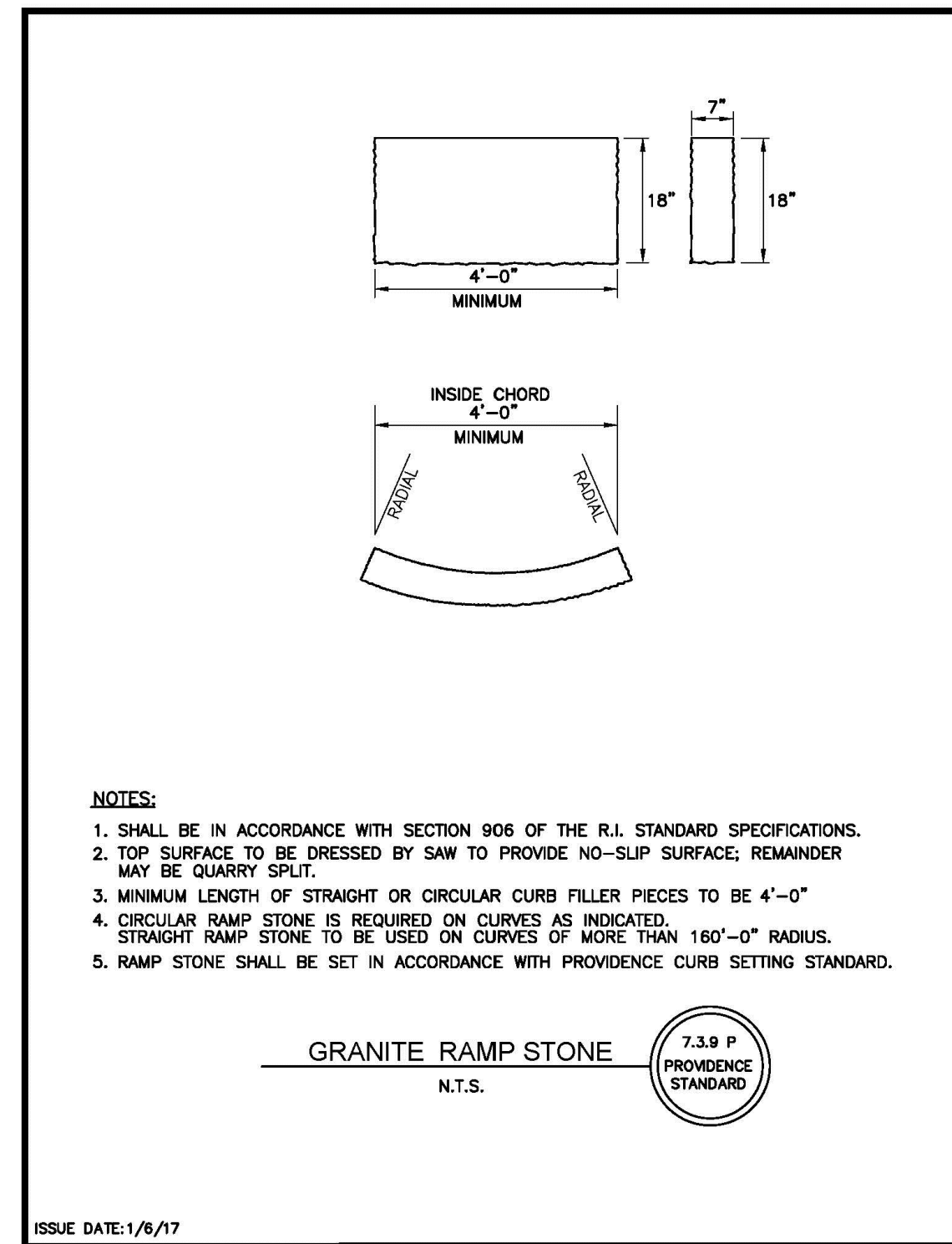
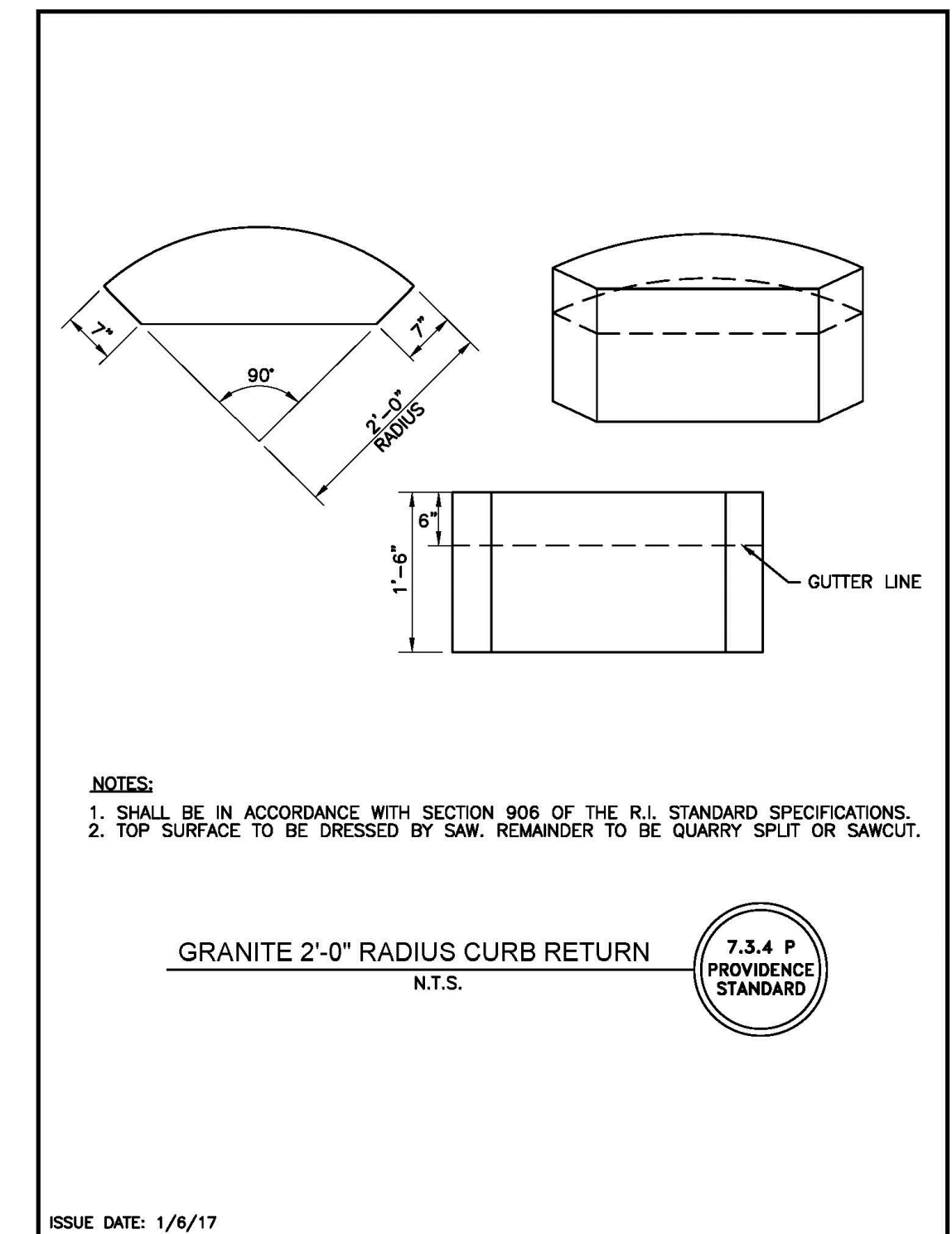
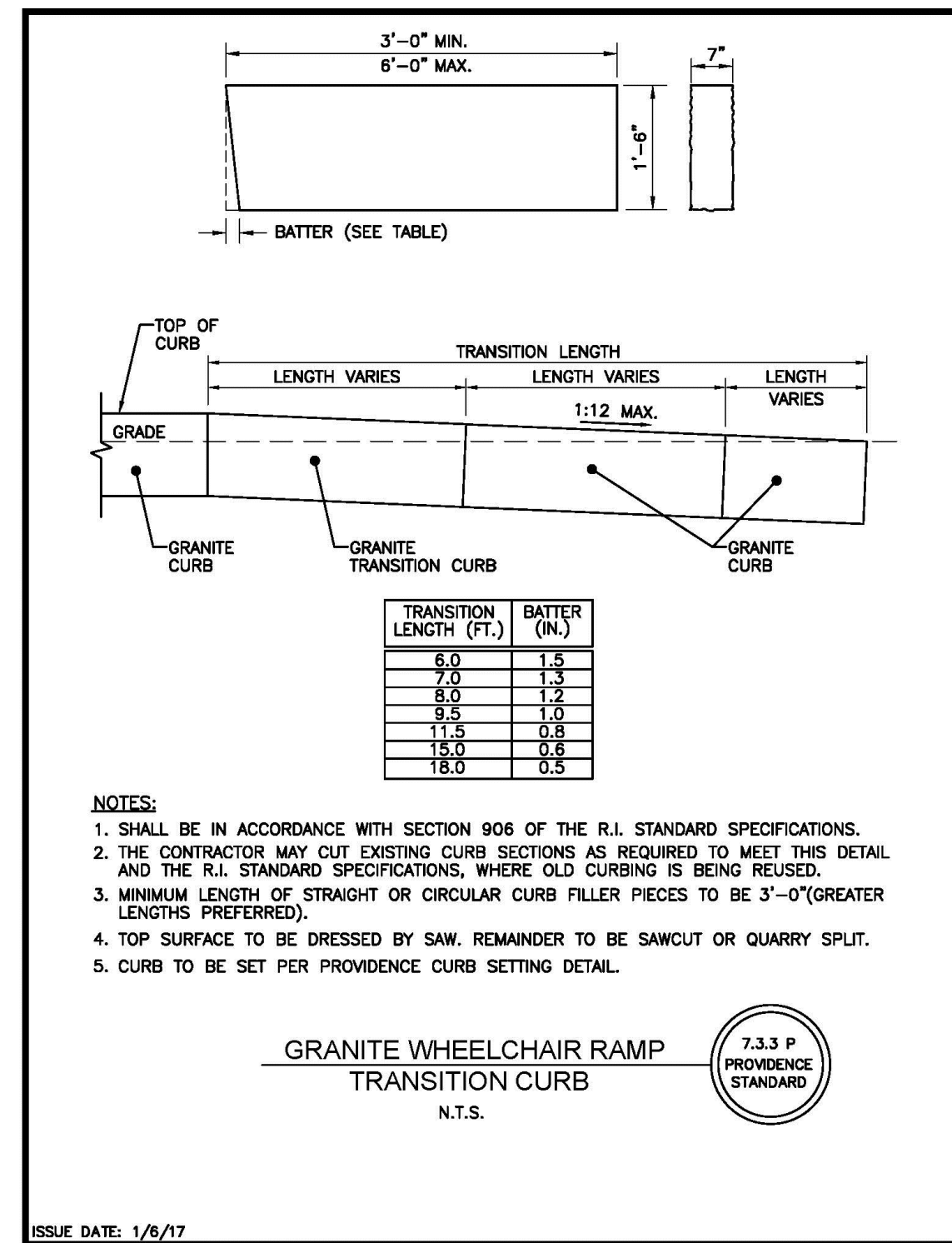
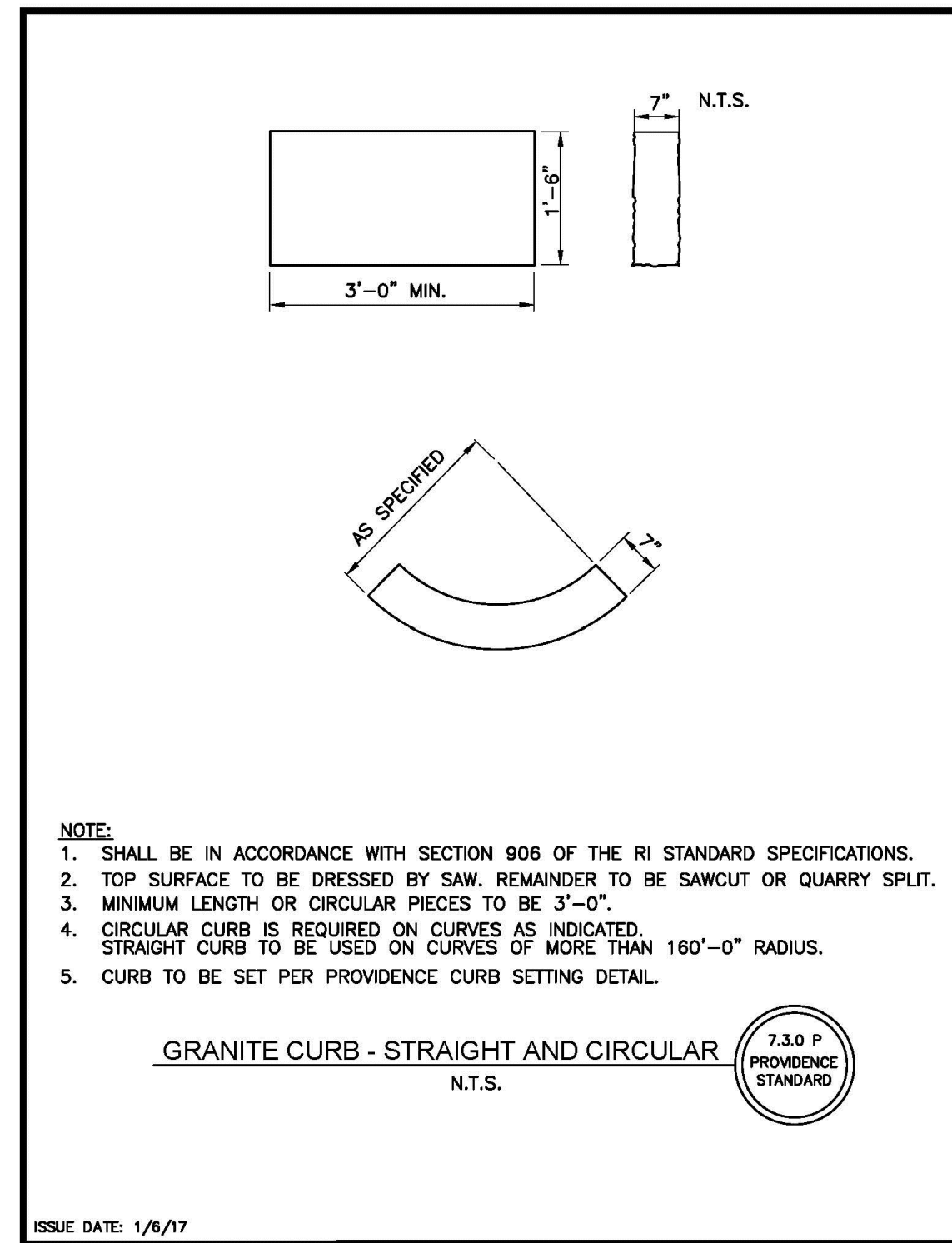
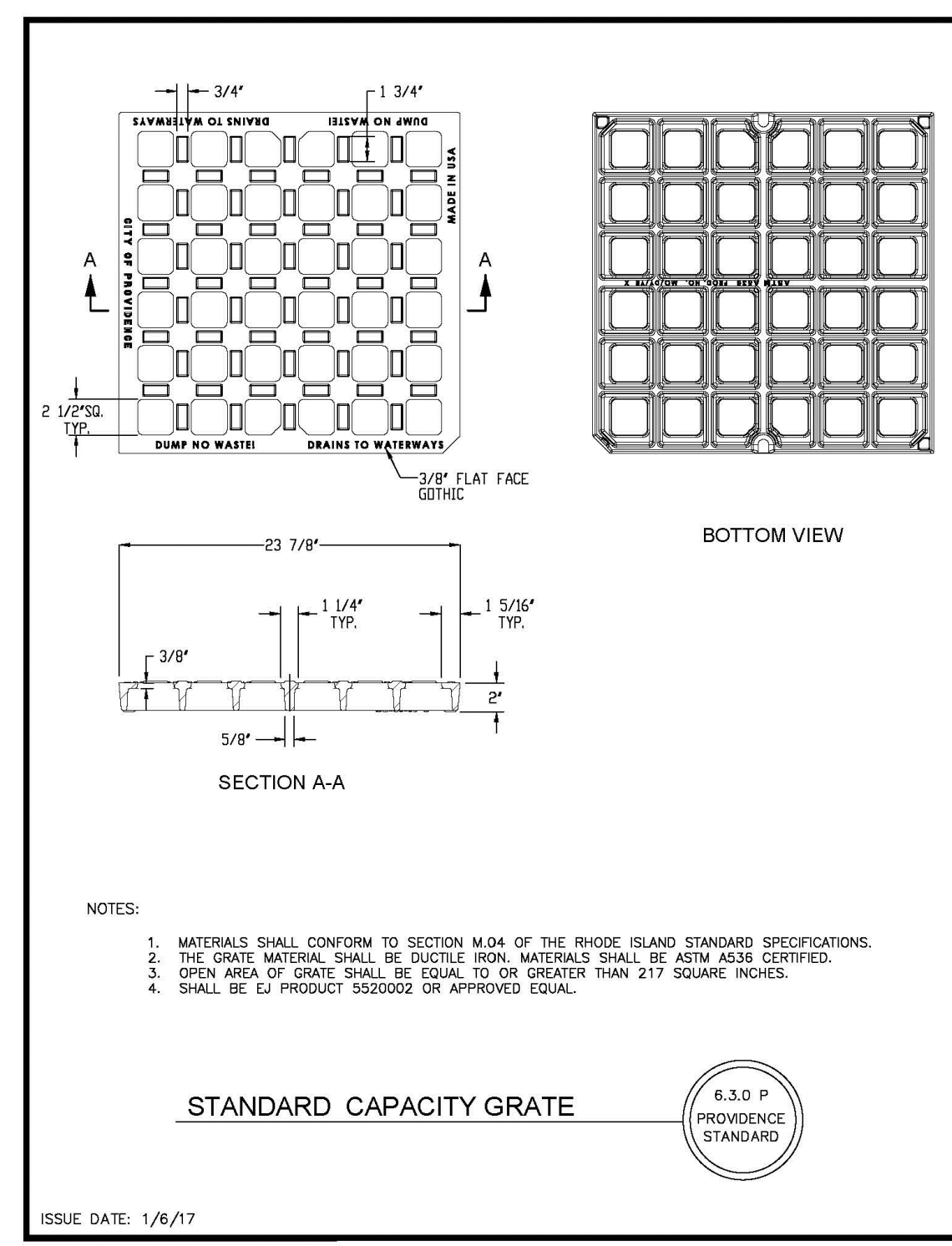
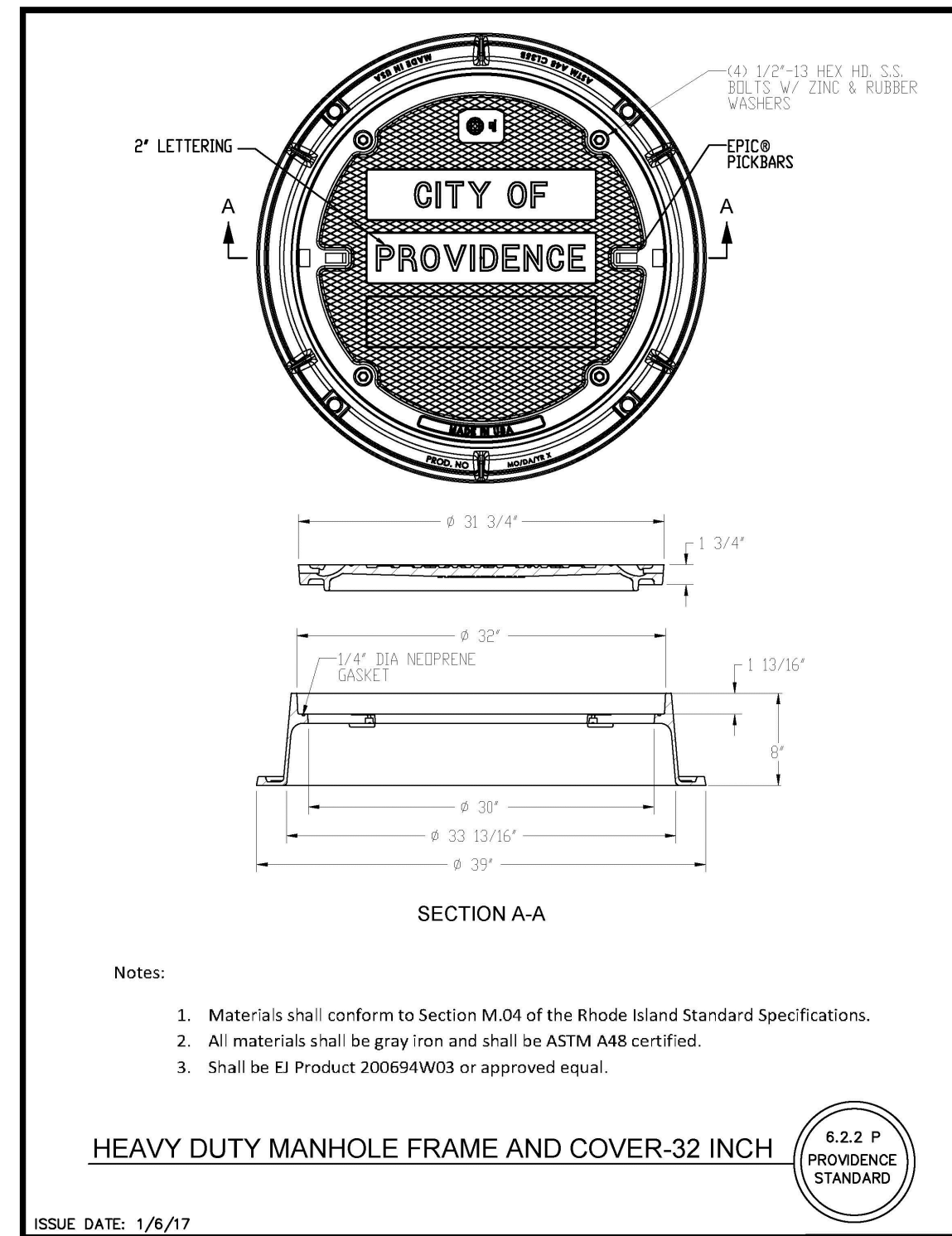
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JOB NO. 7366-05	DRAWN BY K.J.A.
DWG. NO. 7366-05_DETAILS_FINAL	CHECK BY S.S.H.
SCALE: AS SHOWN	APPROVED S.B.G.
DATE: JUNE, 2024	

SHEET

C-600



CONSTRUCTION DETAILS - 2

FOR
(A.P.45, LOT 85)
COPLEY CENTRE I
PROVIDENCE, RI
PREPARED FOR
Marathon Development, LLC.
500 Harrison Avenue, Suite 4RB

NO.	REV.	DRWN.	DATE

LAND DEVELOPMENT PLAN (LDP)
FINAL SUBMISSION - PERMIT ONLY



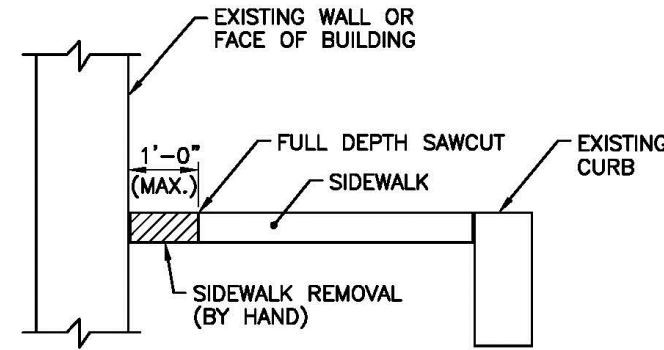
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LAND PLANNERS/ENVIRONMENTAL SCIENTISTS

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PROVIDENCE, RI 02940
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consent of the engineer or one of its
directors.

JOB NO. 7366-05	DRAWN BY K.J.A.
DWG. NO. 7366-05_DETAILS_FINAL	CHECK BY S.S.H.
SCALE: AS SHOWN	APPROVED S.B.G.
	DATE: JUNE, 2024

SHEET
C-601

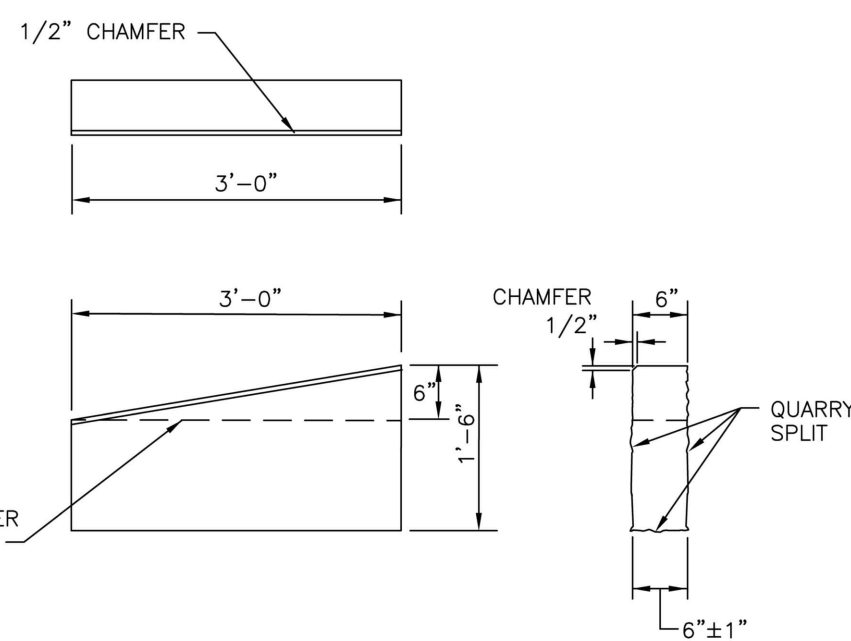


- NOTES:
1. IN AREAS WHERE SIDEWALKS ARE TO BE REMOVED IN FRONT OF EXISTING WALLS OR BUILDINGS, THE CONTRACTOR SHALL SAWCUT ONE (1) FOOT (MAXIMUM) IN FRONT OF THE WALL/BUILDING AND REMOVE THE SIDEWALK STRUCTURE BY HAND.
 2. IN THE EVENT THAT THE EXISTING SIDEWALK IS A STRUCTURAL ELEMENT OF THE WALL/BUILDING, THE EXISTING SIDEWALK IN FRONT OF THESE STRUCTURES WILL REMAIN IN-PLACE AND A NEW SIDEWALK CONSTRUCTED TO MATCH THE EXISTING SECTION.
 3. ANY DAMAGE TO THE WALL OR BUILDING BY THE CONTRACTOR SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE CITY.

SIDEWALK REMOVAL DETAIL
N.T.S.



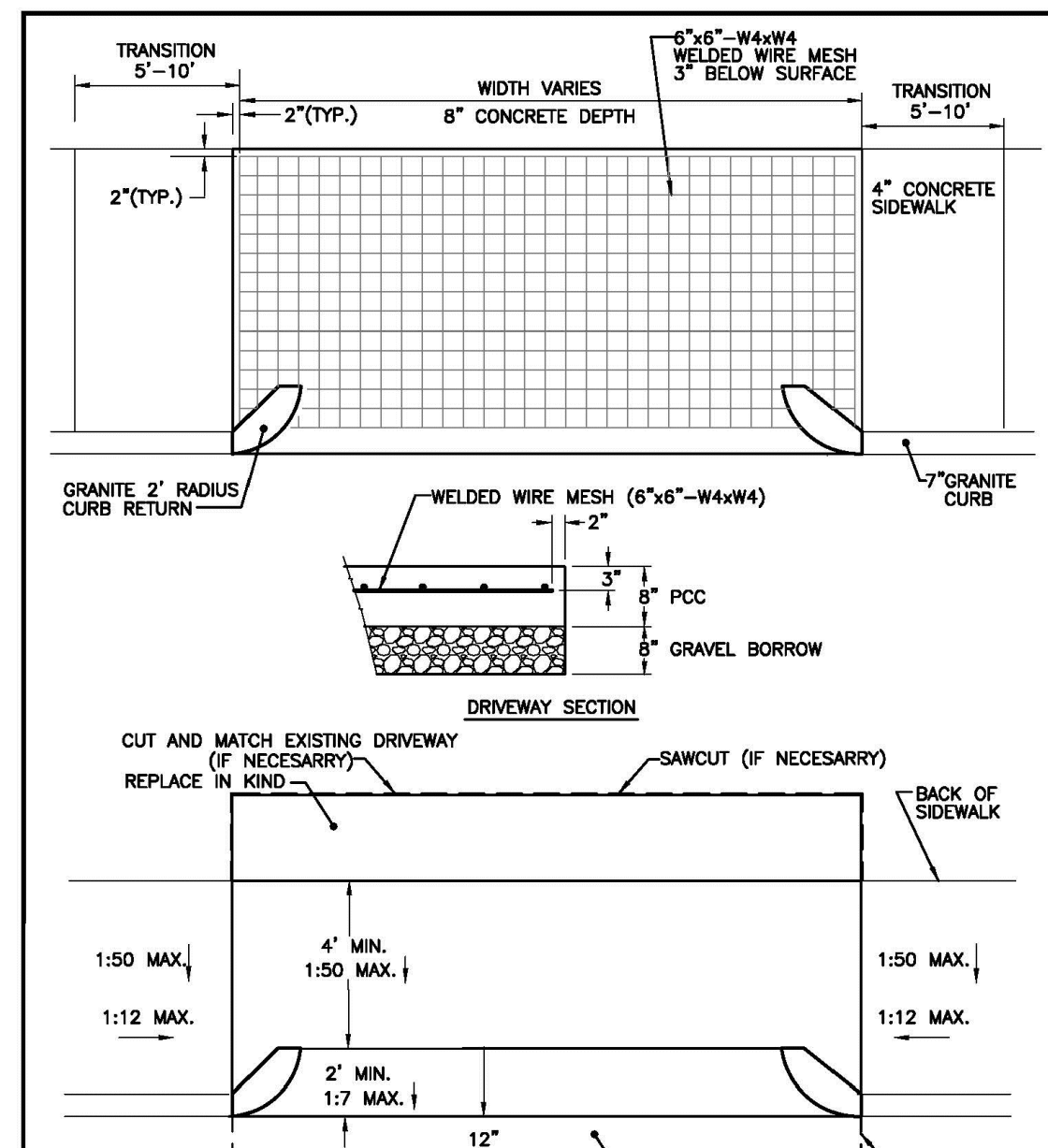
ISSUE DATE: 1/6/17



- NOTES:
1. SHALL BE IN ACCORDANCE WITH SECTION 906 OF THE R.I. STANDARD SPECIFICATIONS.
 2. TOP SURFACE TO BE DRESSED BY SAW. REMAINDER MAY BE QUARRY SPLIT.

RHODE ISLAND DEPARTMENT OF TRANSPORTATION
3'-0" GRANITE TRANSITION CURB

REVISIONS		R.I. STANDARD 7.3.1
NO.	BY DATE	
1	M.P. Mar 2005	
2	M.P. Jun 2010	
3	M.P. Sep 2012	

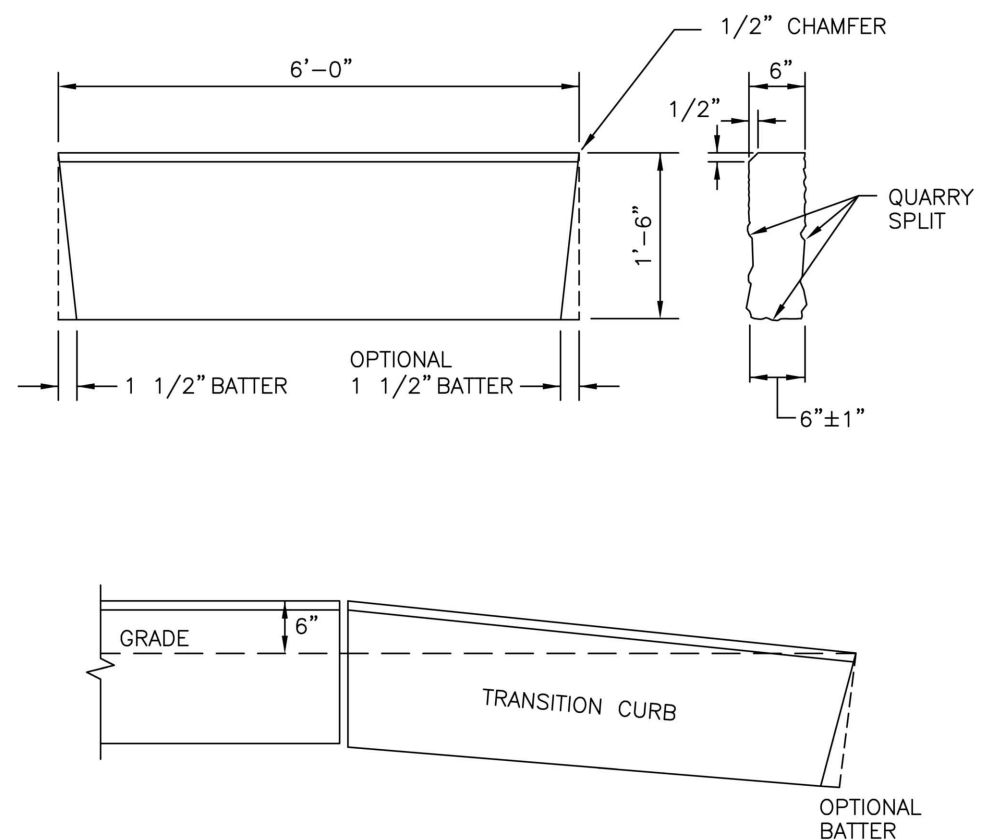


- NOTES:
1. SHALL BE IN ACCORDANCE WITH SECTION 905 OF THE R.I. STANDARD SPECIFICATIONS.
 2. RUNNING SLOPE OF SIDEWALK/DRIVEWAY SHALL NOT EXCEED 5.5% (1:12)
 3. 4' MINIMUM ACCESSIBLE PATH SHALL BE INSTALLED WITH CROSS SLOPE NOT EXCEEDING 2% (1:50)
 4. RESIDENTIAL CURB CUTS SHALL BE NO WIDER THAN 12' FROM INSIDE OF CURB RETURNS.

CEMENT CONCRETE DRIVEWAYS
N.T.S.



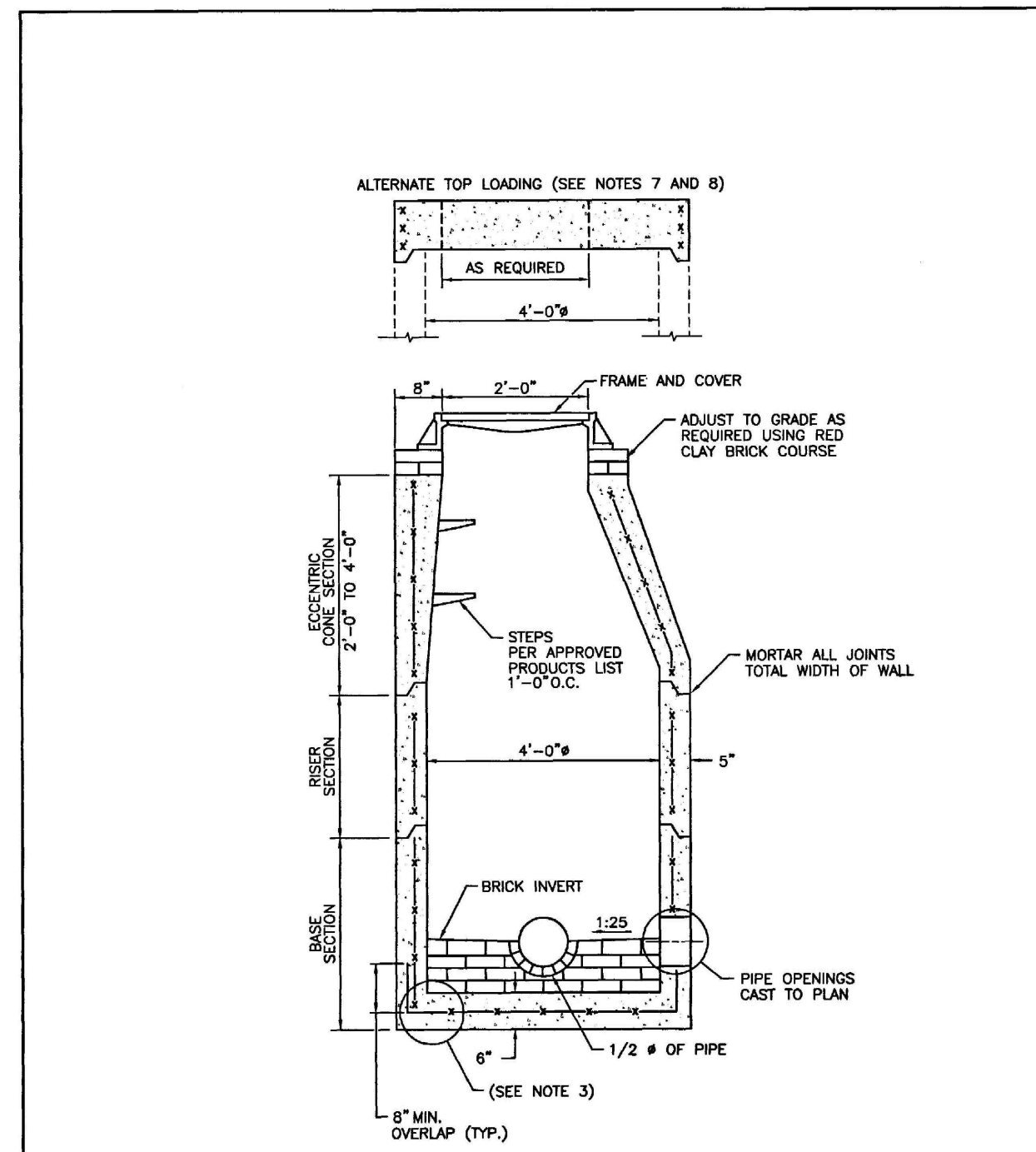
ISSUE DATE: 1/6/17, REVISED 10/6/17



- NOTES:
1. SHALL BE IN ACCORDANCE WITH SECTION 906 OF THE R.I. STANDARD SPECIFICATIONS.
 2. THE CONTRACTOR MAY CUT EXISTING CURB SECTIONS AS REQUIRED TO MEET THIS DETAIL AND THE R.I. STANDARD SPECIFICATIONS, WHERE OLD CURBING IS BEING REUSED.
 3. TOP SURFACE TO BE DRESSED BY SAW. REMAINDER MAY BE QUARRY SPLIT.

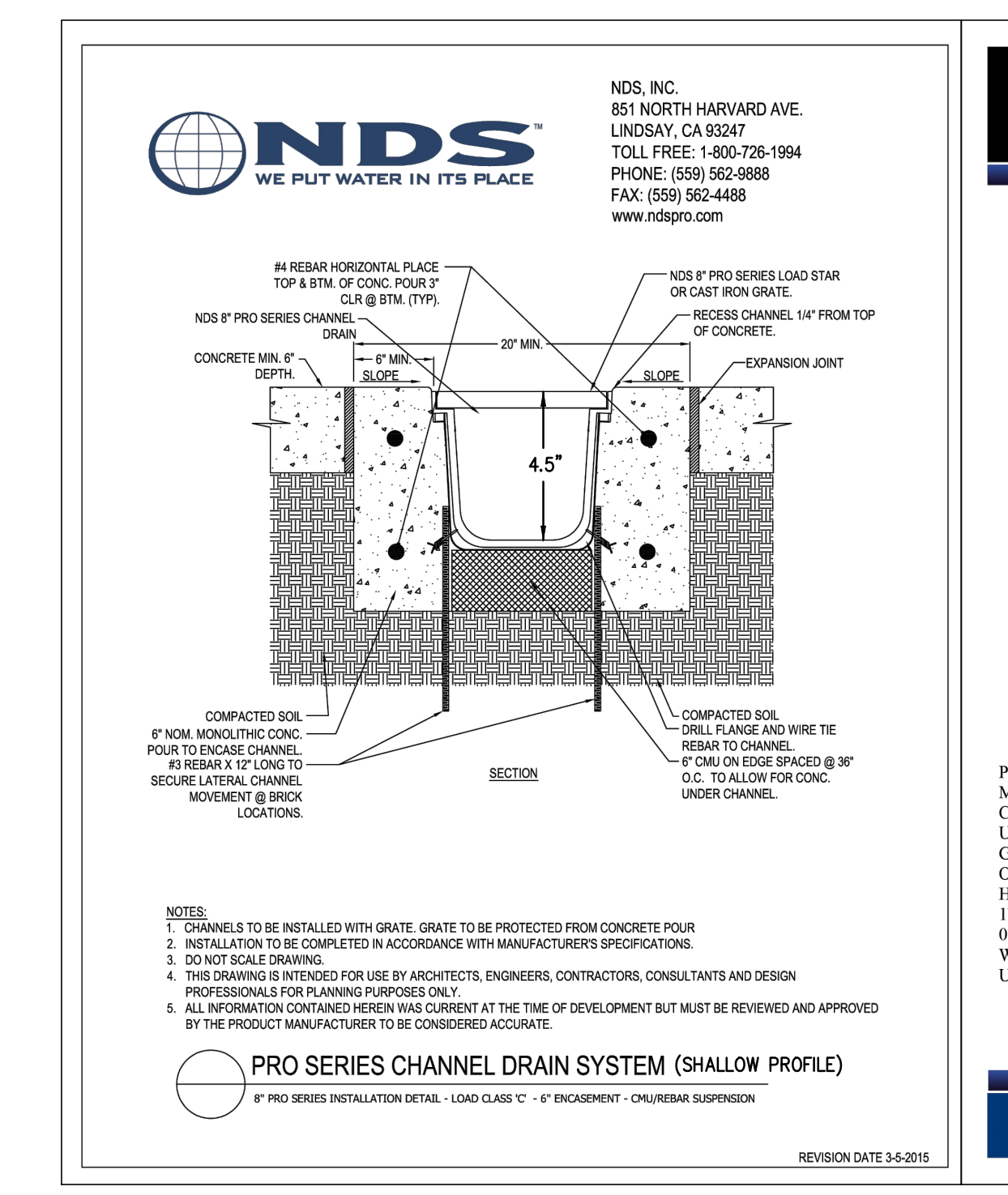
RHODE ISLAND DEPARTMENT OF TRANSPORTATION
6'-0" GRANITE TRANSITION CURB

REVISIONS		R.I. STANDARD 7.3.2
NO.	BY DATE	
1	M.P. Mar 2005	
2	M.P. Sep 2012	

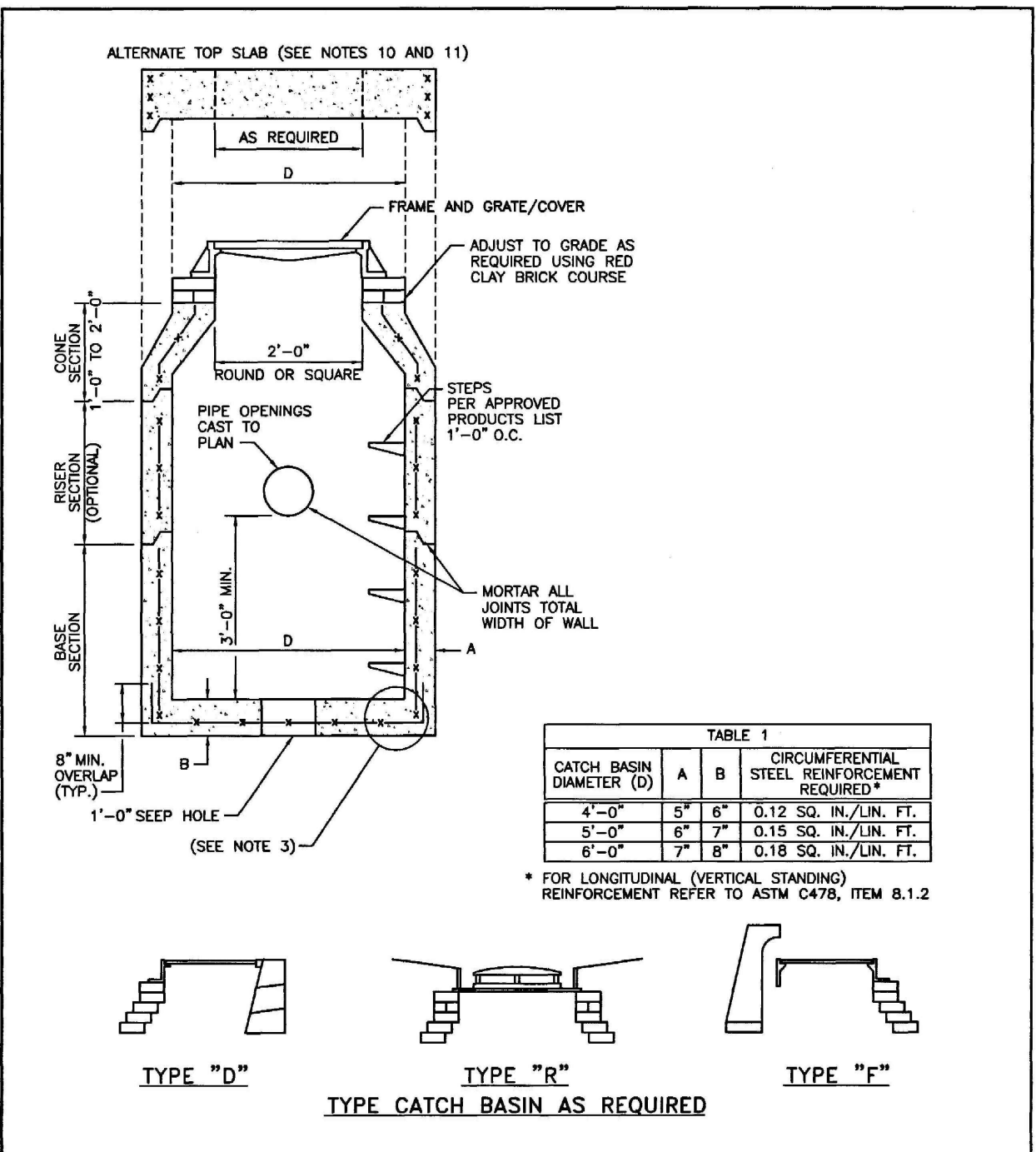


- NOTES:
1. SHALL BE IN ACCORDANCE WITH SECTION 702 OF THE R.I. STANDARD SPECIFICATIONS.
 2. CIRCUMFERENTIAL STEEL REINFORCEMENT REQUIRED = 0.12 SQ. IN. / LIN. FT. MINIMUM.
 3. STEEL REINFORCEMENT FOR BASE SECTION BOTTOM SHALL BE A MINIMUM OF 0.12 SQ. IN./LIN. FT. (BOTH WAYS).
 4. ONE FOUR MONOLITHIC BASE SECTION.
 5. ANY NECESSARY ADJUSTMENTS DURING CONSTRUCTION WILL BE DONE BY SAW-CUTTING AND/OR CORING ONLY. NO JACKHAMMERS, HAMMERS AND CHISELS OR PNEUMATIC TOOLS WILL BE ALLOWED.
 6. STEPS SHALL CONFORM TO STD. 5.3.0 AND SHALL BE INSTALLED AT THE CASTING PLANT.
 7. ALTERNATE TOP SLAB IS STEEL REINFORCED TO MEET OR EXCEED H-25 LOADING (SEE STD. 4.7.2).
 8. ALTERNATE TOP SLAB IS ONLY FOR USE WHEN REDUCING SECTION DOES NOT FIT BECAUSE OF STRUCTURE DEPTH.
 9. REFER TO STD. 5.2.0 FOR MAXIMUM PIPE SIZES.

REVISIONS		R.I. STANDARD 4.2.0
NO.	BY DATE	
1	James H. Lyall Mar 2005	
2	James H. Lyall Sep 2012	



PRO SERIES CHANNEL DRAIN SYSTEM (SHALLOW PROFILE)
R.I. PRO SERIES INSTALLATION DETAIL - LOAD CLASS 'C' - 6\"/>



- NOTES:
1. SHALL BE IN ACCORDANCE WITH SECTION 702 OF THE R.I. STANDARD SPECIFICATIONS.
 2. SEE TABLE 1 FOR STEEL REINFORCEMENT REQUIREMENTS.
 3. STEEL REINFORCEMENT FOR BASE SECTION BOTTOM SHALL BE A MINIMUM OF 0.12 SQ. IN./LIN. FT. (BOTH WAYS).
 4. STEPS SHALL CONFORM TO STD. 5.3.0 AND SHALL BE INSTALLED AT THE CASTING PLANT.
 5. ONE FOUR MONOLITHIC BASE SECTION.
 6. ANY NECESSARY ADJUSTMENTS DURING CONSTRUCTION WILL BE DONE BY SAW-CUTTING AND/OR CORING ONLY. NO JACKHAMMERS, HAMMERS AND CHISELS OR PNEUMATIC TOOLS WILL BE ALLOWED.
 7. CORBEL MADE OF RED CLAY BRICK WILL BE PERMITTED FOR THE "CONE SECTION" OF THE 4'-0\"/>
 - 8. FOR CATCH BASIN TYPES "D" AND "R" STEPS MUST BE INSTALLED ON THE CURB SIDE OF THE STRUCTURE.
 - 9. THE CENTERLINE OF THE OPENING MUST BE WITHIN 2'-0\"/>
 - 10. ALTERNATE TOP SLAB IS STEEL REINFORCED TO MEET OR EXCEED H-25 LOADING (SEE STD. 4.7.2).
 - 11. ALTERNATE TOP SLAB IS ONLY FOR USE WHEN REDUCING SECTION DOES NOT FIT BECAUSE OF STRUCTURE DEPTH.
 - 12. REFER TO STD. 5.2.0 FOR MAXIMUM PIPE SIZES.

REVISIONS		R.I. STANDARD 4.4.0
NO.	BY DATE	
1	James H. Lyall Mar 2005	
2	James H. Lyall Sep 2012	

TECHNICAL SPECIFICATIONS

8" Pro Series Grate

19 1/8" x 7 1/8" Grate Opening

Part #: 838
Material: High Impact Glass Reinforced Nylon
Color: Light Gray
Use for 8" Pro Series Channel
Grate Opening: 1/2" x 5-3/4"
Open Surface Area: 30.85 Sq. Inches Per Foot
Head Pressure / Flow rate:
1" = 133.47 GPM per Foot
0.5" = 94.57 GPM per Foot
Weight Per Each: 3.89 lbs.
UV inhibitor

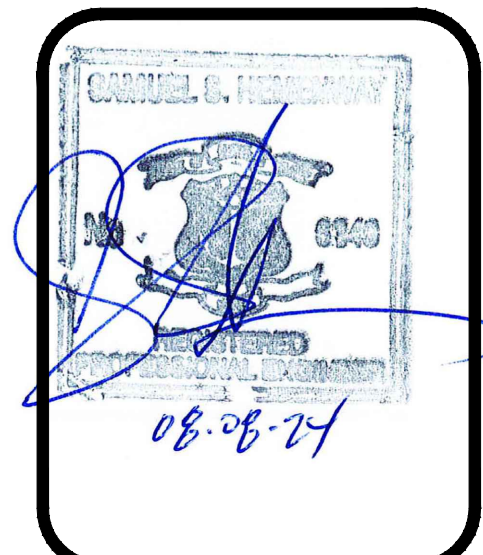
ADA Compliant

Class C
Loads of 170,000 psi
• Recommended for heavy-duty pneumatic tire forklifts and tractor trailers at speeds less than 20 m.p.h., H-20 rated.

CONSTRUCTION DETAILS - 3
FOR
(A.P.45, LOT 85)
COPLEY CENTRE I
220 BLACKSTONE STREET
PROVIDENCE, RI
PREPARED FOR
Marathon Development, LLC.
500 Harrison Avenue, Suite 4RB

NO.	REV.	DRWN.	DATE

LAND DEVELOPMENT PLAN (LDP)
FINAL SUBMISSION - PERMIT ONLY



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CIVIL & STRUCTURAL ENGINEERS/SURVEYORS
LAND PLANNERS/ENVIRONMENTAL SCIENTISTS

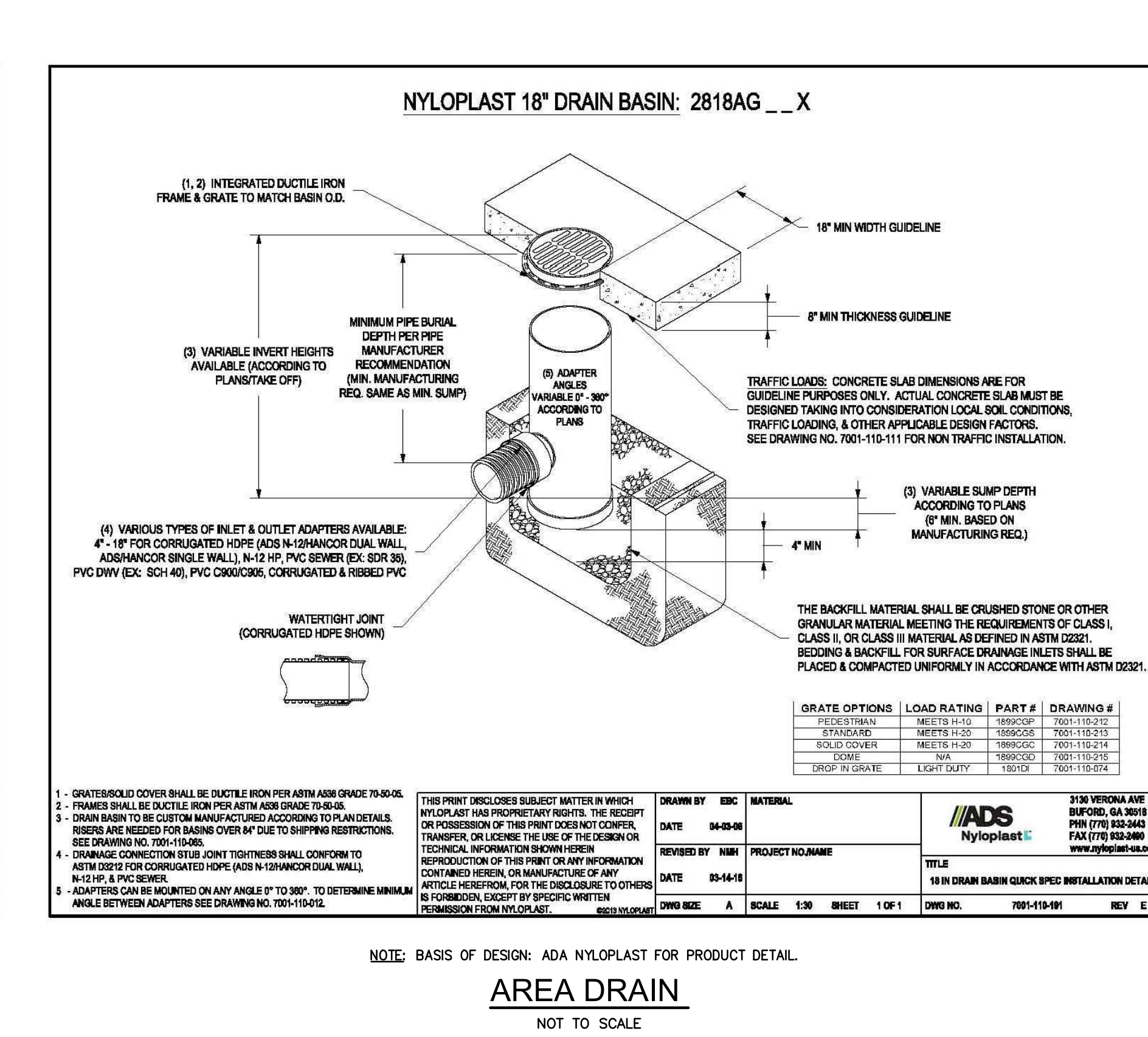
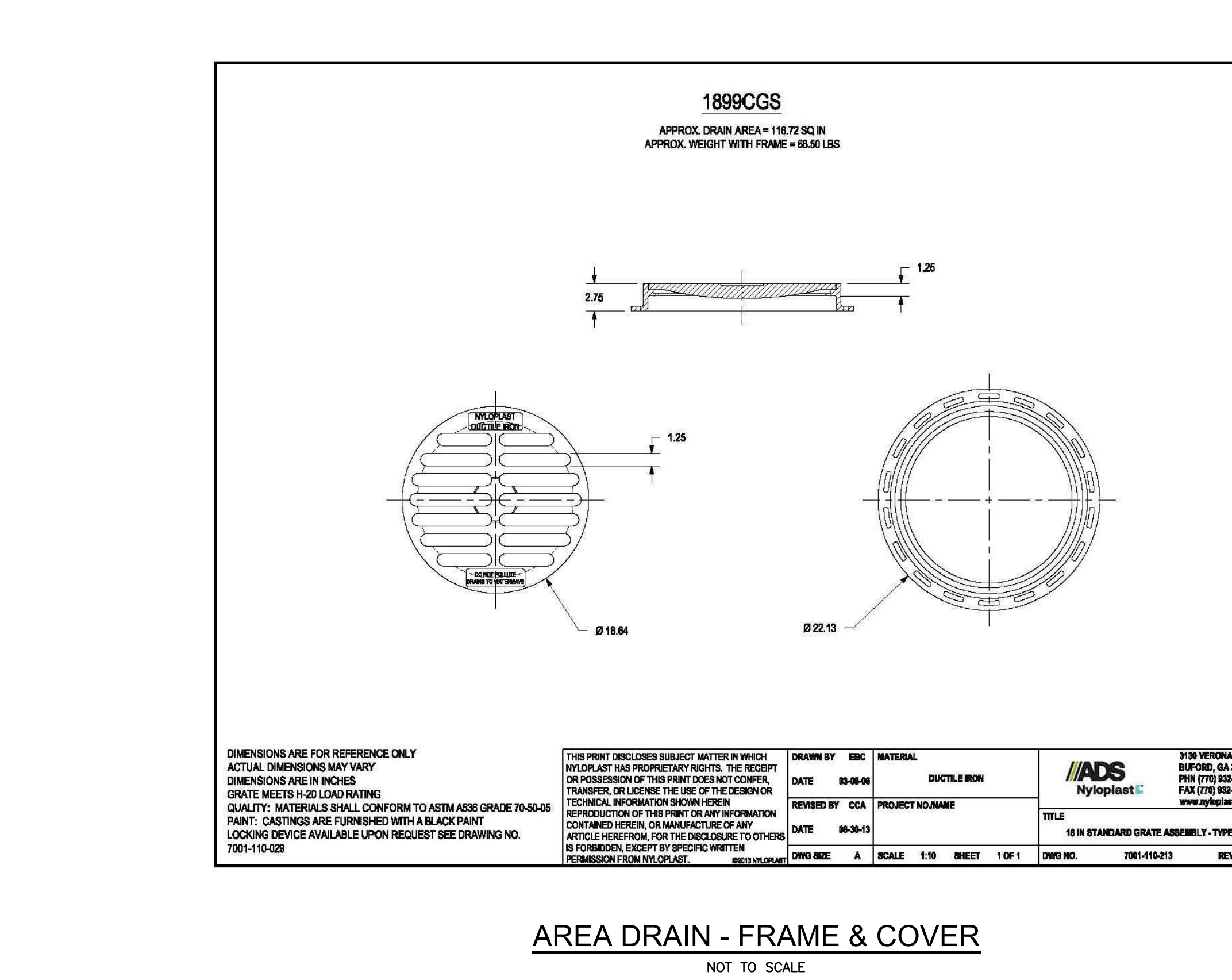
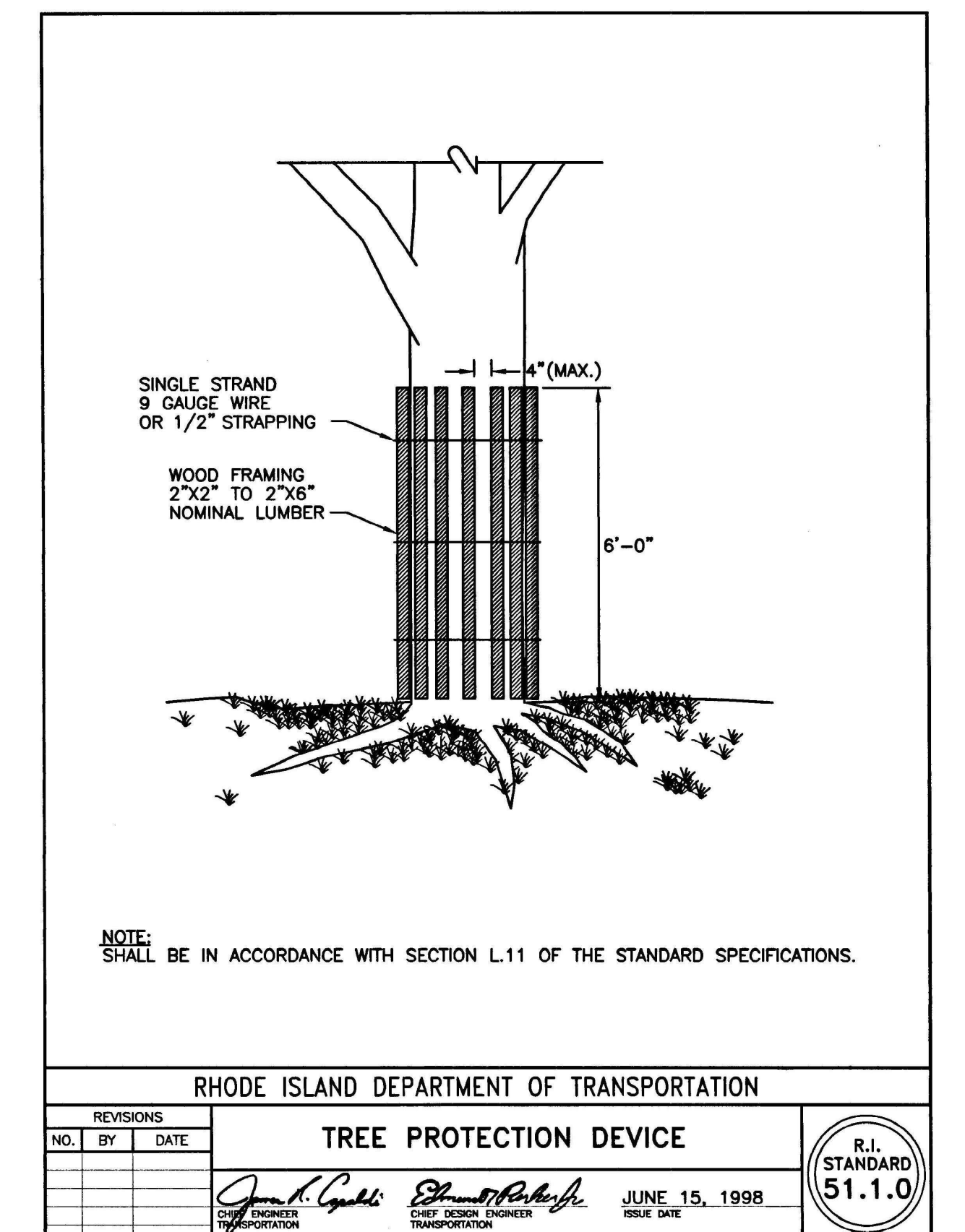
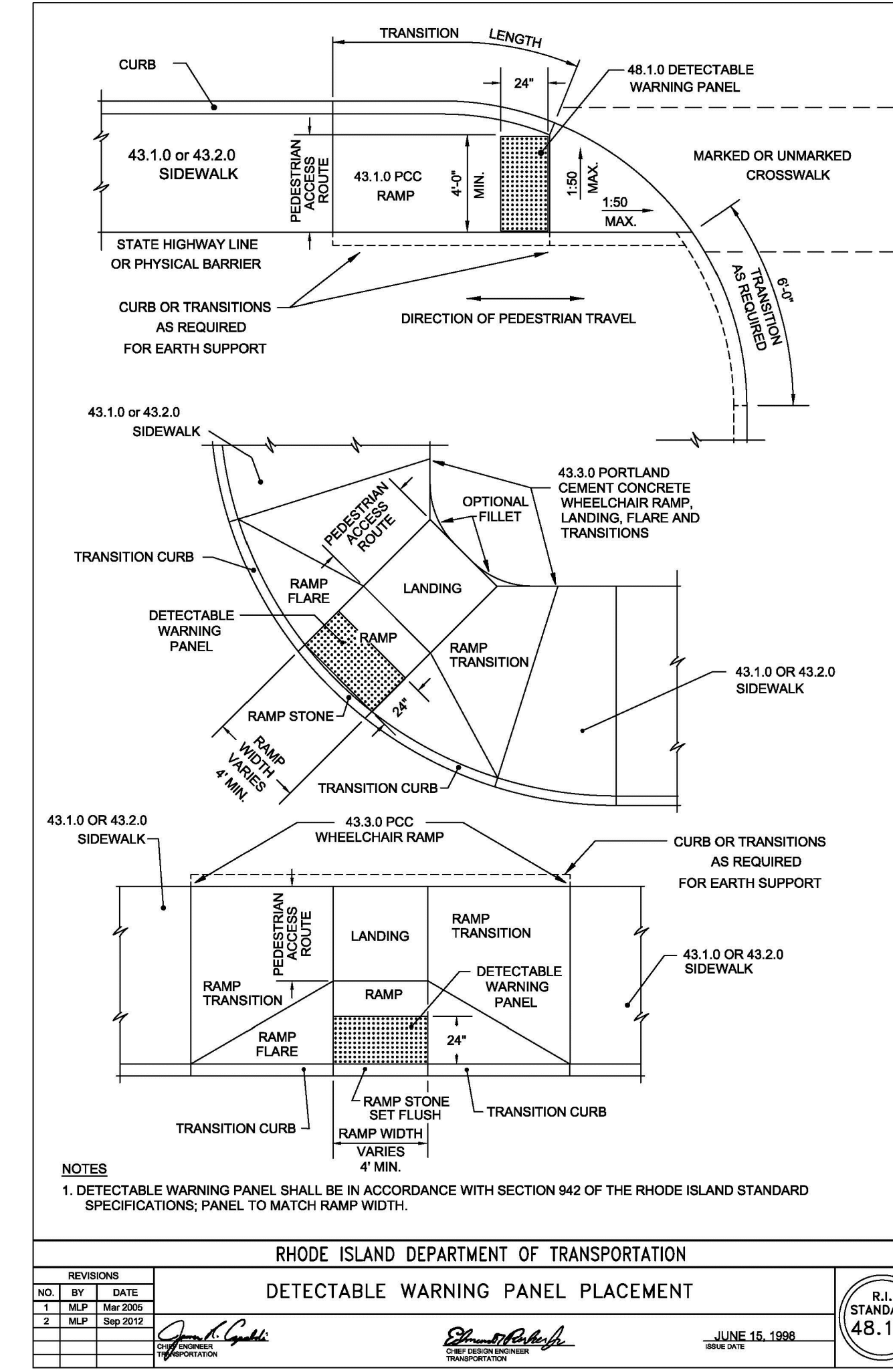
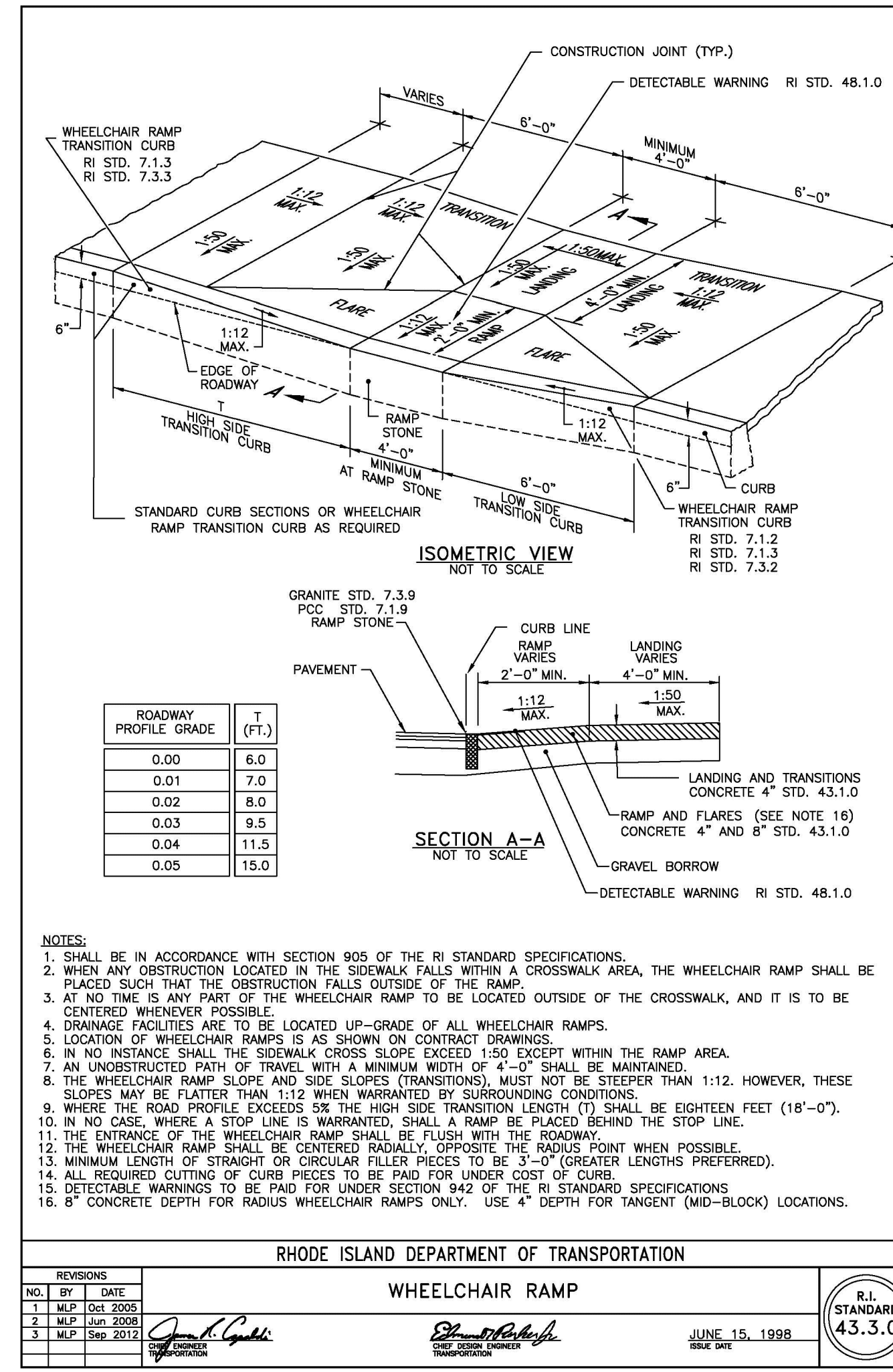
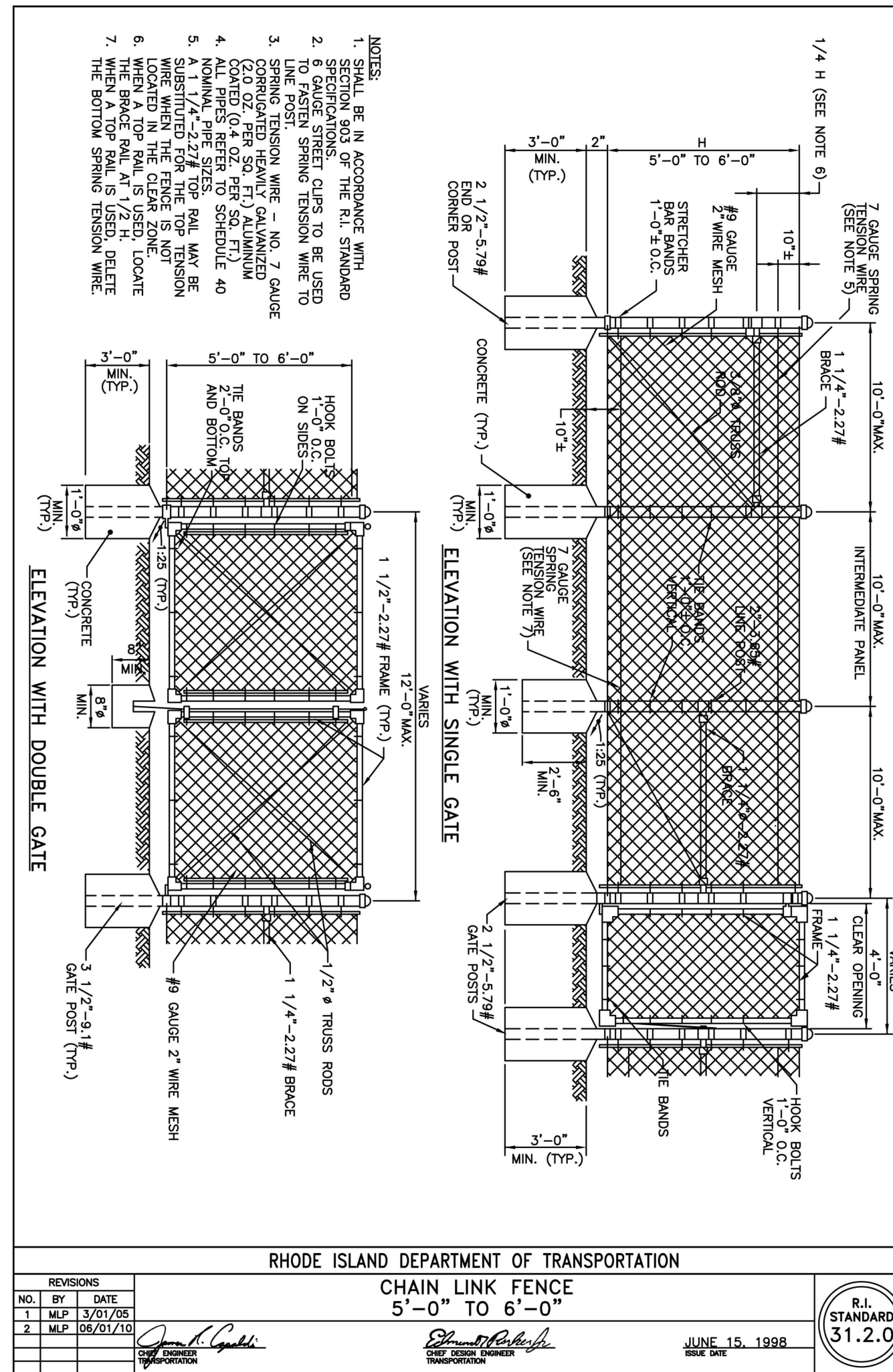
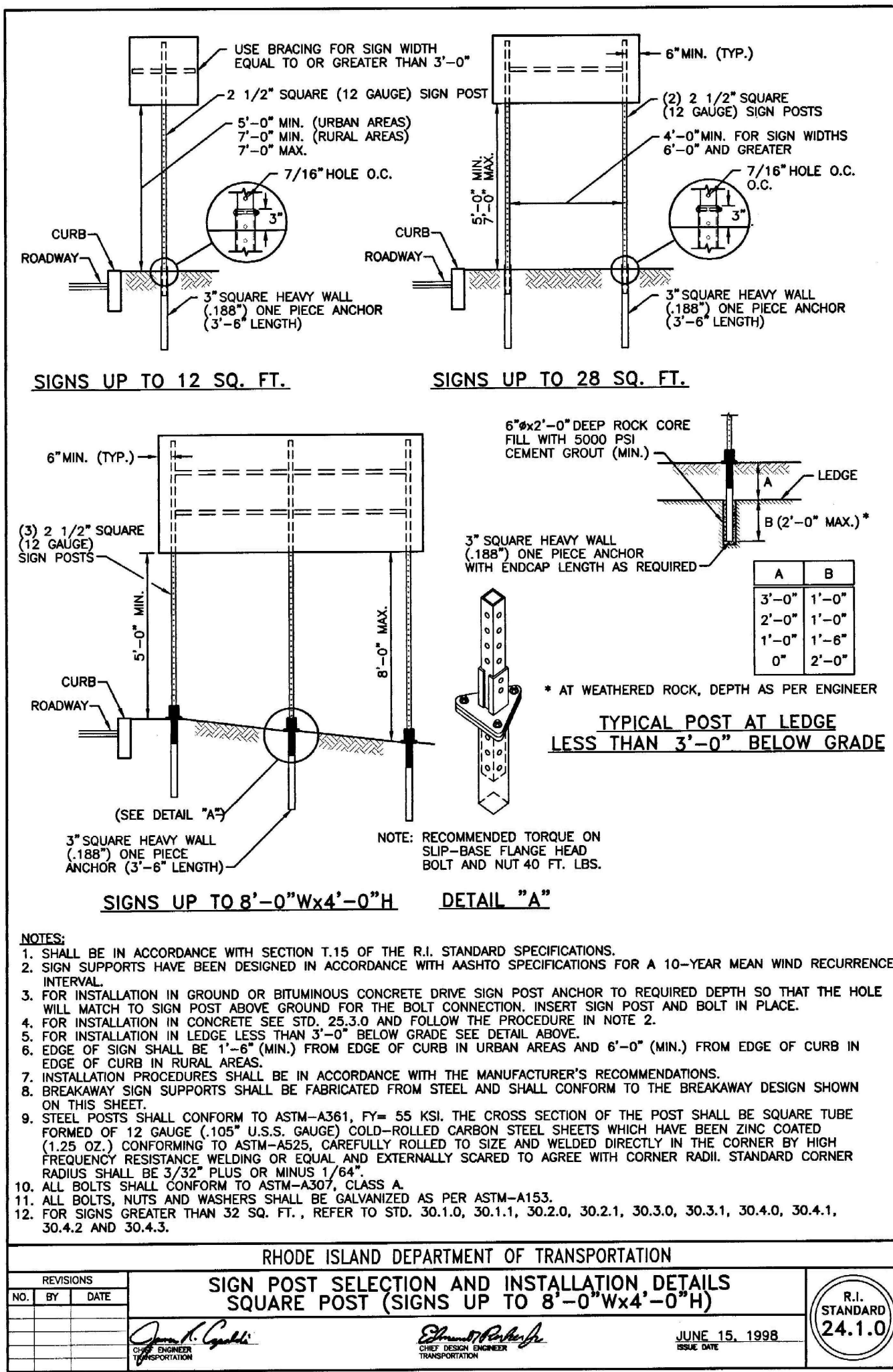
85 CORLISS STREET
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TEL: 401-273-6000

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JOB NO. 7366-05	DRAWN BY K.J.A.
DWG. NO. 7366-05_DETAILS_FINAL	CHECK BY S.S.H.
SCALE: AS SHOWN	APPROVED S.B.G.
	DATE: JUNE, 2024

SHEET
C-602
11 OF 14 SHEETS

L:\7366-05-220 Blackstone & 23 Standford (Marathon) - Providence, RI\Map\01-Current\7366-05_Details_Final_LDP.dwg 08/09/2024 jmarrow 11:51



CONSTRUCTION DETAILS - 4

FOR
(A.P.45, LOT 85)
COPLEY CENTRE I
220 BLACKSTONE STREET
PROVIDENCE, RI

PREPARED FOR
Marathon Development, LLC.
500 Harrison Avenue, Suite 4RB

NO.	REV.	DRWN.	DATE

LAND DEVELOPMENT PLAN (LDP)
FINAL SUBMISSION - PERMIT ONLY

GAROFALO & ASSOCIATES, INC.

08.26.24

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LAND PLANNERS/ENVIRONMENTAL SCIENTISTS

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PROVIDENCE, RI 02940
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JOB NO. 7366-05
DWG. NO. 7366-05_DETAILS_FINAL
SCALE: AS SHOWN

DRAWN BY K.J.A.
CHECK BY S.S.H.
APPROVED S.B.G.
DATE: JUNE, 2024

SHEET

C-603

12 OF 14 SHEETS

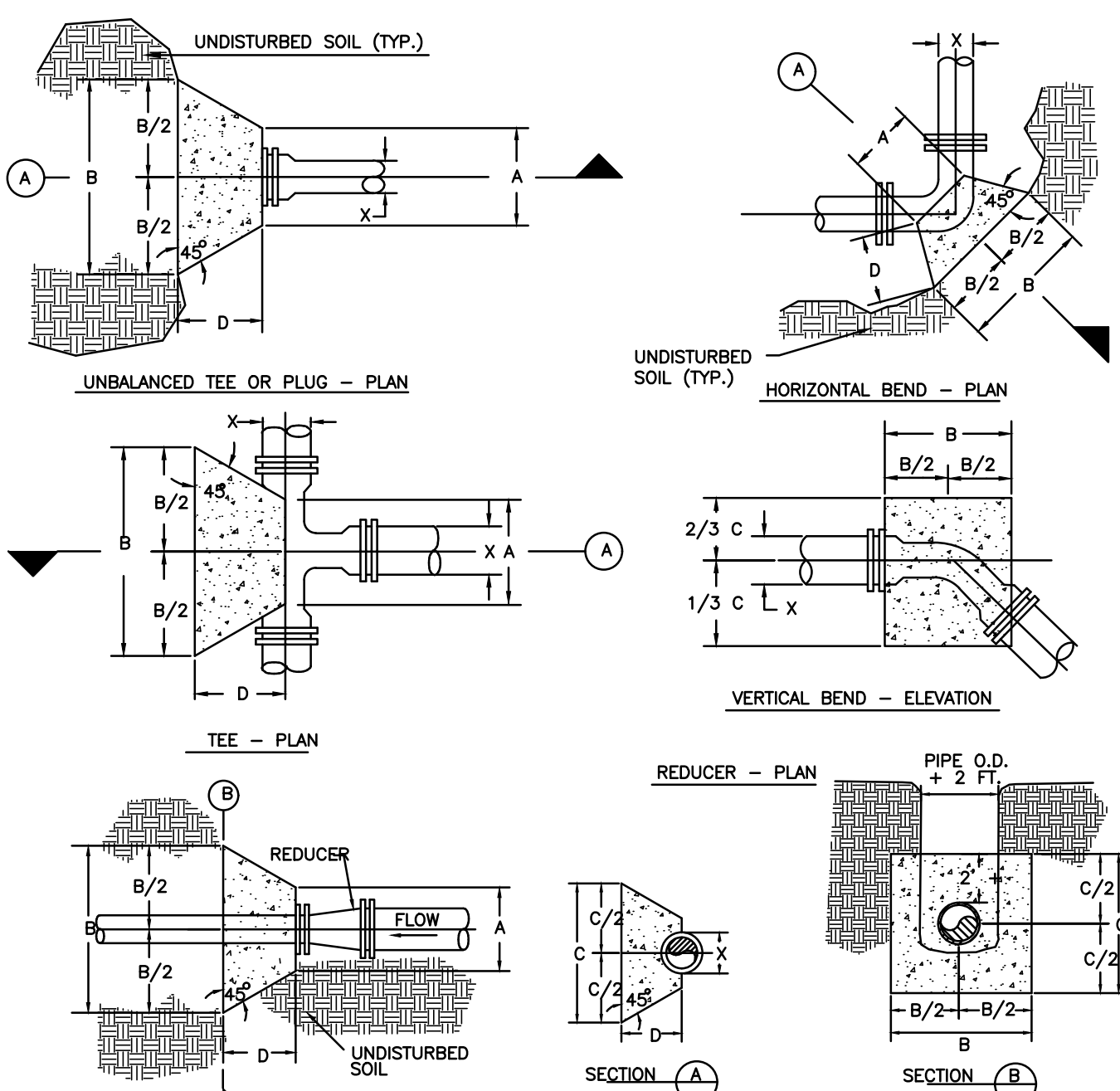
Line Pressure = 150 PSI Soil Pressure = 2000 PSF				
Pipe Size X	A	B	C	D
90 DEGREE BEND				
6"	0'-11"	1'-9"	1'-9"	1'-6"
45 DEGREE BEND				
6"	0'-11"	1'-6"	1'-6"	1'-0"

Line Pressure = 150 PSI Soil Pressure = 2000 PSF				
Pipe Size X	A	B	C	D
11 1/4 DEGREE BEND				
6"	0'-9"	1'-0"	1'-0"	1'-0"
22 1/2 DEGREE BEND				
6"	0'-9"	1'-3"	1'-3"	1'-0"

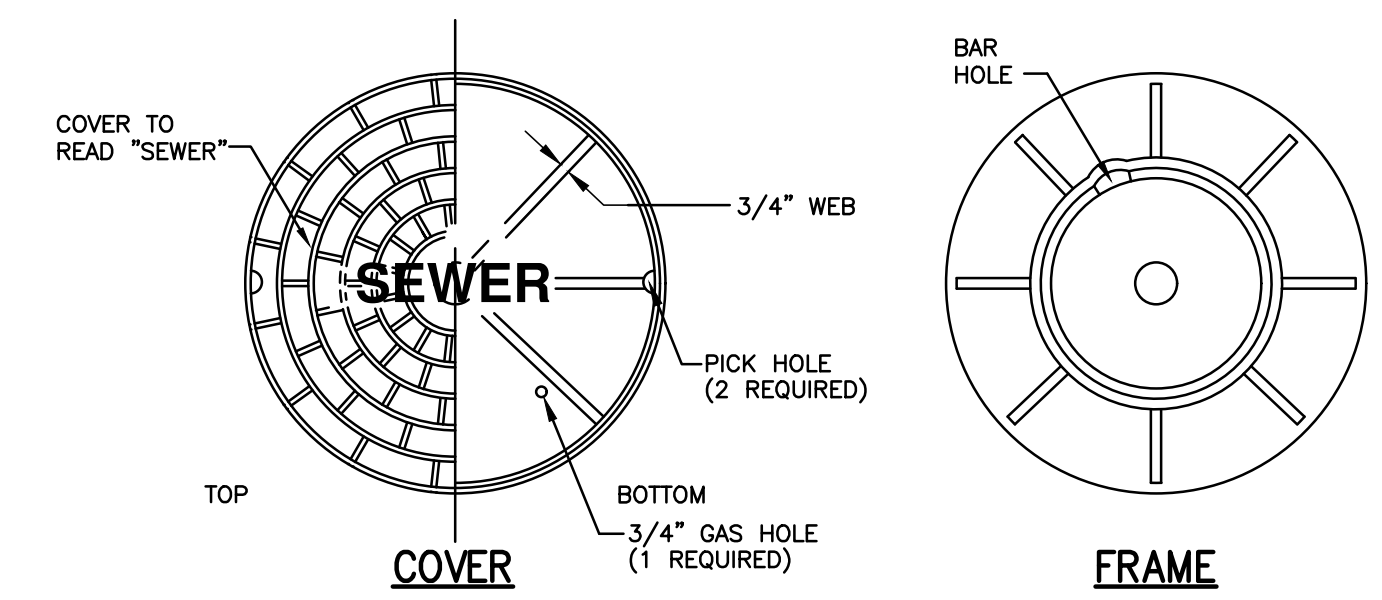
Line Pressure = 150 PSI Soil Pressure = 2000 PSF				
Pipe Size X	A	B	C	D
Unbalanced Tee & Plug				
6"	1'-2"	1'-6"	1'-6"	1'-0"
Tee				
6"	0'-11"	1'-6"	1'-6"	1'-3"

NOTES:
1. BLOCKING SHALL BE CLASS "C" CONCRETE; "SACKCRETE" WILL NOT BE ALLOWED.

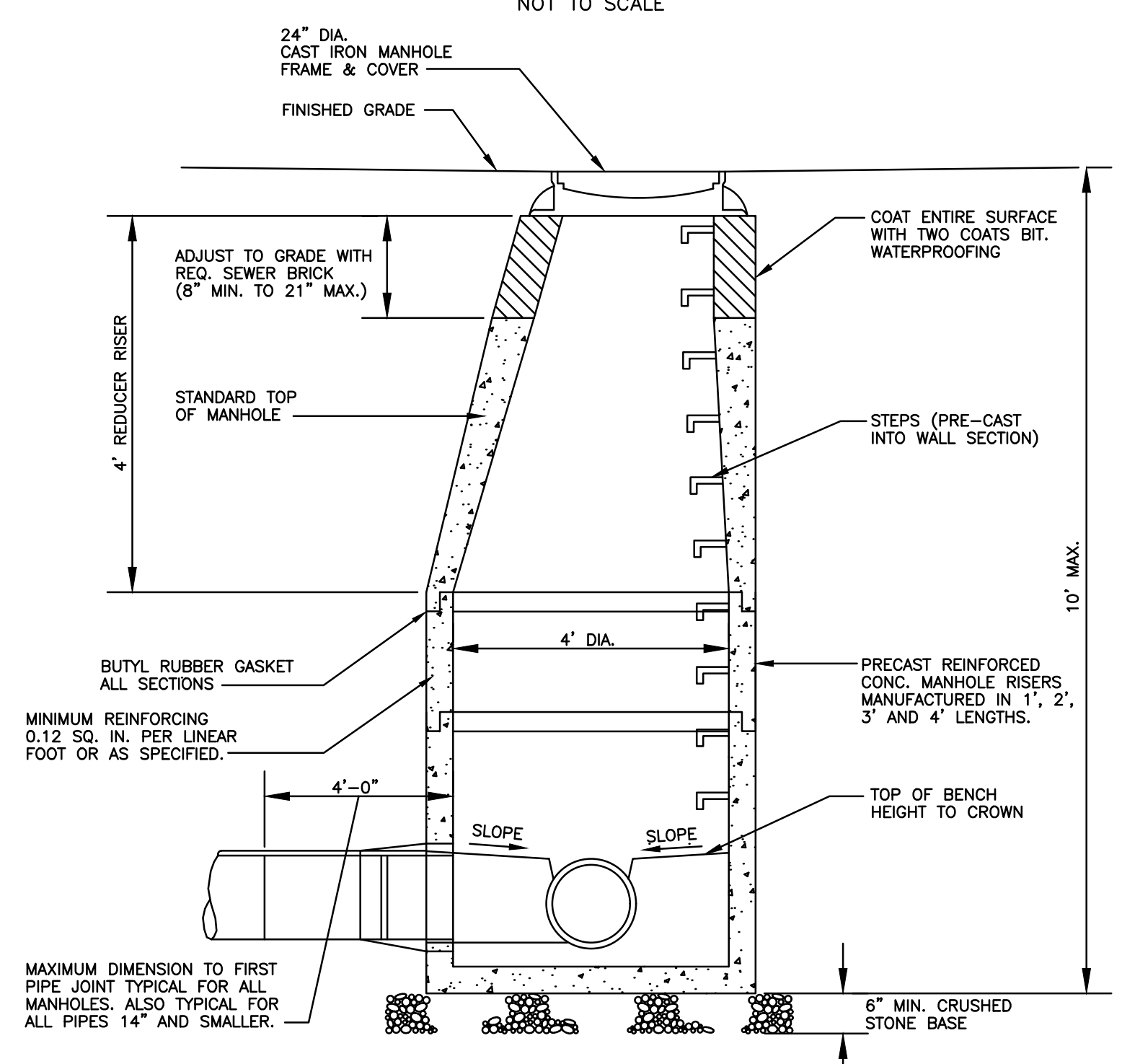
THRUST BLOCK DIMENSIONS
NOT TO SCALE



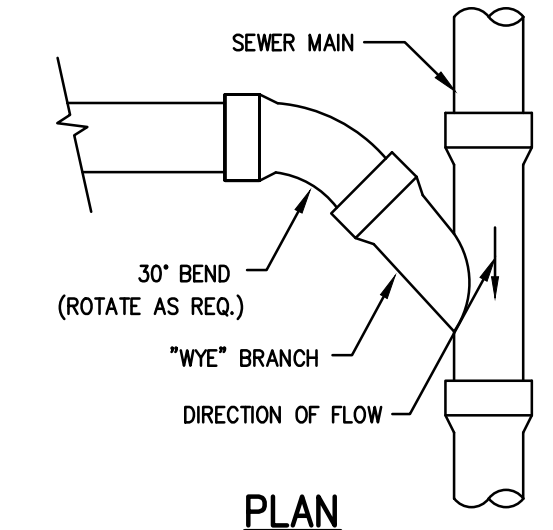
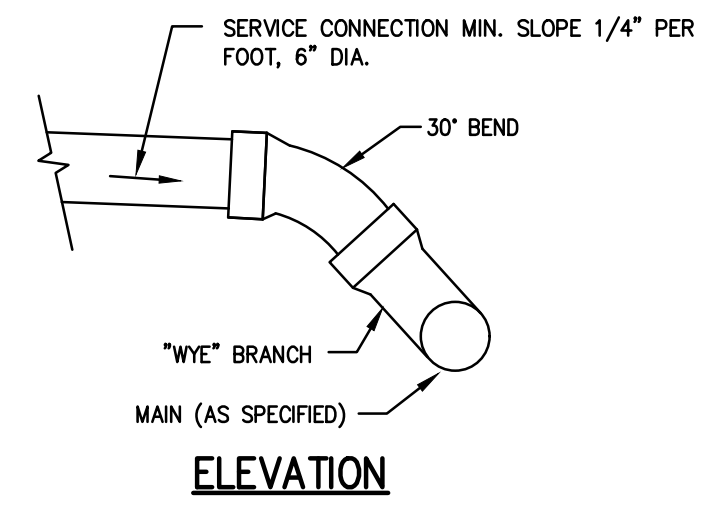
THRUST BLOCK DETAILS
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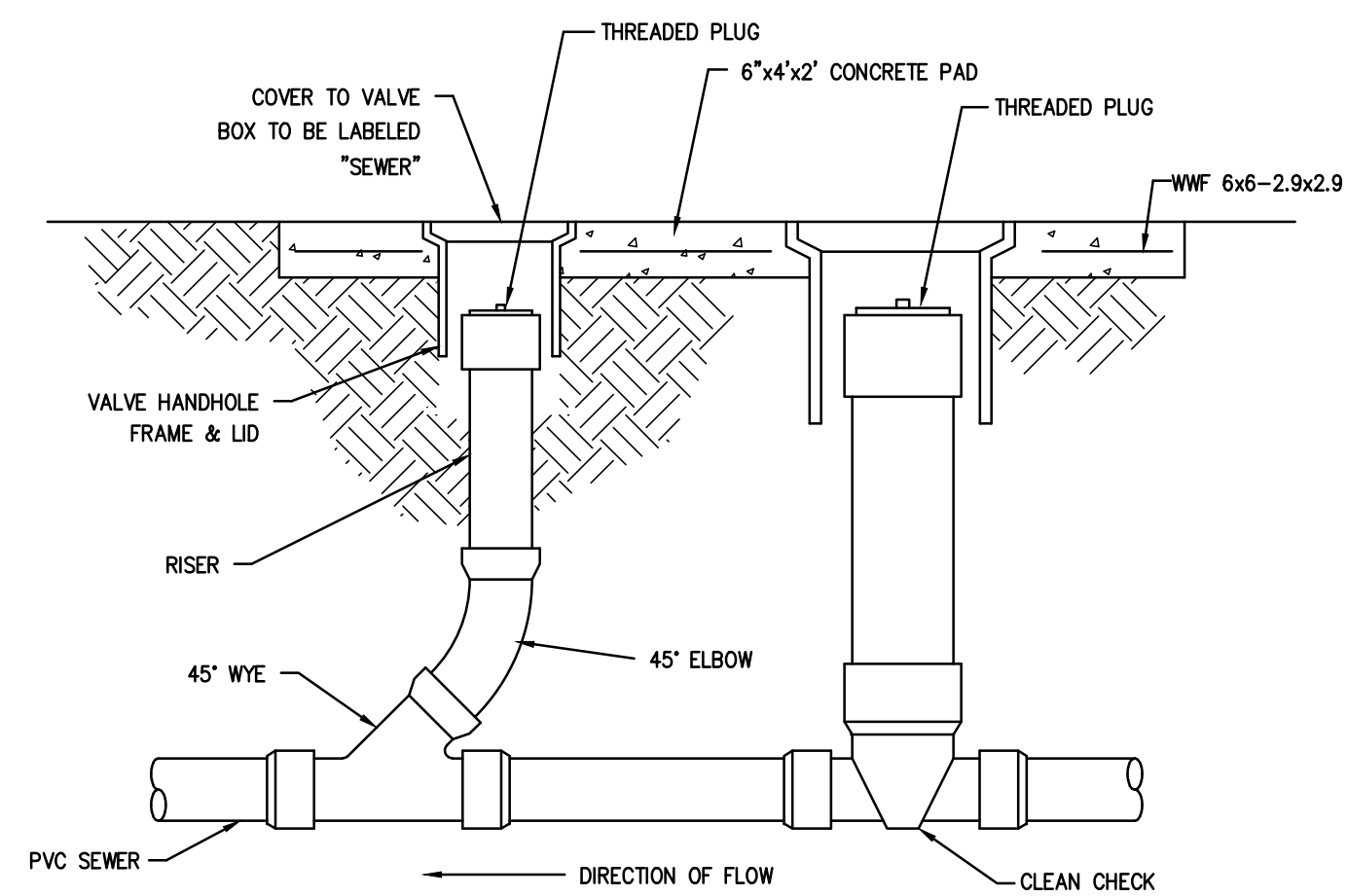
MANHOLE COVER
NOT TO SCALE



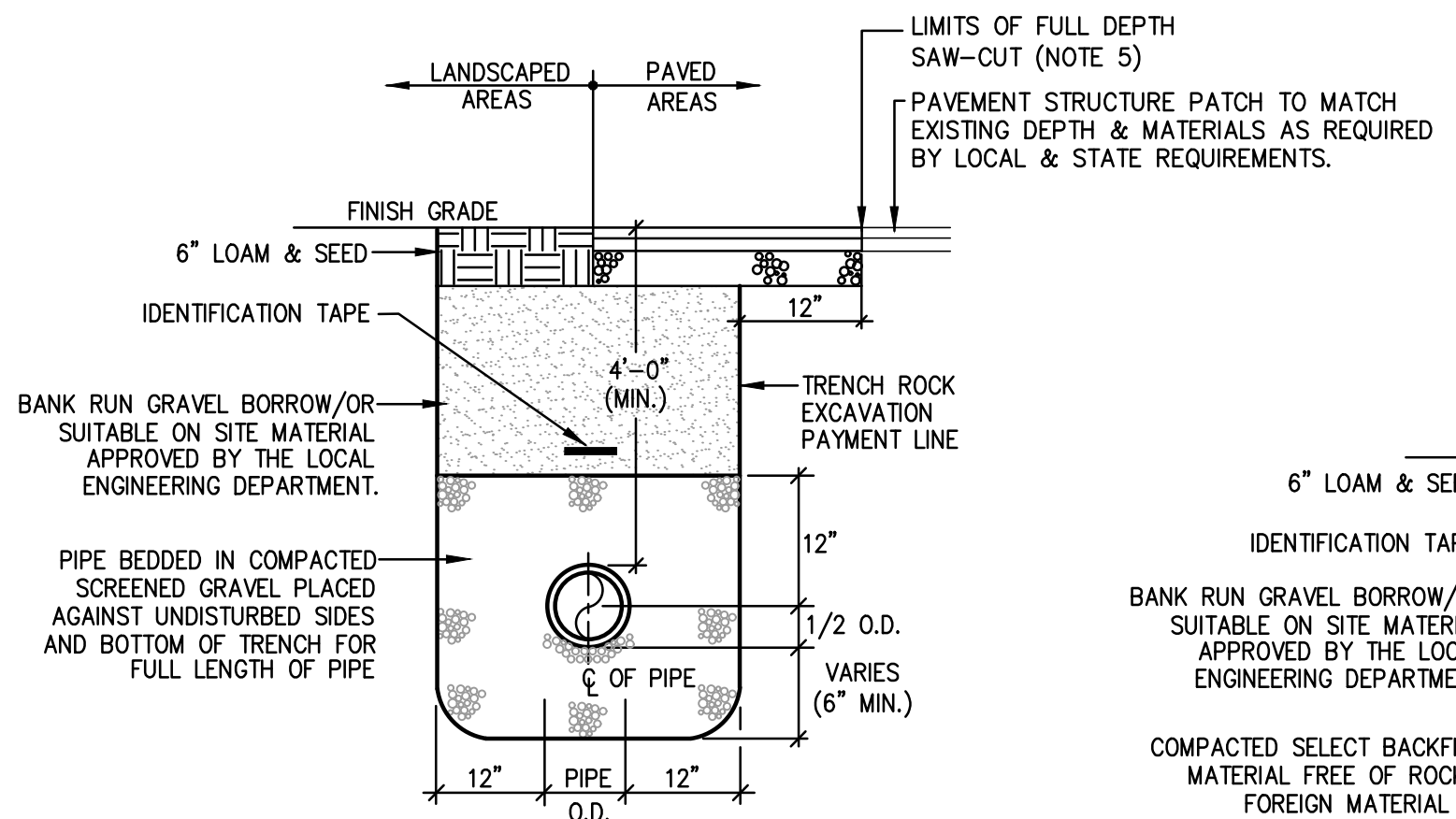
SANITARY SEWER MANHOLE DETAIL
NOT TO SCALE



SEWER SERVICE CONNECTION DETAIL
NOT TO SCALE

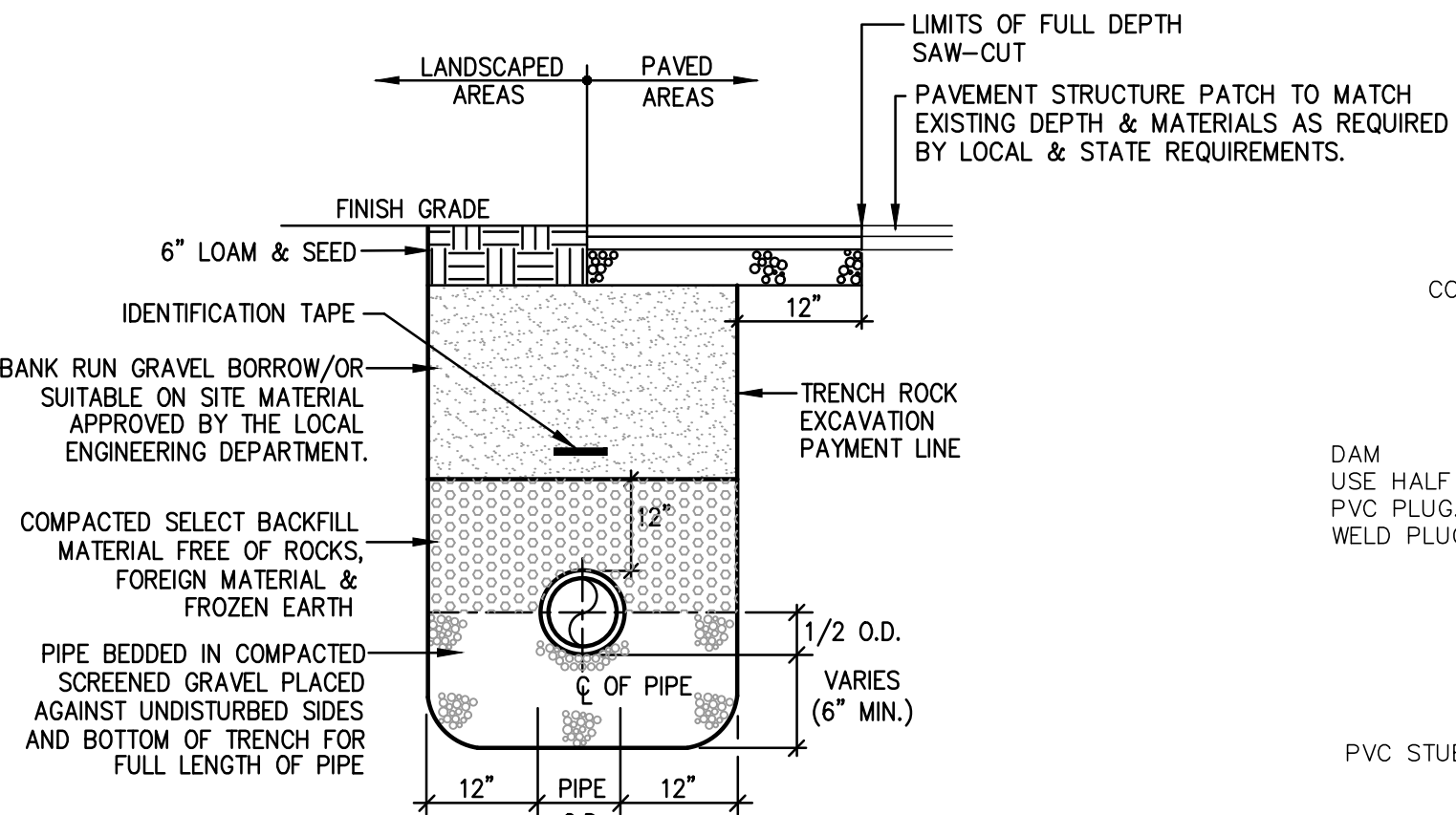


SEWER CLEANOUT W/ CHECK VALVE
NOT TO SCALE



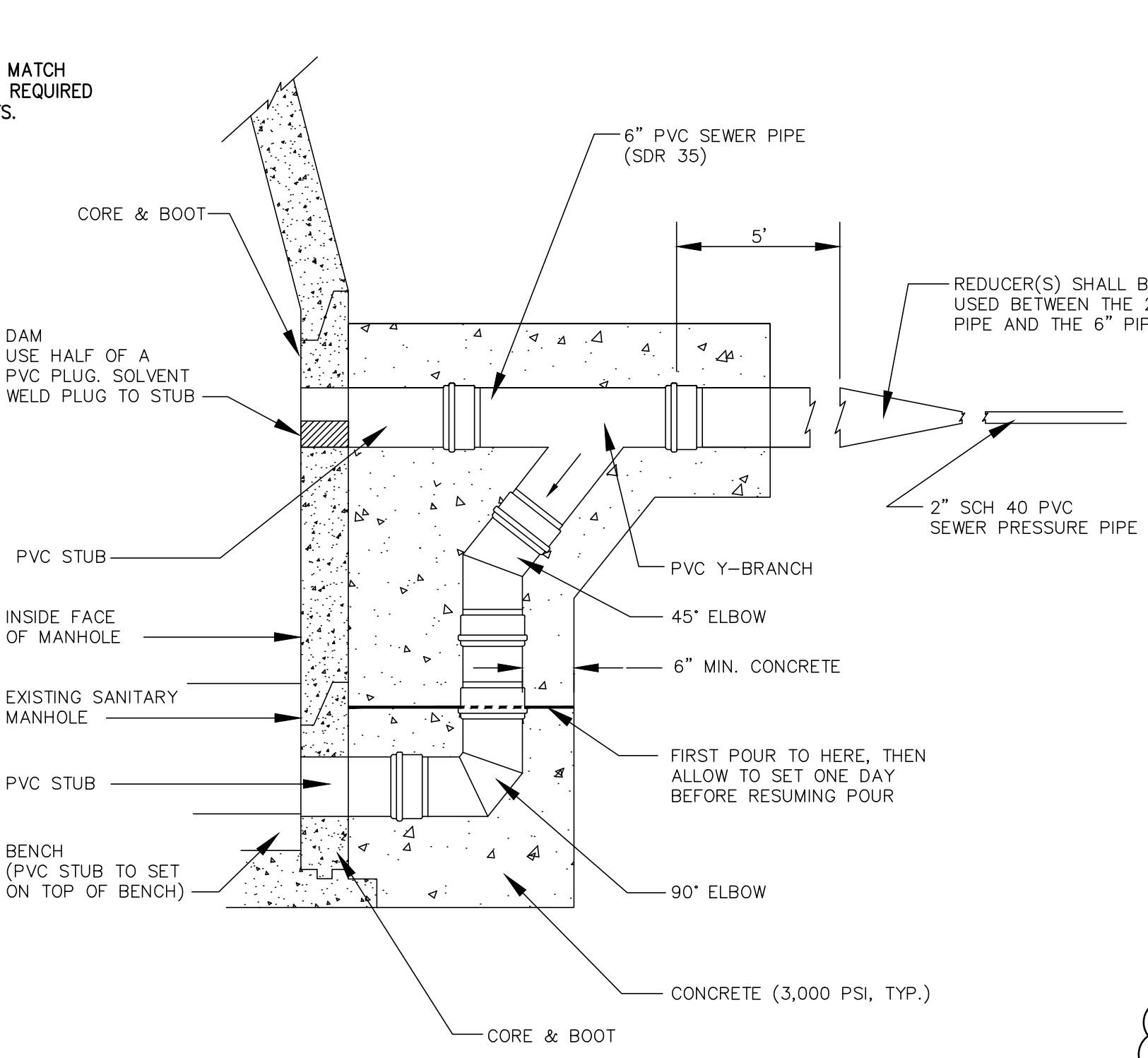
NOTES:
1. METALIZED 2" WIDE BLUE DETECTABLE IDENTIFICATION TAPE WITH THE WORDS "CAUTION - WATER LINE BURIED BELOW" SHALL BE INSTALLED OVER WATER MAINS 12" TO 18" ABOVE UTILITY.
2. EXISTING FOUNDATION SHALL BE REMOVED TO 2" MINIMUM BELOW PROPOSED UTILITIES AND BACKFILLED WITH SELECT BACKFILL TO 95% DENSITY.
3. TRENCH SHALL MEET ANWA TYPICAL TRENCH REQUIREMENTS PROVIDE TRENCH SHEETING & BRACING AS REQUIRED IN ACCORDANCE WITH O.S.H.A. REQUIREMENTS.
4. WHERE TWO (2) WATERLINES ARE INSTALLED WITHIN THE SAME TRENCH, 18" MINIMUM SEPARATION SHALL BE PROVIDED BETWEEN THE TWO.
5. ALL UTILITY SAWCUTS ALONG BLACKSTONE ST. TO BE A MINIMUM OVERALL WIDTH OF 5' BEYOND EXCAVATION AS SHOWN HEREIN PER CITY OF PROVIDENCE PAVEMENT RESTORATION MEMORANDUM.

TYPICAL WATER TRENCH
NOT TO SCALE

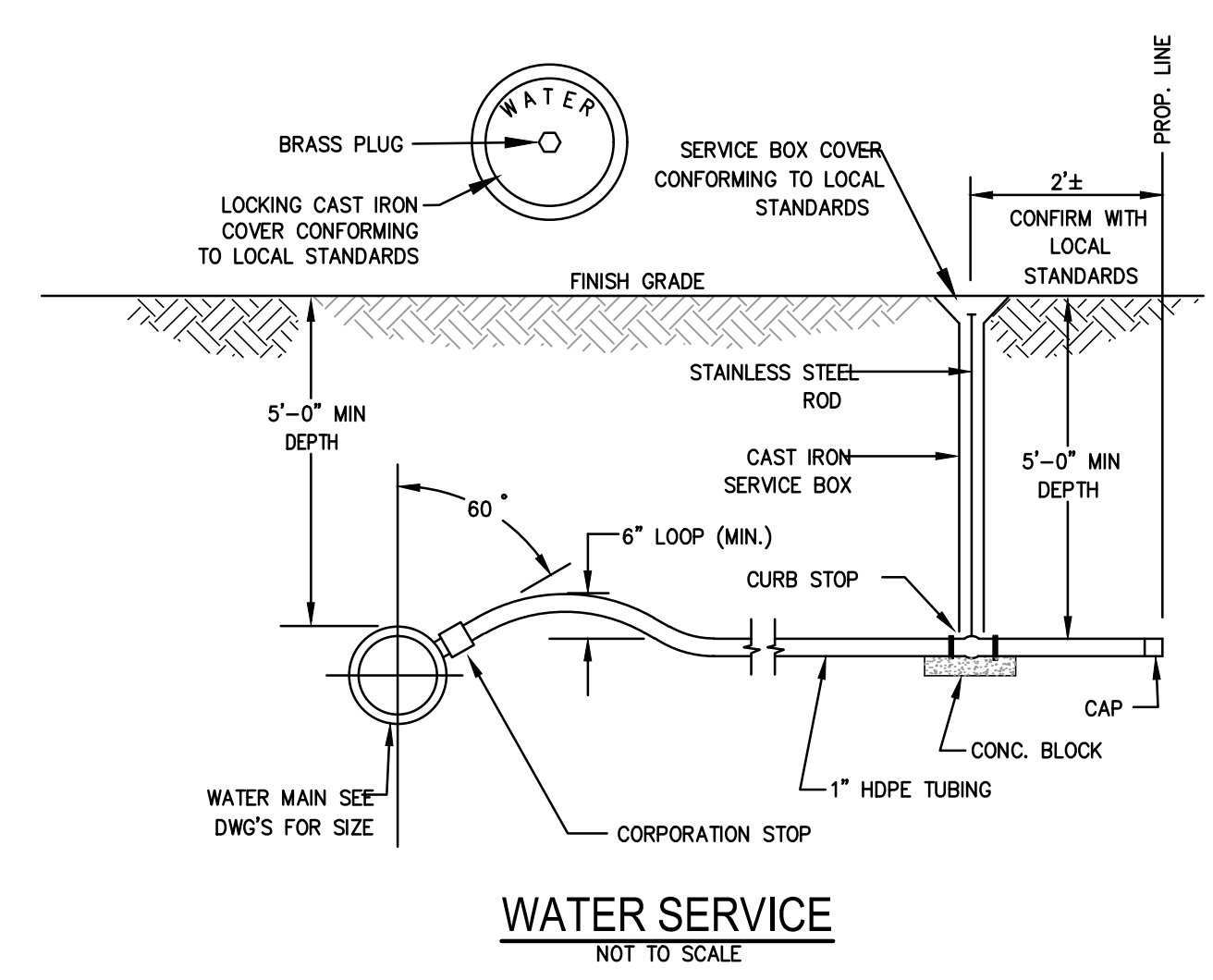


NOTES:
1. METALIZED 2" WIDE DETECTABLE IDENTIFICATION TAPE SHALL BE INSTALLED 12" TO 18" ABOVE UTILITY.
2. EXISTING FOUNDATION SHALL BE REMOVED TO 2" MINIMUM BELOW PROPOSED UTILITIES AND BACKFILLED WITH SELECT BACKFILL TO 95% DENSITY.

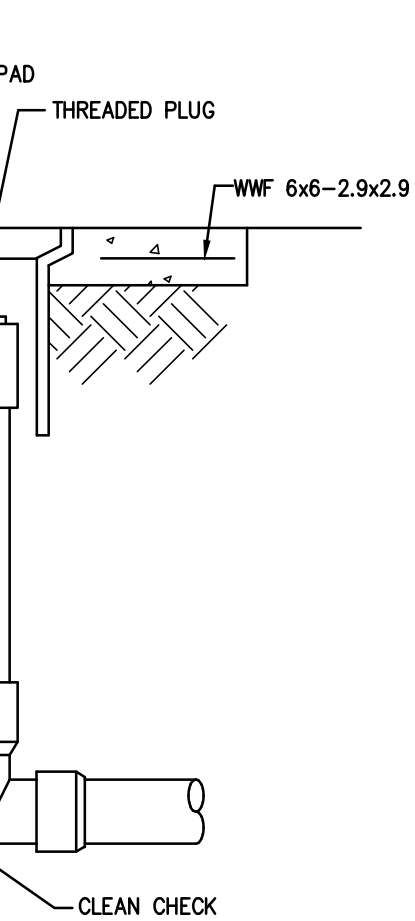
SEWER/RAIN TRENCH SECTION
NOT TO SCALE



DROP CONNECTION DETAIL
NOT TO SCALE



WATER SERVICE
NOT TO SCALE



COMBINED SYSTEM TYPICAL CONNECTION
NOT TO SCALE

NOTE:
1. REFER RI STANDARD DETAILS FOR ADDITIONAL REQUIREMENTS.

CONSTRUCTION DETAILS - 5

FOR
**(A.P.45, LOT 85)
COPLEY CENTRE I
220 BLACKSTONE STREET
PROVIDENCE, RI**
PREPARED FOR
Marathon Development, LLC.
500 Harrison Avenue, Suite 4RB

NO.	REV.	DRWN.	DATE
1	TOWN ENG.	JRM	08/13/2024

LAND DEVELOPMENT PLAN (LDP)
FINAL SUBMISSION - PERMIT ONLY



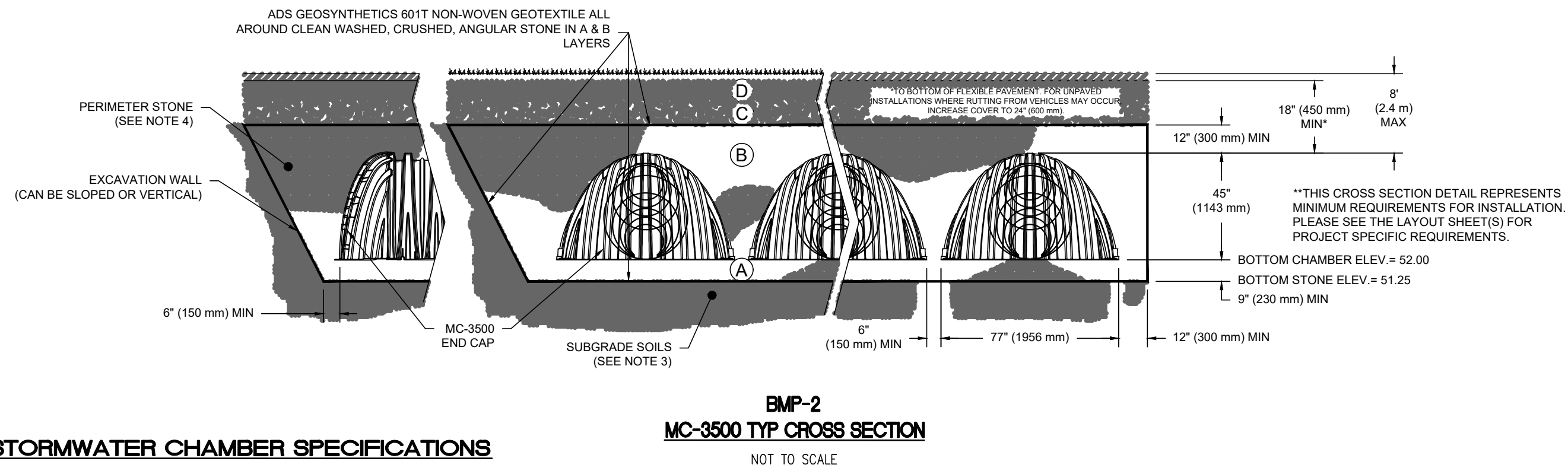
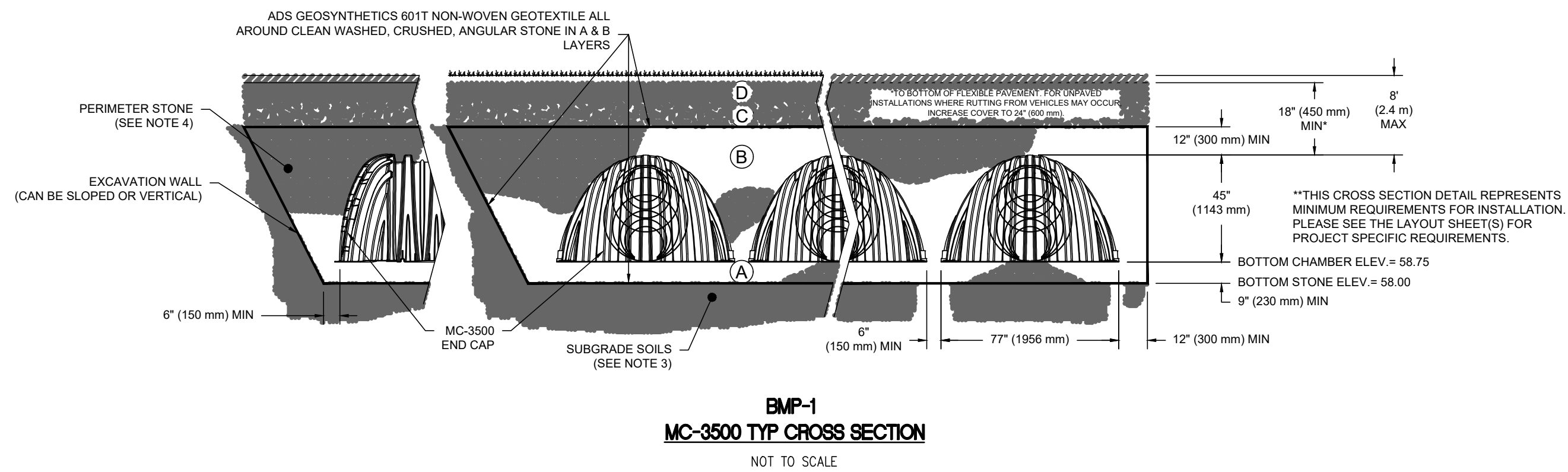
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85 CORLISS STREET
P.O. BOX 6145
PROVIDENCE, RI 02940
TEL. 401-273-6000

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DWG. NO. 7366-05_DETAILS_FINAL	CHECK BY S.S.H.
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	DATE: JUNE, 2024

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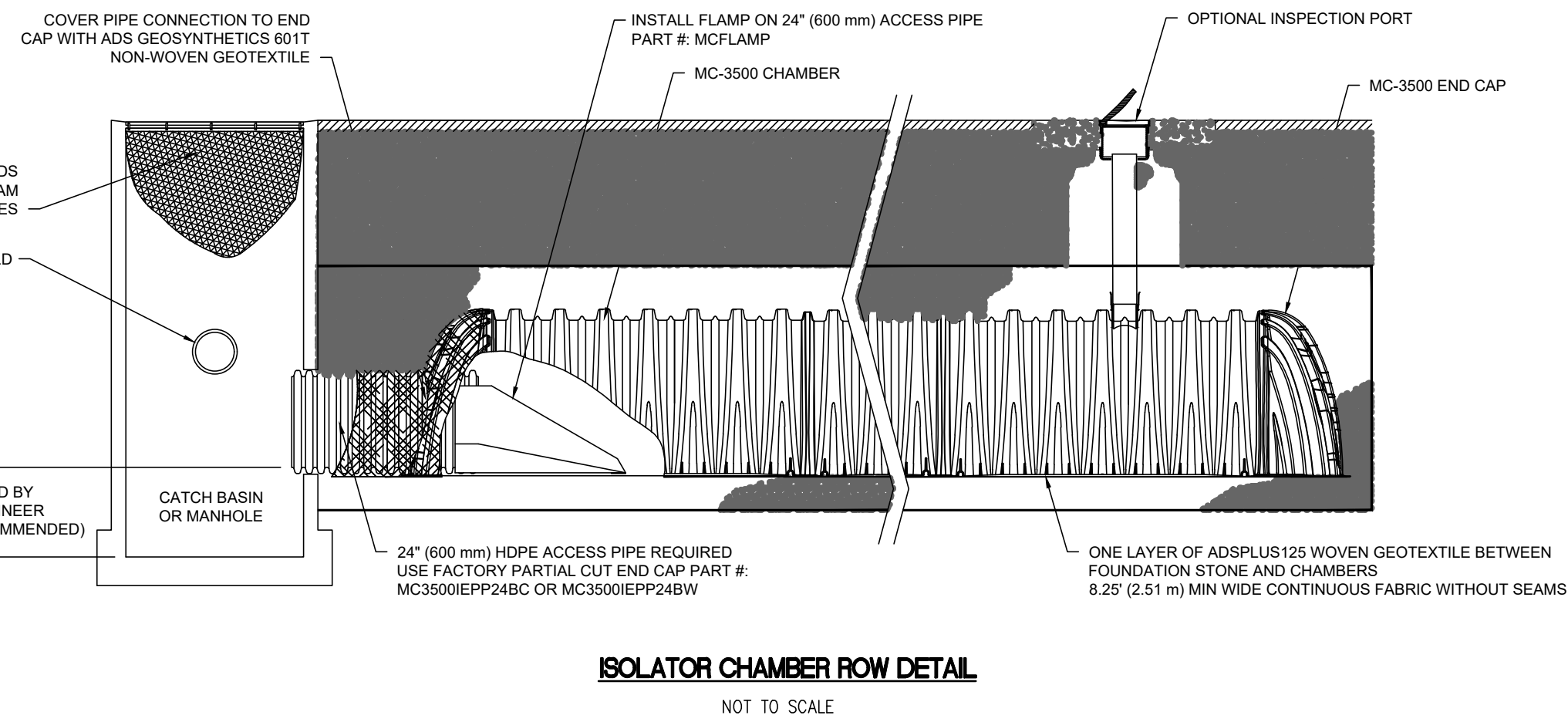
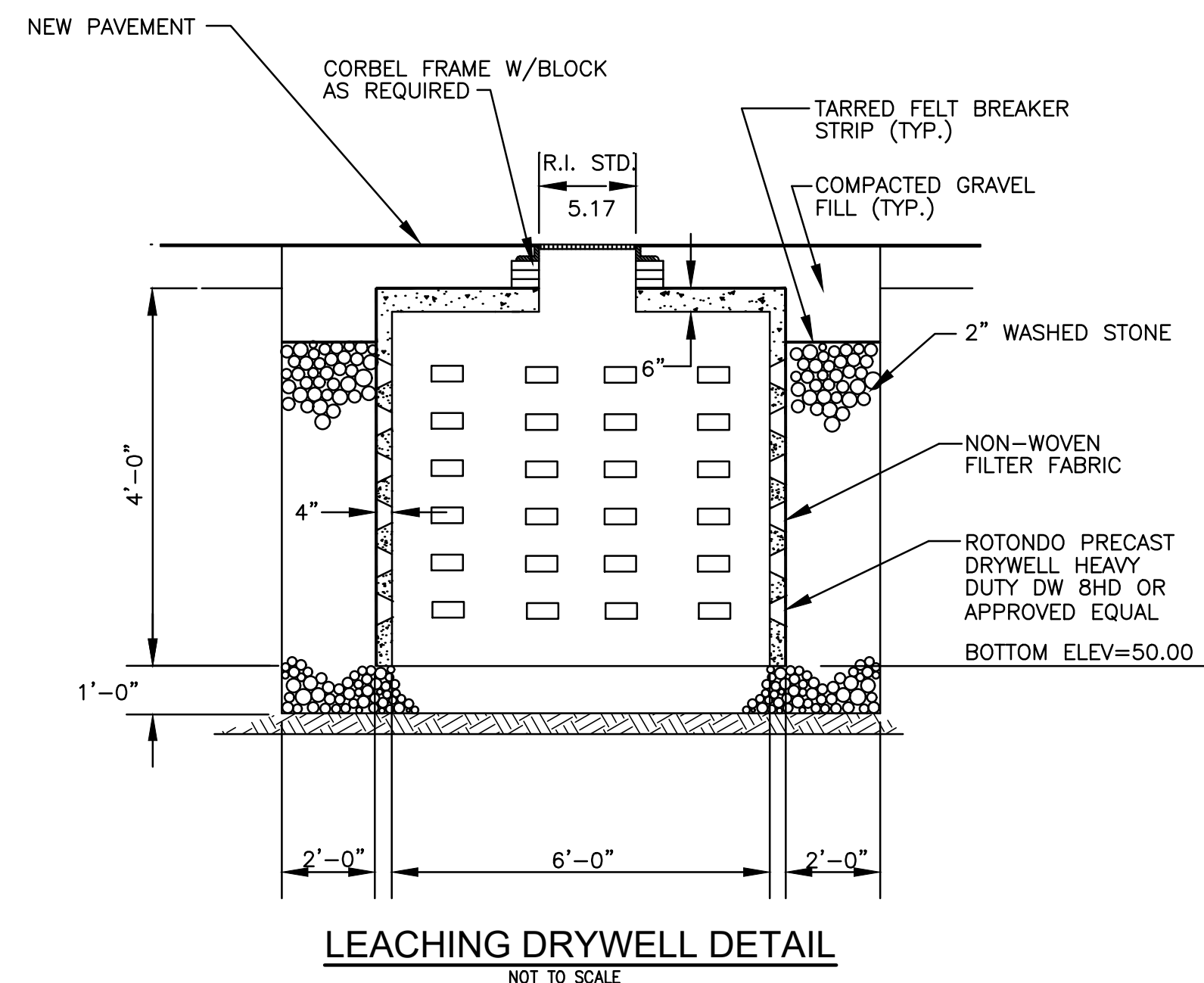
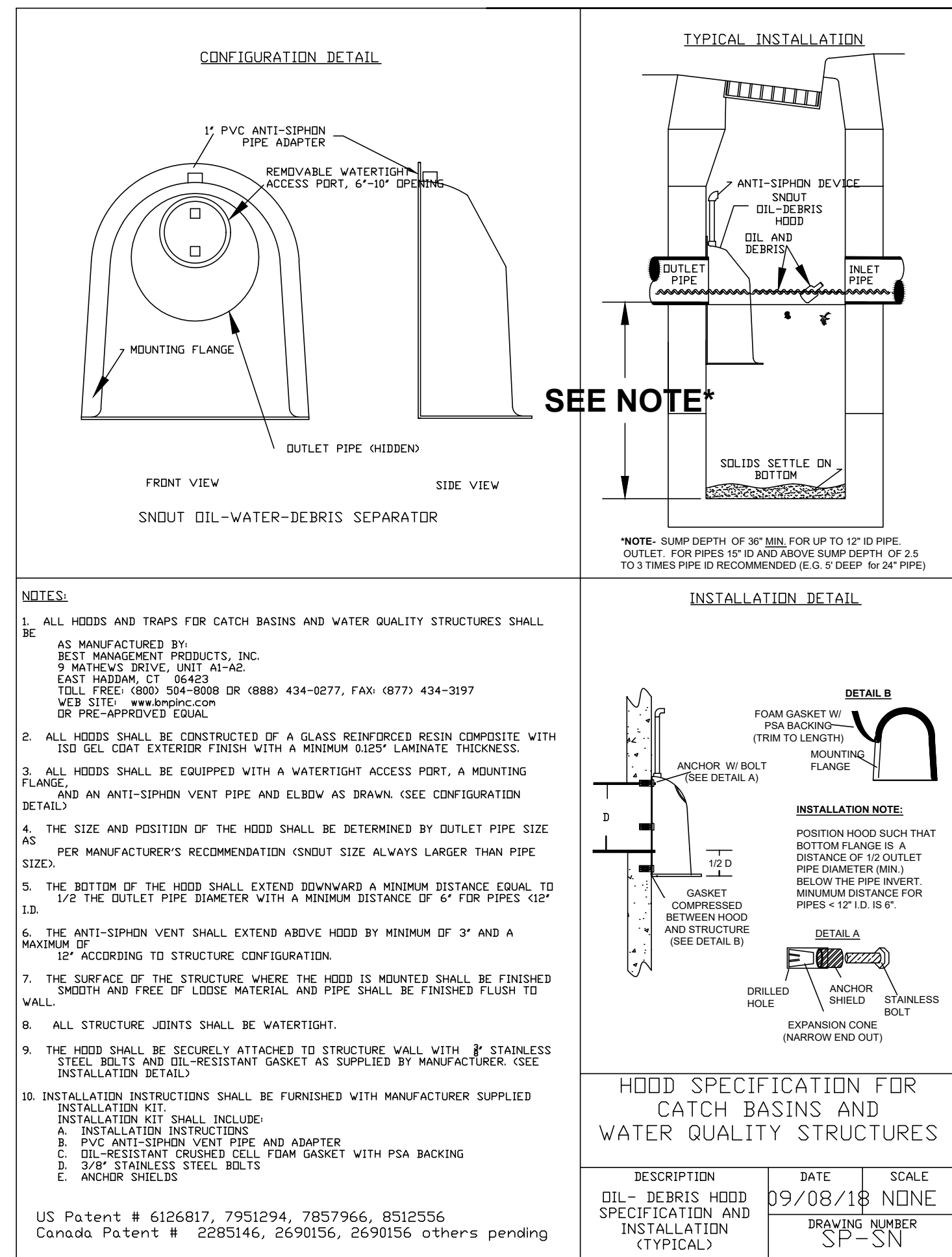


STORMWATER CHAMBER SPECIFICATIONS

- CHAMBERS SHALL BE STORMTECH MC-3500 OR APPROVED EQUAL.
- CHAMBERS SHALL BE MADE FROM VIRGIN, IMPACT-MODIFIED POLYPROPYLENE COPOLYMERS.
- CHAMBER ROWS SHALL PROVIDE CONTINUOUS, UNOBSTRUCTED INTERNAL SPACE WITH NO INTERNAL SUPPORT PANELS THAT WOULD IMPEDE FLOW OR LIMIT ACCESS FOR INSPECTION.
- THE STRUCTURAL DESIGN OF THE CHAMBERS, THE STRUCTURAL BACKFILL AND THE INSTALLATION REQUIREMENTS SHALL ENSURE THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12 ARE MET FOR: 1) LONG-DURATION DEAD LOADS AND 2) SHORT-DURATION LIVE LOADS, BASED ON THE AASHTO DESIGN TRUCK WITH CONSIDERATION FOR IMPACT AND MULTIPLE VEHICLE PRESENCES.
- CHAMBERS SHALL CONFORM TO THE REQUIREMENTS OF ASTM F 2787, "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- ONLY CHAMBERS THAT ARE APPROVED BY THE ENGINEER WILL BE ALLOWED. THE CONTRACTOR SHALL SUBMIT (3 SETS) OF THE FOLLOWING TO THE ENGINEER FOR APPROVAL BEFORE DELIVERING CHAMBERS TO THE PROJECT SITE:
 - A STRUCTURAL EVALUATION BY A REGISTERED STRUCTURAL ENGINEER THAT DEMONSTRATES THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12 ARE MET.
 - STRUCTURAL CROSS SECTION DETAIL ON WHICH THE STRUCTURAL CROSS SECTION IS BASED.
- THE INSTALLATION OF CHAMBERS SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S LATEST INSTALLATION INSTRUCTIONS.

UNDERGROUND INFILTRATION CHAMBER - BMP 1 & 2

NOT TO SCALE



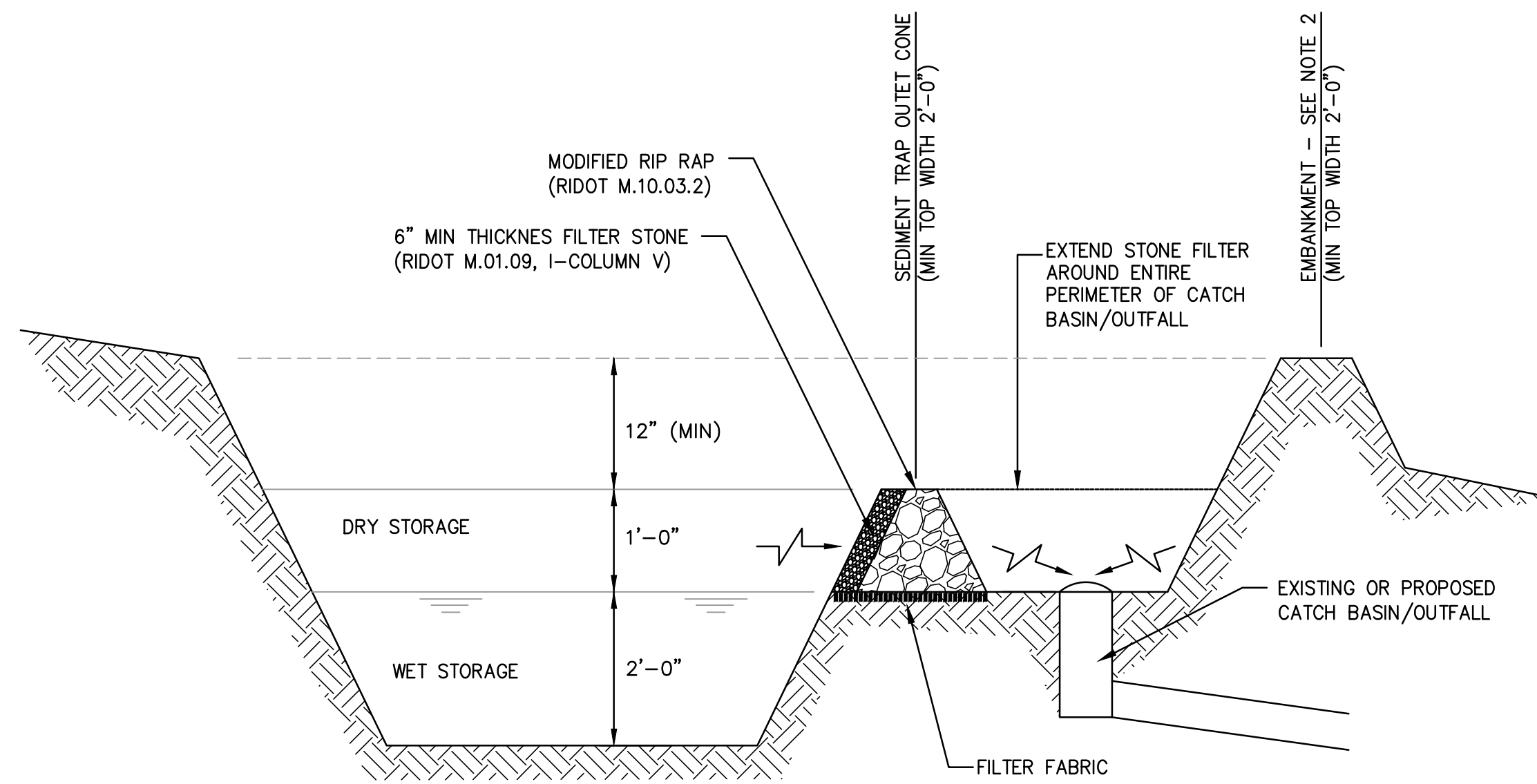
ACCEPTABLE FILL MATERIALS: STORMTECH MC-3500 CHAMBER SYSTEMS

MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER.	N/A	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C	INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('B' LAYER) TO 18" (450 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	AASHTO M145 ¹ A-1, A-2.4, A-3 OR AASHTO M43 ² 3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10	BEGIN COMPACTIONS AFTER 18" (450 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 12" (300 mm) MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS.
B	EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.	AASHTO M43 ² 3, 357, 4, 467, 5, 56, 57	NO COMPACTION REQUIRED.
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	AASHTO M43 ² 3, 357, 4, 467, 5, 56, 57	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. ^{2,3}

- PLEASE NOTE:
- THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
 - STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 9" (230 mm) (MAX) LIFTS USING TWO FULL COVERAGES WITH A VIBRATORY COMPACTOR.
 - WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.
 - ONCE LAYER 'C' IS PLACED, ANY SOIL/MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.
 - WHERE RECYCLED CONCRETE AGGREGATE IS USED IN LAYERS 'A' OR 'B' THE MATERIAL SHOULD ALSO MEET THE ACCEPTABILITY CRITERIA OUTLINED IN TECHNICAL NOTE 6.20 "RECYCLED CONCRETE STRUCTURAL BACKFILL".

UNDERGROUND INFILTRATION CHAMBER

NOT TO SCALE



- NOTES:
- SEDIMENTS SHALL BE REMOVED WHEN THE ACCUMULATE TO 1/2 THE WET STORAGE DEPTH.
 - WHERE BERMING IS REQUIRED TO PROVIDE FREEBOARD, SEDIMENT TRAPS EMBANKMENTS SHALL NOT EXCEED 2'.
 - WHEN SEDIMENT TRAP IS NOT DIRECTED TO AN EXISTING DRAINAGE STRUCTURE, CONSTRUCT FILTER STRIP IN ACCORDANCE WITH THE RIDISIM.

TEMPORARY SEDIMENT TRAP WITH GRAVEL CONE RISER

NOT TO SCALE

CONSTRUCTION DETAILS - 6

FOR
(A.P.45, LOT 85)
COPLEY CENTRE I
220 BLACKSTONE STREET
PROVIDENCE, RI
PREPARED FOR
Marathon Development, LLC.
500 Harrison Avenue, Suite 4RB

NO.	REV.	DRWN.	DATE

LAND DEVELOPMENT PLAN (LDP)
FINAL SUBMISSION - PERMIT ONLY



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LAND PLANNERS/ENVIRONMENTAL SCIENTISTS

85 CORLISS STREET
P.O. BOX 6145
PROVIDENCE, RI 02940
TEL. 401-273-6000

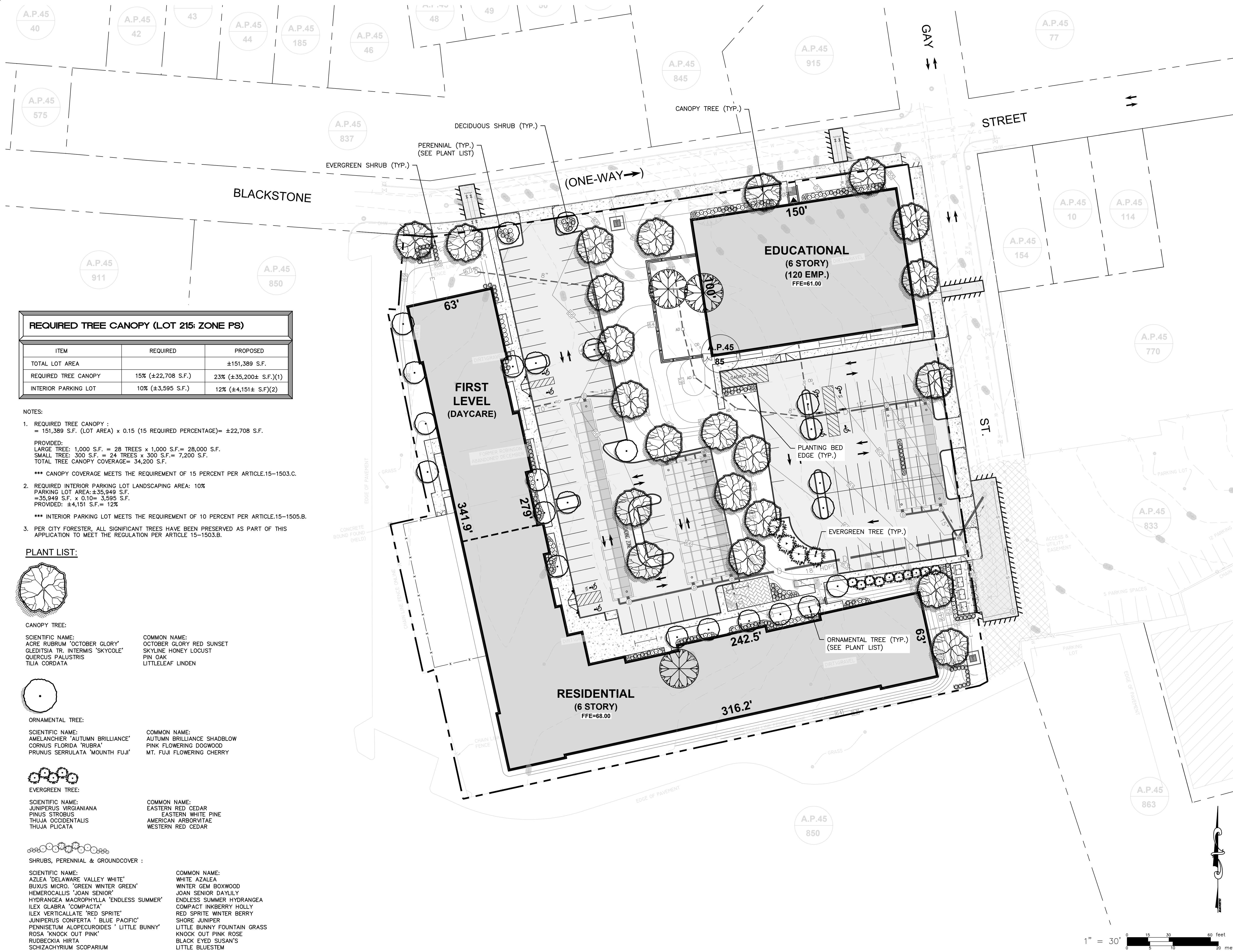
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JOB NO. 7366-05	DRAWN BY K.J.A.
DWG. NO. 7366-05_DETAILS_FINAL	CHECK BY S.S.H.
SCALE: AS SHOWN	APPROVED S.B.G.
	DATE: JUNE, 2024

SHEET
C-605
14 OF 14 SHEETS

L:\7366-05-220 Blackstone & 23 Standard (Marathon) - Providence, RI\Drawings\Current\7366-05_Details_Final_LDP.dwg 08/09/2024 jmarrow 11:52

L:\7366-05-220-Blackstone & 23-Stratford (Marathon) - Providence, RI\Map\01-Current\7366-05_Land_Final_LDP_1.dwg, 01/21/2025, kygyang, 09:59



REQUIRED TREE CANOPY (LOT 215: ZONE PS)		
ITEM	REQUIRED	PROPOSED
TOTAL LOT AREA		±151,389 S.F.
REQUIRED TREE CANOPY	15% (±22,708 S.F.)	23% (±35,200± S.F.)(1)
INTERIOR PARKING LOT	10% (±3,595 S.F.)	12% (±4,151± S.F.)(2)

- NOTES:
- REQUIRED TREE CANOPY :
= 151,389 S.F. (LOT AREA) x 0.15 (15 REQUIRED PERCENTAGE)= ±22,708 S.F.
PROVIDED:
LARGE TREE: 1,000 S.F. = 28 TREES x 1,000 S.F.= 28,000 S.F.
SMALL TREE: 300 S.F. = 24 TREES x 300 S.F.= 7,200 S.F.
TOTAL TREE CANOPY COVERAGE= 34,200 S.F.
*** CANOPY COVERAGE MEETS THE REQUIREMENT OF 15 PERCENT PER ARTICLE.15-1503.C.
 - REQUIRED INTERIOR PARKING LOT LANDSCAPING AREA: 10%
PARKING LOT AREA: ±35,949 S.F.
= 35,949 S.F. x 0.10 = 3,595 S.F.
PROVIDED: ±4,151 S.F. = 12%
*** INTERIOR PARKING LOT MEETS THE REQUIREMENT OF 10 PERCENT PER ARTICLE.15-1505.B.
 - PER CITY FORESTER, ALL SIGNIFICANT TREES HAVE BEEN PRESERVED AS PART OF THIS APPLICATION TO MEET THE REGULATION PER ARTICLE 15-1503.B.

- PLANT LIST:**
- CANOPY TREE:**
 SCIENTIFIC NAME: ACRE RUBRUM 'OCTOBER GLORY', GLEDITSIA TR. INTERMIS 'SKYCOLE', QUERCUS PALUSTRIS, TILIA CORDATA
 COMMON NAME: OCTOBER GLORY RED SUNSET, SKYLINE HONEY LOCUST, PIN OAK, LITTLELEAF LINDEN
- ORNAMENTAL TREE:**
 SCIENTIFIC NAME: AMELANCHIER 'AUTUMN BRILLIANCE', CORNUS FLORIDA 'RUBRA', PRUNUS SERRULATA 'MOUNTH FUJI'
 COMMON NAME: AUTUMN BRILLIANCE SHADBLOW, PINK FLOWERING DOGWOOD, MT. FUJI FLOWERING CHERRY
- EVERGREEN TREE:**
 SCIENTIFIC NAME: JUNIPERUS VIRGIANIANA, PINUS STROBUS, THUJA OCCIDENTALIS, THUJA PLICATA
 COMMON NAME: EASTERN RED CEDAR, EASTERN WHITE PINE, AMERICAN ARBORVITAE, WESTERN RED CEDAR
- SHRUBS, PERENNIAL & GROUNDCOVER :**
 SCIENTIFIC NAME: AZLEA 'DELAWARE VALLEY WHITE', BUXUS MICRO, 'GREEN WINTER GREEN', HEMEROCALLIS 'JOAN SENIOR', HYDRANGEA MACROPHYLLA 'ENDLESS SUMMER', ILEX GLABRA 'COMPACTA', ILEX VERTICALLATE 'RED SPRITE', JUNIPERUS CONFERTA 'BLUE PACIFIC', PENNISETUM ALOPECUROIDES 'LITTLE BUNNY', ROSA 'KNOCK OUT PINK', RUDBECKIA HIRTA, SCHIZACHYRIUM SCOPARIUM
 COMMON NAME: WHITE AZALEA, WINTER GEM BOXWOOD, JOAN SENIOR DAYLILY, ENDLESS SUMMER HYDRANGEA, COMPACT INKBERRY HOLLY, RED SPRITE WINTER BERRY, SHORE JUNIPER, LITTLE BUNNY FOUNTAIN GRASS, KNOCK OUT PINK ROSE, BLACK EYED SUSAN'S, LITTLE BLUESTEM

LANDSCAPE PLAN
 FOR
 (A.P.45, LOT 85)
 THE FLYNN
 220 BLACKSTONE STREET
 PROVIDENCE, RI
 PREPARED FOR
 Marathon Development, LLC.
 500 Harrison Avenue, Suite 4RB

NO.	REVISION	BY	DATE
1	MODIFICATION	KYY	01/20/2025

CONSTRUCTION DOCUMENTS

GAROFALO
 GAROFALO & ASSOCIATES, INC.
 CIVIL & STRUCTURAL ENGINEERS/SURVEYORS
 LAND PLANNERS/ENVIRONMENTAL SCIENTISTS

85 CORLISS STREET
 P.O. BOX 6145
 PROVIDENCE, R.I. 02940
 TEL. 401-273-6000

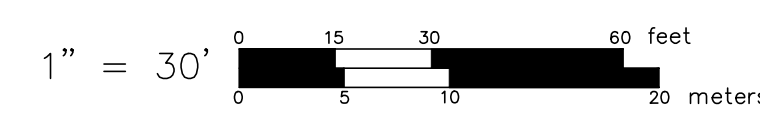
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JOB NO. 7366-05	DRAWN BY K.Y.Y.
DWG. NO. 7366-05_LAND_FINAL LDP_R1	CHECK BY S.S.H.
SCALE: AS SHOWN	APPROVED S.B.G.
	DATE: AUGUST, 2024

SHEET

L-1

1 OF 1 SHEET



RZR SERIES - LED SPECIFICATIONS

POLE DRILLING TEMPLATE

EPA & WEIGHT

PLED* MODULES

ORDERING INFORMATION

Spec/Order Example: RZR/PLED-IV/ROLED-700mA/CW/277/RAL-80195

Luminaire	Optics	LED Module	Voltage	Mounting	Finish	Options
RZR-G	Type I RZR-G	RZR-G # of LEDs: 120 Drive Current: 700mA Color Temp: CCT	120V	Arm Mount	Black RAL-9005	Standard Textured Finish HSPLED Internal House Side Shield no. 100 Court (Remove 400000)
RZR-MF	Type II Med RZR-MF	RZR-MF # of LEDs: 48 Drive Current: 700mA Color Temp: CCT	120V	Wall Mount	Black RAL-9005	External Glass Shield 4.5000 External Glass Shield 3.5000 Clear Bridge EG3W
RZR-MW	Type III Med RZR-MW	RZR-MW # of LEDs: 48 Drive Current: 700mA Color Temp: CCT	120V	Wall Mount	Black RAL-9005	Round Pole Adapter RPA RPA Taper Lock Receptacle Only
RZR-MAF	Type IV Med RZR-MAF	RZR-MAF # of LEDs: 48 Drive Current: 700mA Color Temp: CCT	120V	Wall Mount	Black RAL-9005	2.75" Taper Lock Receptacle Only 997
RZR-MAW	Type V Med RZR-MAW	RZR-MAW # of LEDs: 48 Drive Current: 700mA Color Temp: CCT	120V	Wall Mount	Black RAL-9005	High-Low Clearing for Sinks to 1/2" (12.7mm) Dimensional Standard RSLW
RZR-MAFV	Type VI Med RZR-MAFV	RZR-MAFV # of LEDs: 48 Drive Current: 700mA Color Temp: CCT	120V	Wall Mount	Black RAL-9005	Taper Lock Photocell Voltage Detector (PCVD) 999
RZR-MAFW	Type VII Med RZR-MAFW	RZR-MAFW # of LEDs: 48 Drive Current: 700mA Color Temp: CCT	120V	Wall Mount	Black RAL-9005	Photo Cell Voltage Detector (PCVD) 999
RZR-MAFVW	Type VIII Med RZR-MAFVW	RZR-MAFVW # of LEDs: 48 Drive Current: 700mA Color Temp: CCT	120V	Wall Mount	Black RAL-9005	Photo Cell Voltage Detector (PCVD) 999

U.S. Pole Company Inc. | U.S. ARCHITECTURAL

LPW16 LytePro LED medium wall sconce

Dimensions

Accessory dimensions (ordered separately)

LED Wattage and Lumen Values

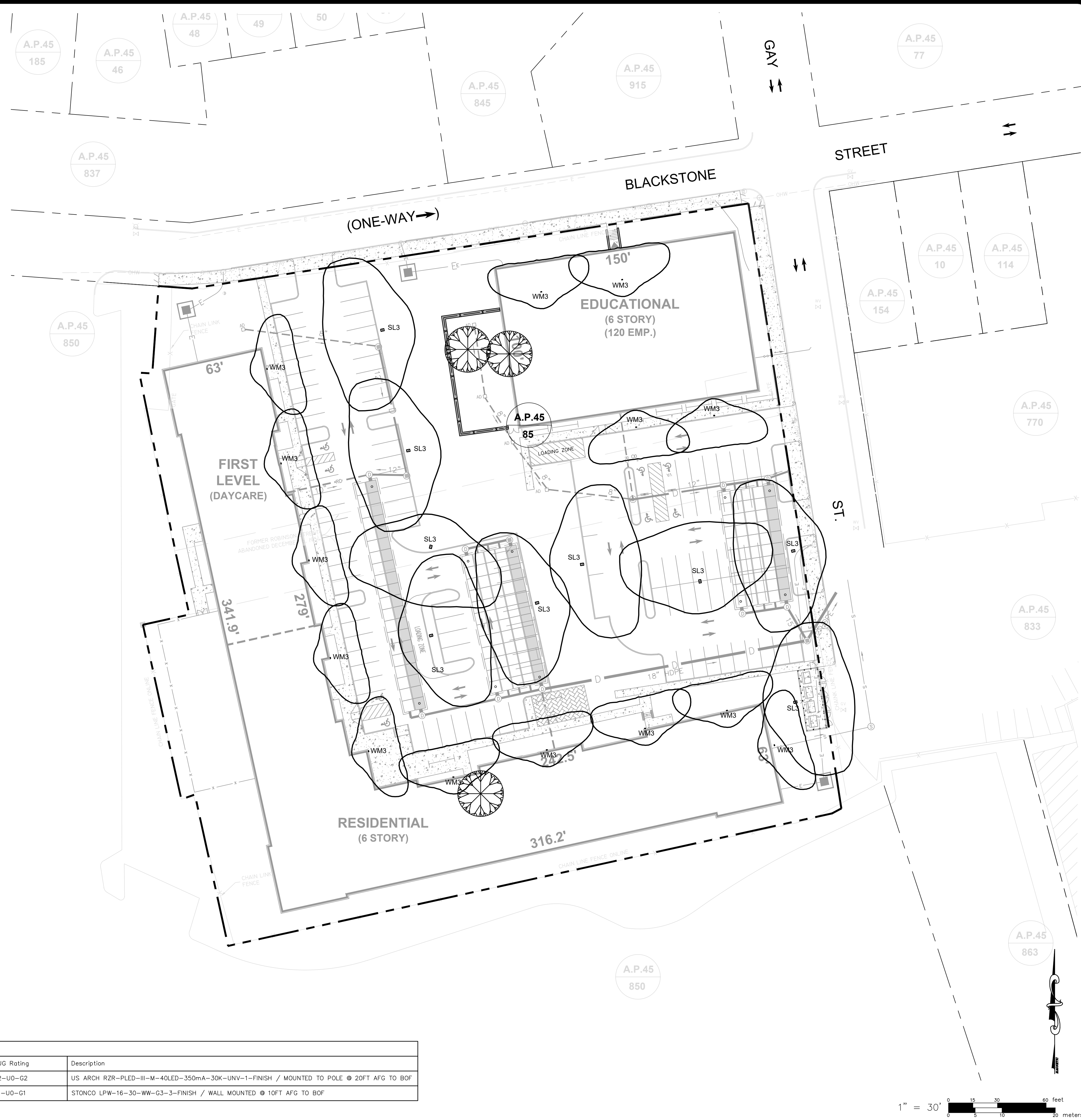
Ordering Code	Total LEDs	LED Current (mA)	Color Temp	Average Output (lm)	Beam Angle	Efficiency (lm/W)	BUG Rating	Lumen Output (lm)	Efficiency (lm/W)	Beam Angle	Efficiency (lm/W)
LPW16-30-NW-G3	18	4000	4000K	22	2.700	81-U0-G1	102	2,068	81-U0-G1	102	2,068
LPW16-30-NW-G3	18	650	4000K	34	4.089	81-U0-G1	119	4,003	81-U0-G1	117	3,950
LPW16-30-NW-G3	18	900	4000K	48	5.448	81-U0-G1	114	5,334	81-U0-G1	111	5,263
LPW16-30-WW-G3	18	400	3000K	22	2,510	81-U0-G0	113	2,457	81-U0-G1	110	2,425
LPW16-30-WW-G3	18	650	3000K	34	3,766	81-U0-G1	110	3,687	81-U0-G1	107	3,638
LPW16-30-WW-G3	18	900	3000K	48	5,017	81-U0-G1	106	4,912	81-U0-G1	103	4,846

Predicted lumen depreciation data

Ambient Temperature (°C)	Estimated Life Hours	Lumen T80 (%)	Lumen Maintenance % at 60,000 hrs
up to 42°C	>200,000 hours	>54,000 hours	>96%

Optical distributions

LPW16_LytePro_econote 04/21 page 2 of 3



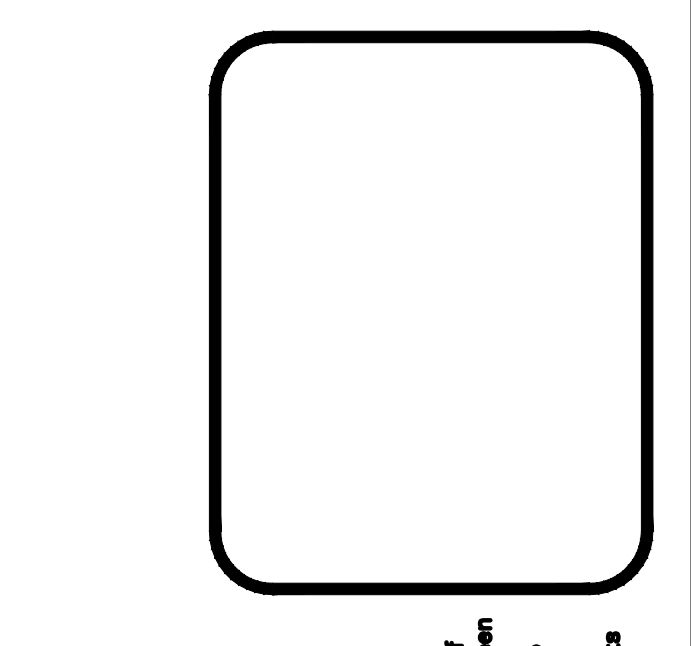
WORKPLANE/CALC PLANE: AT FINISH GRADE
MOUNTING HEIGHT: SEE LUMINAIRE SCHEDULE

Qty	Label	Arrangement	Lumens	Input Watts	LLF	BUG Rating	Description
9	SL3	Single	6392	42.7	0.900	B2-U0-G2	US ARCH RZR-PLED-III-M-40LED-350mA-30K-UNV-1-FINISH / MOUNTED TO POLE @ 20FT AFG TO BOF
12	WM3	Single	3687	34.3	0.900	B1-U0-G1	STONCO LPW-16-30-WW-G3-3-FINISH / WALL MOUNTED @ 10FT AFG TO BOF

SITE LIGHTING
FOR
**(A.P.45, LOT 85)
COPLEY CENTRE I
PROVIDENCE, RI**
PREPARED FOR
Marathon Development, LLC.
500 Harrison Avenue, Suite 4RB

NO.	REV.	DRWN.	DATE
1	MODIFICATION	KYY	01/20/2025

LAND DEVELOPMENT PLAN (LDP)
FINAL SUBMISSION - PERMIT ONLY



GAROFALO
GAROFALO & ASSOCIATES, INC.
CIVIL & STRUCTURAL ENGINEERS/SURVEYORS
LAND PLANNERS/ENVIRONMENTAL SCIENTISTS

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PROVIDENCE, RI 02940
TEL. 401-273-6000

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JOB NO. 7366-05	DRAWN BY K.Y.Y.
DWG. NO. 7366-05_LIGHTING_FINAL	CHECK BY S.S.H.
SCALE: AS SHOWN	APPROVED S.B.G.
	DATE: JUNE, 2024

SHEET
SL-1
1 OF 1 SHEET